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**City of Santee
Regular Meeting Agenda**

**Santee City Council
CDC Successor Agency
Santee Public Financing Authority**

**Council Chamber – Building 2
10601 Magnolia Avenue
Santee, CA 92071**

**January 28, 2015
7:00 PM**

ROLL CALL: Mayor Randy Voepel
Vice Mayor John W. Minto
Council Members Jack Dale, Ronn Hall, and Rob McNelis

LEGISLATIVE INVOCATION \ PLEDGE OF ALLEGIANCE:

PROCLAMATION: [Santee Health Awareness Month](#)

ITEMS TO BE ADDED, DELETED OR RE-ORDERED ON AGENDA:

1. CONSENT CALENDAR:

Consent Calendar items are considered routine and will be approved by one motion, with no separate discussion prior to voting. Council Members, staff or public may request specific items be removed from the Consent Calendar for separate discussion or action. Speaker slips for this category must be presented to the City Clerk before the meeting is called to order. Speakers are limited to 3 minutes.

- (A) Approval of reading by title only and waiver of reading in full of Ordinances on agenda.**
- (B) Approval of Meeting Minutes:**
 - [Santee City Council 1-14-15 Regular Meeting](#)
 - [CDC Successor Agency 1-14-15 Regular Meeting](#)
 - [Public Financing Authority 1-14-15 Regular Meeting](#)
- (C) Approval of Payment of Demands as presented.**
- (D) Approval of the expenditure of \$91,706.58 for December 2014 legal services and related costs.**

- (E) Rejection of a claim against the City by Joyce Ives per Government Code Section 913.
- (F) Adoption of a Resolution awarding the construction contract for the Carlton Oaks School Sidewalk Access Improvements (CIP 2013-07) to Ace Excavating and Environmental Services, Inc. for a total amount of \$98,560.00, authorizing the City Manager to execute the contract and authorizing the Director of Development Services to approve change orders in an amount not to exceed \$9,856.00.
- (G) Adoption of a Resolution awarding the construction contract for the River Trail Extension (CIP 2013-30) to Curto Construction Company for a total amount of \$147,180.00, authorizing the City Manager to execute the contract, authorizing the Director of Development Services to approve change orders in an amount not to exceed \$14,718.00 and appropriating a Developer Contribution in the amount of \$31,594.00.

2. PUBLIC HEARINGS:

- (A) Public Hearing for a Tentative Map (TM2014-1), Development Review Permit (DR2014-5), and a Mitigated Negative Declaration pursuant to the California Environmental Quality Act (AEIS2014-7) for 50 townhome condominium units located at 7427 Simeon Drive, 7439 Simeon Drive, and 7439 Bushy Hill Drive in the medium-high density residential (R-14) Land Use Designation and Zone. Applicant: City Ventures, L.P.

Recommendation:

1. Conduct and close the Public Hearing; and
2. Find that Tentative Map TM2014-1 and Development Review Permit DR2014-5 will not have a significant effect on the environment; approve the Mitigated Negative Declaration (AEIS2014-7) prepared in accordance with CEQA; and authorize a filing of a Notice of Determination; and
3. Adopt the two Resolutions approving TM2014-1 and DR2014-5.

3. ORDINANCES (First Reading): None

4. CITY COUNCIL ITEMS AND REPORTS:

- (A) Annual presentation of Local Appointments List – Boards, Commissions & Committees (Continued from 12/10/14).

Recommendation:

Continue the item to the February 11, 2015 City Council meeting.

5. CONTINUED BUSINESS: None

6. NEW BUSINESS:

(A) Resolution adopting a Legislative Policy Memorandum (LPM) governing the flying of flags at City facilities.

Recommendation:

Adopt the Resolution adopting the Legislative Policy Memorandum.

(B) Authorize expenditure of 2014 State Homeland Security Grant funds for Fire Department computer and radio equipment in accordance with all program requirements.

Recommendation:

Authorize expenditure \$38,678 in reimbursable 2014 State Homeland Security Grant funds for Fire Department computer and radio equipment in accordance with all program requirements.

7. COMMUNICATION FROM THE PUBLIC:

Each person wishing to address the City Council regarding items not on the posted agenda may do so at this time. In accordance with State law, Council may not take action on an item not scheduled on the Agenda. If appropriate, the item will be referred to the City Manager or placed on a future agenda.

8. CITY MANAGER REPORTS:

9. CDC SUCCESSOR AGENCY:
(Note: Minutes appear as Item 1B)

10. SANTEE PUBLIC FINANCING AUTHORITY:
(Note: Minutes appear as Item 1B)

11. CITY ATTORNEY REPORTS:

12. CLOSED SESSION: None

13. ADJOURNMENT:



Jan	08	SPARC	Conf Room Building 6
Jan	12	Community Oriented Policing Committee	Council Chamber
Jan	14	City Council Meeting	Council Chamber
Jan	28	City Council Meeting	Council Chamber
Feb	05	SPARC	Conf Room Building 6
Feb	09	Community Oriented Policing Committee	Council Chamber
Feb	11	City Council Meeting	Council Chamber
Feb	25	City Council Meeting	Council Chamber

The Santee City Council welcomes you and encourages your continued interest and involvement in the City’s decision-making process.

For your convenience, a complete Agenda Packet is available for public review at City Hall and on the City’s website at www.CityofSanteeCa.gov.

The City of Santee complies with the Americans with Disabilities Act. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, as required by Section 202 of the American with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the City Clerk’s Office at (619) 258-4100, ext. 112 at least 48 hours before the meeting, if possible.

State of California } County of San Diego } ss. City of Santee }	<h3>AFFIDAVIT OF POSTING AGENDA</h3>
I, <u>Patsy Bell, CMC, City Clerk</u> of the City of Santee, hereby declare, under penalty of perjury, that a copy of this Agenda was posted in accordance with Resolution 61-2003 on <u>January 23, 2015</u> at <u>4:30 p.m.</u>	
_____ Signature	_____ Date

City of Santee
COUNCIL AGENDA STATEMENT

PROC

MEETING DATE January 28, 2015

AGENDA ITEM NO.

ITEM TITLE PROCLAMATION: SANTEE HEALTH AWARENESS MONTH

DIRECTOR/DEPARTMENT Randy Voepel, Mayor

SUMMARY

The Santee Health Network's mission is to create awareness of health issues and to educate the public about services that will prevent or treat these problems.

Based on statistics provided by the San Diego County Health and Human Services Department, San Diego East County is a large, diverse, mostly low and middle income region with a high proportion of older, white adult residents.

Although East County residents are in good general health compared to most other regions, they have higher rates of non-communicable (chronic) disease, medical encounters, and death than nearly all other regions.

Santee has the distinction of leading all East County communities with greater chronic health risks in the following categories:

Coronary Heart Disease	21.6%
Stroke	2.1%
Diabetes	11.6%
Chronic Obstructive Pulmonary Disease	17.2

In support of the Santee Health Network's efforts, a proclamation has been prepared designating January 2015 as "Santee Health Awareness Month" to increase Santee citizens' awareness of health issues and provide information about resources to treat or prevent these problems.

FINANCIAL STATEMENT N/A

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION Present proclamation.

ATTACHMENTS (Listed Below)

None.

City of Santee
COUNCIL AGENDA STATEMENT

1B

MEETING DATE January 28, 2015

AGENDA ITEM NO.

ITEM TITLE **APPROVAL OF MEETING MINUTES: SANTEE CITY COUNCIL,
CDC SUCCESSOR AGENCY AND SANTEE PUBLIC FINANCING
AUTHORITY REGULAR MEETING OF JANUARY 14, 2015**

DIRECTOR/DEPARTMENT Patsy Bell, CMC, City Clerk



SUMMARY

Submitted for your consideration and approval are the minutes of the above meeting.

FINANCIAL STATEMENT

N/A

CITY ATTORNEY REVIEW

N/A

Completed

RECOMMENDATION

Approve Minutes as presented.

ATTACHMENTS (Listed Below)

January 14, 2015 Minutes

Minutes

**Santee City Council
CDC Successor Agency
Santee Public Financing Authority**

Draft

**Council Chambers
10601 Magnolia Avenue
Santee, California**

January 14, 2015

This Regular Meeting of the Santee City Council, the CDC Successor Agency, and the Santee Public Financing Authority was called to order by Mayor/Chair Randy Voepel at 7:06 p.m.

Council Members present were: Mayor/Chair Randy Voepel and Council/Authority Members Jack E. Dale and Rob McNelis. Vice Mayor/Vice Chair John W. Minto and Council/Authority Member Ronn Hall were absent.

Staff present were: Acting City Manager/Authority Secretary Pedro Orso-Delgado, City/Authority Attorney Shawn Hagerty, Director of Community Services Bill Maertz, Acting Director of Development Services Melanie Kush, Finance Director/Treasurer Tim McDermott, Director of Fire and Life Safety Richard Mattick, Director of Human Resources Jodene Dunphy, Assistant to the City Manager Kathy Valverde, Senior Economic Development Coordinator Pamela White, Acting City Planner Kevin Mallory, Santee Sheriff's Captain James Bovet, City Clerk Patsy Bell, and Administrative Secretary Pam Coleman.

(Note: Hereinafter the titles Mayor, Vice Mayor, Council Member, City Manager, and City Attorney shall be used to indicate Mayor/Chair, Vice Mayor/Vice Chair, Council/Authority Member, City Manager/Authority Secretary, and City/Authority Attorney.)

LEGISLATIVE INVOCATION: Pastor Rick Schowalter, Carlton Hills Lutheran Church

PLEDGE OF ALLEGIANCE: Rusty Williams

PRESENTATION: San Diego Regional Airport Authority

Mayor Voepel announced that Lemon Grove Mayor Mary Sessom was ill and unable to attend the meeting; therefore, the presentation will be given at a future Council meeting.

ITEMS TO BE ADDED, DELETED OR RE-ORDERED ON AGENDA:

City Clerk Bell requested Item 8(A) be re-ordered to follow the Consent Calendar.

1. CONSENT CALENDAR:

- (A) Approval of reading by title only and waiver of reading in full of Ordinances on agenda.
- (B) Approval of Meeting Minutes:
 - Santee City Council 12-10-14 Regular Meeting and 12-30-14 Special Meeting
 - CDC Successor Agency 12-10-14 Regular Meeting
 - Public Financing Authority 12-10-14 Regular Meeting
- (C) Approval of Payment of Demands as presented.
- (D) Adoption of a Resolution accepting the Town Center Community Park West Shade Shelter Project (CIP 2014-34) as complete and directing the City Clerk to file a Notice of Completion. (Reso 1-2015)
- (E) Adoption of a Resolution accepting the Woodside Avenue Street Improvement (CIP 2014-07) and Town Center Parkway Street Improvement (CIP 2014-08) Projects as complete and directing the City Clerk to file Notices of Completion. (Reso 2-2015)
- (F) Adoption of a Resolution accepting the City Hall Drainage Repairs (CIP 2013-40) as complete and directing the City Clerk to file a Notice of Completion. (Reso 3-2015)
- (G) Rejection of a Claim against the City by Jose Mendoza, Guardian of Diego Mendoza, per Government Code Section 913.
- (H) Adoption of a Resolution adopting the 2013 San Diego Integrated Regional Water Management Plan Update. (Reso 4-2015)

ACTION: On motion of Council Member Dale, seconded by Council Member McNelis, the Agenda and Consent Calendar were approved as amended with all voting aye, except Vice Mayor Minto and Council Member Hall who were absent.

The following item was re-ordered to follow the Consent Calendar:

8. CITY MANAGER REPORTS:

- (A) Employee Service Awards

Draft

Before the staff report was given, Mayor Voepel announced that Acting City Manager Orso-Delgado was recognized for 5 years of service. Acting City Manager Orso-Delgado announced that 22 employees were recognized for their years of public service to the City of Santee at the Annual Employee Service Awards Ceremony held on December 16, 2014. He reported that Chief Mattick was being recognized for 35 years, and asked the Chief to say a few words.

2. PUBLIC HEARINGS:

- (A) Public Hearing for Conditional Use Permit P2014-2 and a Negative Declaration pursuant to the California Environmental Quality Act for a Wireless Communications Facility at 9735 Halberns Boulevard in the Low-Medium Density Residential (R-2) Zone. Applicant: Jacobs Engineering for Verizon Wireless. Related Application: AEIS 2014-3 (Reso 5-2015)**

The Public Hearing opened at 7:14 p.m. Director of Development Services Kush introduced the item; and Associate Planner John O'Donnell presented the staff report utilizing a PowerPoint presentation and answered Council's questions.

PUBLIC SPEAKERS:

In Opposition:

- Byron Ellsworth distributed pictures, that were contained within the staff report, of other church towers and steeples located in Santee.
- Suzanne Todd
- John Bottomley

Due to a fire alarm, the meeting was recessed at 7:30 p.m. while the Chamber was evacuated. After the room was cleared, the meeting was called back to order at 7:42 p.m. with all Members present, except Vice Mayor Minto and Council Member Hall who were absent.

PUBLIC SPEAKERS:

In Opposition:

- John Bottomley
- David Milligan distributed and discussed a letter that he previously submitted to the City during the Negative Declaration Public Review Period.
- John Cornwell submitted a Speaker Slip in opposition but did not wish to speak.

In Support:

- Tracy Thomas, Verizon Wireless

Draft

ACTION: After further discussion, on motion of Council Member Dale, seconded by Council Member McNelis, the Public Hearing closed at 8:08 p.m.; it was found that the Conditional Use Permit P2014-2 and approval of the Verizon Wireless Communications Facility will not have a significant effect on the environment, the Negative Declaration prepared in accordance with CEQA was approved and a filing of a Notice of Determination was authorized; and the Resolution approving Conditional Use Permit P2014-2 was adopted with all voting aye, except Vice Mayor Minto and Council Member Hall who were absent.

3. **ORDINANCES (First Reading):** None

4. **CITY COUNCIL ITEMS AND REPORTS:** None

5. **CONTINUED BUSINESS:**

- (A) **Approval of Memorandum of Understanding (“MOU”) with the United States Marine Corps to conduct training activities in the City of Santee. (Continued from 09/10/14)**

Mayor Voepel reported that he met with the Marine Corps and discussed the type of training activities that would be taking place in the City. Council Member Dale requested that the Marine Corps coordinate with the City Manager and Assistant to the City Manager rather than the Mayor as stated in the MOU. Council consented to the change, and the MOU will be amended to reflect the change.

ACTION: On motion of Council Member Dale, seconded by Council Member McNelis, the City Manager was authorized to sign the amended Memorandum of Understanding with the United States Marine Corps with all voting aye, except Vice Mayor Minto and Council Member Hall who were absent.

6. **NEW BUSINESS:**

- (A) **Resolution authorizing the purchase of two new 2015 Ford F-150 4WD Pickup Trucks per National Joint Powers Alliance (NJPA) Contract #102811-NAF, declaring vehicles V-118 and V-135 as surplus property and appropriating funds. (Reso 6-2015)**

ACTION: On motion of Council Member Dale, seconded by Council Member McNelis, the Resolution authorizing the purchase of two new 2015 Ford F-150 4WD SuperCrew Cab XLT Pickup trucks from National Auto Fleet Group per NJPA Contract #102811-NAF for an amount not to exceed \$78,246.94; declaring vehicles V-118, a 2000 Ford Expedition, and V-135, a 2004 Ford Crown Victoria, as surplus property upon receipt and

Draft

acceptance of the two new vehicles and directing sales of vehicles V-118 and V-135 at public auction; authorizing the City Manager to execute all necessary documents; and appropriating \$29,747.00 from the Vehicle Replacement Fund reserves was adopted with all voting aye, except Vice Mayor Minto and Council Member Hall who were absent.

- (B) Resolution authorizing the purchase of one new 2015 Ford F-450 cab and chassis with utility body per State of California Contract #1-14-23-20A-G and declaring one vehicle surplus property. (Reso 7-2015)**

ACTION: On motion of Council Member Dale, seconded by Council Member McNelis, the Resolution authorizing the purchase of one new 2015 Ford F-450 Extended Cab 4X2 Cab and Chassis with added utility body from Wondries Fleet Group for an amount not to exceed \$49,398.90 and authorizing purchase of decals, warning lights and miscellaneous equipment from other vendors for an additional amount not to exceed \$2,200; declaring vehicle V-109, a 1999 Ford F-350 Pickup, surplus upon receipt and acceptance of the new vehicle and directing sale of surplus vehicle at public auction; and authorizing the City Manager to execute all necessary documents was adopted with all voting aye, except Vice Mayor Minto and Council Member Hall who were absent.

- (C) Resolution authorizing the co-application with the San Diego County Urban Corps for an Urban Streams Restoration Program Grant. (Reso 8-2015)**

Director of Community Services Maertz presented the staff report and answered Council's questions.

ACTION: On motion of Council Member Dale, seconded by Council Member McNelis, the Resolution authorizing the City to co-sponsor a grant application with the Urban Corps of San Diego County under the State of California Urban Streams Restoration Program was adopted with all voting aye, except Vice Mayor Minto and Council Member Hall who were absent.

7. COMMUNICATION FROM THE PUBLIC:

- (A) John Olsen, Santee Chamber of Commerce, announced that the Chamber was accepting nominations for Person of the Year.

8. CITY MANAGER REPORTS:

- (A) Item re-ordered to be heard after the Consent Calendar.

Draft

9. CDC SUCCESSOR AGENCY:

(Note: Minutes appear as Item 1B)

10. SANTEE PUBLIC FINANCING AUTHORITY:

(Note: Minutes appear as Item 1B)

11. CITY ATTORNEY REPORTS: None

12. CLOSED SESSION: None

13. ADJOURNMENT:

There being no further business, the meeting was adjourned at 8:16 p.m.

Date Approved: _____

Patsy Bell, City Clerk and for
Acting Authority Secretary Pedro Orso-Delgado

City of Santee
COUNCIL AGENDA STATEMENT

1C

MEETING DATE January 28, 2015

AGENDA ITEM NO.

ITEM TITLE PAYMENT OF DEMANDS

DIRECTOR/DEPARTMENT Tim K. McDermott/Finance *TM*

SUMMARY

A listing of checks that have been disbursed since the last Council meeting is submitted herewith for approval by the City Council.

FINANCIAL STATEMENT *TM*

Adequate budgeted funds are available for the payment of demands per the attached listing.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *go for POD*

Approval of the payment of demands as presented.

ATTACHMENTS (Listed Below)

- 1) Payment of Demands-Summary of Checks Issued
- 2) Disbursement Journal

Payment of Demands
Summary of Payments Issued

<u>Date</u>	<u>Description</u>	<u>Amount</u>
01/02/15	Retiree Medical	\$ 4,914.00
01/05/15	Payroll	54,277.62
01/08/15	Payroll	292,245.89
01/08/15	Accounts Payable	272,957.97
01/08/15	Accounts Payable	368,685.48
01/12/15	Accounts Payable	200,553.30
01/14/15	Accounts Payable	9,578.33
01/14/15	Accounts Payable	112,518.04
01/15/15	Accounts Payable	<u>1,342,951.55</u>
	TOTAL	<u>\$ 2,658,682.18</u>

I hereby certify to the best of my knowledge and belief that the foregoing demands listing is correct, just, conforms to the approved budget, and funds are available to pay said demands.



Tim K. McDermott, Director of Finance

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
107590	1/8/2015	10412 AT&T	000004807075		TELEPHONE	1,447.59
					Total :	1,447.59
107591	1/8/2015	10189 ATTENTION GETTERS DESIGN INC	37039	50721	VEHICLE ID SIGNS	130.80
					Total :	130.80
107592	1/8/2015	11148 BICKMORE	BRS-0011391	50360	OPEB ACTUARIAL VALUATION	7,425.00
					Total :	7,425.00
107593	1/8/2015	10021 BOUND TREE MEDICAL LLC	81632782	50725	PHARMACEUTICALS	14.59
			81635409	50724	EMS SUPPLIES	9.91
			81635992	50724	EMS SUPPLIES	54.64
			81635993	50724	EMS SUPPLIES	54.64
			81635994	50724	EMS SUPPLIES	35.96
			81635995	50725	PHARMACEUTICALS	107.28
					Total :	277.02
107594	1/8/2015	10542 C2 REPROGRAPHICS	665711		CARLTON OAKS SIDEWALK	120.78
			665713		RIVERTRAIL EXTENSION	153.09
					Total :	273.87
107595	1/8/2015	10668 CALIFORNIA BUILDING STANDARDS	OCT - DEC 2014		SB 1473 OCT - DEC 2014	351.90
					Total :	351.90
107596	1/8/2015	10898 CALIFORNIA CHAMBER OF COMMERCE	10857987		CA EMPLOYER POSTERS	316.92
					Total :	316.92
107597	1/8/2015	10327 CARLIN, TAMMIE	016		INSTRUCTOR PAYMENT	2,160.00
					Total :	2,160.00
107598	1/8/2015	10031 CDW GOVERNMENT LLC	RC84835	50945	TEEN CENTER COMPUTERS	2,828.40
			RD92169	50938	GRAPHIC DESIGN SOFTWARE	421.73
			RF20758	50949	ANTI-VIRUS/SPAM RENEWAL	1,800.00
					Total :	5,050.13
107599	1/8/2015	10032 CINTAS CORPORATION #694	694780472	50815	UNIFORM/PARTS CLEANER RNTL	59.43

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
107599	1/8/2015	10032 CINTAS CORPORATION #694	(Continued)			
107600	1/8/2015	11040 CIRCULATE SAN DIEGO	21	50314	SAFE ROUTES TO SCHOOL PLAN	59.43
					Total :	2,261.09
107601	1/8/2015	10038 COSTCO WHOLESALE #403	0403070017101	50728	STATION SUPPLIES	365.16
					Total :	365.16
107602	1/8/2015	10171 COUNTY OF SAN DIEGO AUDITOR &	11/2014 AGENCY REV		11/14 AGENCY PARK CITE REPT	62.50
			11/2014 DMV REVENUE		11/14 DMV PARK CITE REPT	60.00
			11/2014 PHOENIX REV		11/14 PHOENIX CITE REV REPT	436.00
					Total :	558.50
107603	1/8/2015	10541 COUNTY OF SAN DIEGO	SN-2014/2015-3		ANIMAL CONTROL SERVICES	80,734.75
					Total :	80,734.75
107604	1/8/2015	10040 COUNTYWIDE MECHANICAL SYSTEMS	14065566	50914	HVAC REPAIRS	323.55
			14065758	50914	HVAC REPAIRS	561.37
			14066496	50851	PLUMBING REPAIRS	417.87
			14066511	50851	PLUMBING REPAIRS	524.42
					Total :	1,827.21
107605	1/8/2015	10333 COX COMMUNICATIONS	066401501		10601 N MAGNOLIA AVE	31.38
					Total :	31.38
107606	1/8/2015	10608 CRISIS HOUSE	10312014	50906	CDBG SUBRECIPIENT REIMB	230.74
			11302014	50906	CDBG SUBRECIPIENT REIMB	201.60
					Total :	432.34
107607	1/8/2015	10433 DEPARTMENT OF CONSERVATION	OCT - DEC 2014		SMIP OCT - DEC 2014	851.90
					Total :	851.90
107608	1/8/2015	11017 DIVISION OF THE STATE	OCT-DEC 2014		SB 1186 OCT-DEC 2014	412.50
					Total :	412.50
107609	1/8/2015	10795 DO, AARON	01032015		EMPLOYEE REIMBURSEMENT	217.00
					Total :	217.00

Bank code : ubgen									
Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount			
107610	1/8/2015	10474 DOCTOR PLAYGROUND INC	N-14 825	50769	PLAYGROUND SURFACING REPAIF	2,500.00			
					Total :	2,500.00			
107611	1/8/2015	11295 DOKKEN ENGINEERING	28352		ENGINEERING DESIGN SERVICES	12,177.96			
					Total :	12,177.96			
107612	1/8/2015	11211 DUFF, HELMA GLORIA	384-190-32		PROSPECT AVENUE	1,877.00			
					Total :	1,877.00			
107613	1/8/2015	10057 ESGIL CORPORATION	12/22/14-12/26/14		SHARE OF FEES	7,986.55			
					Total :	7,986.55			
107614	1/8/2015	10580 FASTENAL COMPANY	CAS168998	50771	YARD SUPPLIES	121.62			
					Total :	121.62			
107615	1/8/2015	10251 FEDERAL EXPRESS	2-881-07515 2-888-91674		SHIPPING CHARGES SHIPPING CHARGES	19.69 29.83			
					Total :	49.52			
107616	1/8/2015	10065 GLOBAL POWER GROUP INC	36608	50887	ELECTRICAL REPAIRS	800.00			
					Total :	800.00			
107617	1/8/2015	10301 HORSMAN AUTOMOTIVE	385384 385385	50746 50746	SMOG CERT INSPECTION SMOG CERT INSPECTION	44.95 44.95			
					Total :	89.90			
107618	1/8/2015	10246 HUDSON SAFETY T LITE RENTALS	00027783 00027784	50775 50775	CAR SHOW EVENT SIGNS CAR SHOW EVENT SIGNS	55.00 386.00			
					Total :	441.00			
107619	1/8/2015	11873 IRONSIDE, ROBERT	01022015		HEALTH COVERAGE REIMB	446.13			
					Total :	446.13			
107620	1/8/2015	11233 JIMMIE JOHNSON'S KEARNY MESA	CTCS383710	50747	VEHICLE REPAIR	778.21			
					Total :	778.21			
107621	1/8/2015	10079 MEDICO PROFESSIONAL	1536429 1536430	50869 50869	MEDICAL LINEN SERVICE MEDICAL LINEN SERVICE	22.47 13.93			

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
107621	1/8/2015	10079 MEDICO PROFESSIONAL				36.40
107622	1/8/2015	10218 OFFICE DEPOT	744255255001		OFFICE SUPPLIES	61.85
107623	1/8/2015	10886 PERISCOPE HOLDINGS INC	16541		NIGP LICENSE RENEWAL	61.85
107624	1/8/2015	10092 PHOENIX GROUP INFO SYSTEMS	102014031	50740	PRKING CITE SVC OCT 2014	490.05
107625	1/8/2015	10768 SANTEE SCHOOL DISTRICT	7136		CHET HARRITT FIELDS LIGHTS	94.90
107626	1/8/2015	10585 SHARP REES-STEALY MEDICAL	2781285558	50809	PREPLACEMENT MEDICAL	94.90
			2781285560	50809	PREPLACEMENT/DRUG TESTING	258.00
			2781286877	50809	FUNCTIONAL SCREENING	1,742.10
107627	1/8/2015	11341 SRM CONTRACTING & PAVING	17752	50874	WOODSIDE AVE IMPROVEMENTS	1,742.10
			17752B	50874	TOWN CTR PKWY IMPROVEMENTS	58.00
			17752R		RETENTION	100.00
			17752R		RETENTION	100.00
107628	1/8/2015	11056 STANDARD ELECTRONICS	21189	50758	SECURITY ALARM SERVICES	258.00
107629	1/8/2015	10217 STAPLES ADVANTAGE	3251059047	50798	OFFICE SUPPLIES	95.00
			3251059049	50741	OFFICE SUPPLIES	95.00
			3251131460	50798	OFFICE SUPPLIES	25.93
			3251131461	50741	CR - OFFICE SUPPLIES	75.89
107630	1/8/2015	10838 STATE OF CA DEPT OF INDUST REL	OSIP 60508		SELF-INSURANCE PLAN	328.47
107631	1/8/2015	10880 TERRYBERRY COMPANY LLC	B24875		SERVICE AWARD PINS	-75.89
						354.40
						23,242.91
						23,242.91
						2,184.99

Bank code : ubgen		Vendor		Invoice	PO #	Description/Account	Amount
Voucher	Date						
107631	1/8/2015	10880	10880 TERRYBERRY COMPANY LLC	(Continued)			Total : 2,184.99
107632	1/8/2015	10158	THE SOCO GROUP INC	CL28842	50927	FLEET CARD FUELING	Total : 1,213.91
107633	1/8/2015	10926	THORNTON, JOHN	01072015		EMPLOYEE REIMBURSEMENT	Total : 54.00
107634	1/8/2015	10479	TIRE CENTERS LLC	8720154892	50801	VEHICLE SUPPLIES	Total : 308.77
107635	1/8/2015	10475	VERIZON WIRELESS	9736962151		CELL PHONE SERVICE	Total : 1,029.70
107636	1/8/2015	10136	WEST COAST ARBORISTS INC	101881	50834	TREE MAINTENANCE SERVICES	Total : 1,029.70
107637	1/8/2015	10138	WITTBRODT, CINDY A	008		INSTRUCTOR PAYMENT	Total : 363.00
107638	1/8/2015	10850	WOLTERS KLUWER LAW &	97475335		PAYROLL MGRS LTR SUBSCRIP	Total : 501.00
107639	1/8/2015	10232	XEROX CORPORATION	077289420 077289421	50796 50794	COPY CHARGES & LEASE COPY CHARGES	Total : 195.67 24.21 219.88
107640	1/8/2015	10318	ZOLL MEDICAL CORPORATION	2188213	50802	EMS SUPPLIES	Total : 267.30
107641	1/8/2015	10522	ZUMAR INDUSTRIES INC	0152962	50859	LIFT GATE FEE	Total : 267.30
107642	1/8/2015	11042	ZW USA INC	66038		DOG WASTE BAGS	Total : 25.00
53 Vouchers for bank code : ubgen							Bank total : 272,957.97

Bank code : ubqen

Voucher Date Vendor Invoice PO # Description/Account Amount

53 Vouchers in this report

Total vouchers : 272,957.97

Prepared by: 
Date: 01/08/2015
Approved by: 
Date: 1-8-15

Bank code :	ubgen			Invoice	PO #	Description/Account	Amount
Voucher	Date	Vendor					
107643	1/8/2015	10208 ANTHEM BLUE CROSS		000473799B		EMPLOYEE ASSISTANCE PROGRAM	248.64
						Total :	248.64
107644	1/8/2015	10350 ASSURANT EMPLOYEE BENEFITS		January 2015		DENTAL INSURANCE	7,136.38
						Total :	7,136.38
107645	1/8/2015	10334 CHLIC		January 2015		HEALTH INSURANCE	156,525.11
						Total :	156,525.11
107646	1/8/2015	10844 FRANCHISE TAX BOARD		PPE 12/31/14		WITHHOLDING ORDER	110.00
						Total :	110.00
107647	1/8/2015	10779 NATIONAL BENEFIT SERVICES LLC		PPE 12/31/14		FLEXIBLE SPENDING ACCOUNT	1,890.82
						Total :	1,890.82
107648	1/8/2015	10353 PERS		01 15 3		RETIREMENT PAYMENT	119,798.56
						Total :	119,798.56
107649	1/8/2015	10785 RELIANCE STANDARD LIFE		January 2015		VOLUNTARY LIFE INSURANCE	1,520.07
						Total :	1,520.07
107650	1/8/2015	10424 SANTEE FIREFIGHTERS		PPE 12/31/14		DENTAL/DUES/PEC/BC EXPENSES	4,969.99
						Total :	4,969.99
107651	1/8/2015	10776 STATE OF CALIFORNIA		PPE 12/31/14		WITHHOLDING ORDER	319.38
						Total :	319.38
107652	1/8/2015	10001 US BANK		PPE 12/31/14		PARS RETIREMENT	524.42
						Total :	524.42
107653	1/8/2015	10959 VANTAGE TRANSFER AGENT/457		PPE 01/05/15 Spec		ICMA - 457	33,540.00
				PPE 12/31/14		ICMA - 457	27,430.24
						Total :	60,970.24
107654	1/8/2015	10782 VANTAGEPOINT TRNSFR AGT/801801		PPE 12/31/14		RETIREE HEALTH SAVINGS ACCOL	14,671.87
						Total :	14,671.87

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
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12 Vouchers for bank code : ubgen

12 Vouchers in this report

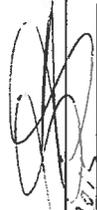
Bank total : 368,685.48

Total vouchers : 368,685.48

Prepared by: _____
 Date: 01/08/2015

Approved by: [Signature]
 Date: 1-8-15

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
446	1/5/2015	10482 TRISTAR RISK MANAGEMENT	95207		WORKERS' COMPENSATION	22,241.65
					Total :	22,241.65
448	1/13/2015	11485 SOURCEPOINT	AR169664		TOWN CTR/ RIVERVIEW PKWY	61,618.48
					Total :	61,618.48
71588	1/7/2015	10955 DEPARTMENT OF THE TREASURY	PPE 01/05/15		FEDERAL WITHHOLDING TAX	23,794.39
					Total :	23,794.39
71611	1/7/2015	10956 FRANCHISE TAX BOARD	PPE 01/05/15		CA STATE TAX WITHHELD	5,398.69
					Total :	5,398.69
84047	1/12/2015	10955 DEPARTMENT OF THE TREASURY	PPE 12/31/14		FEDERAL WITHHOLDING TAX	67,635.15
					Total :	67,635.15
84088	1/12/2015	10956 FRANCHISE TAX BOARD	PPE 12/31/14		CA STATE TAX WITHHELD	19,864.94
					Total :	19,864.94
6 Vouchers for bank code : ubgen						Bank total : 200,553.30
6 Vouchers in this report						Total vouchers : 200,553.30

Prepared by: 
 Date: 1/15/2015
 Approved by: 
 Date: 1-15-15

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
107655	1/14/2015	10001 US BANK	000003		SURFACING MATERIALS	808.50
			00003051266		US EPA FEES	222.50
			0000866834		PROF ACCREDITATION	69.00
			000345		RESURFACING MATERIALS	264.20
			013566		INTERVIEW PANEL LUNCH	85.69
			025746		OATH OF OFFICE	48.70
			031921		EXTENSION CABLE	26.99
			044600		TEEN CENTER SUPPLIES	40.03
			046154		FIRE PREVENTION CONTEST	47.58
			05438937		OATH OF OFFICE EVENT	1,765.80
			066106		TEEN CENTER DANCE SUPPLIES	134.57
			0776881832		FIRE CAPTAIN COPIES	78.94
			08409614-00		IRRIGATION SUPPLIES	104.65
			084352026454368		STATION SUPPLIES	75.72
			099589		SENIOR SUPPLIES	28.93
			105-7855678-3991414		SUNSCREEN TOWELETTES	79.98
			11014115		COUNCIL MEETING SUPPLIES	152.43
			112414		MEETING	15.74
			1132229		PLUMBING REPAIRS	204.12
			12042014		INTERVIEW PANEL LUNCH	44.25
			120857		EMPLOYEE HOLIDAY SOCIAL	148.00
			121400003		CIGARETTE BUTT CONTAINER	86.27
			123		SPARC MEETING SUPPLIES	6.99
			1401438		JOB ADVERTISEMENT	312.00
			14466		OATH OF OFFICE SUPPLIES	129.60
			14466B		CR - OATH OF OFFICE FLOWERS	-37.80
			1511		OFFICE SUPPLIES	26.15
			1590		OFFICE SUPPLIES	96.04
			18970301385840		COUNCIL MEETING SUPPLIES	31.45
			196248		SENIOR TRIP DEPOSIT	100.00
			2105		OFFICE SUPPLIES	10.54
			2123608		VANDALISM REPAIR MATERIALS	25.83
			212529		INTERVIEW PANEL LUNCH	42.09
			213649		INTERVIEW PANEL LUNCH	42.09
			2159099837		CALPELRA CONFERENCE	25.00
			253445_1025938		HYDROPOINT RENEWAL	225.00

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
107655	1/14/2015	10001 US BANK	(Continued)			
			2839		MEDIC UNIT SUPPLIES	17.06
			3373125		HAZARDOUS WASTE PERMIT	825.00
			3923865		JOB ADVERTISEMENT	375.00
			4663		SPARC MEETING	61.89
			6120285		FIRE STATION #5 DISHWASHER	761.23
			704132		VEHICLE SUPPLIES	39.82
			724669-01		FLOOR MATS	129.67
			744276753		BUSINESS CARDS	75.82
			745914712-001		LOGITECH HEADSET	16.19
			757-250-645		OATH OF OFFICE SUPPLIES	59.45
			77671		LUNCH MEETING	30.23
			7V1F4-00		CLEANING SUPPLIES	169.20
			8111910		CITY HALL SUPPLIES	70.92
			81316		SENIOR SUPPLIES	18.89
			88836855		TOOLS	197.55
			9110840		CITY HALL SUPPLIES	69.41
			CR004288		CR - RETURNED REPAIR PART	-601.39
			DN 1088580		RECORDS DESTRUCTION	119.25
			FVRS4D		LEAGUE OF CA CITIES	258.20
			FW6PB2		LEAGUE OF CA CITIES	258.20
			GP_5607867		WINTER FLYER PRINTING	877.61
			SO366170		PARK RESERVATION HOLDERS	113.18
			Y112291366		FLOOR TILE SUPPLIES	68.38
					Total :	9,578.33

1 Vouchers for bank code : ubgen

1 Vouchers in this report

Bank total : 9,578.33

Total vouchers : 9,578.33

Prepared by: _____
Date: 01/14/2015

Approved by: _____
Date: 1-14-15

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
107656	1/14/2015	10003 A & B SAW & LAWNMOWER SHOP	23042	50743	LANDSCAPE TOOL REPAIRS	11.82
					Total :	11.82
107657	1/14/2015	11859 AIRGAS USA LLC	9034490876 9034629444		EQUIPMENT REPAIR PART EQUIPMENT REPAIR PARTS	200.73 376.12
					Total :	576.85
107658	1/14/2015	10633 ALL STAR GLASS INC	WEC083457		WINDSHIELD REPLACEMENT	255.31
					Total :	255.31
107659	1/14/2015	10010 ALLIANT INSURANCE SERVICES INC	10/1/14-12/31/14		4TH QTR EVENT INSURANCE	687.00
					Total :	687.00
107660	1/14/2015	10742 ASSOCIATION OF ENVIRONMENTAL	2031108		MEMBERSHIP RENEWAL	250.00
					Total :	250.00
107661	1/14/2015	10021 BOUND TREE MEDICAL LLC	70180639 70202040 81637352 81637353 81637354 81637355 81637356-A 81637357	50724 50725 50724 50725 50724 50724 50724 50725	CR - EMS SUPPLIES CR- PHARMACEUTICALS EMS SUPPLIES PHARMACEUTICALS EMS SUPPLIES EMS SUPPLIES EMS SUPPLIES PHARMACEUTICALS	-22.39 -5.23 192.25 27.80 475.63 8.34 95.78 116.07
					Total :	1,395.09
107662	1/14/2015	10024 BUSINESS PRINTING COMPANY INC	116520	50946	LH-01 LETTERHEAD	446.31
					Total :	446.31
107663	1/14/2015	10958 CATERPILLAR FINANCIAL SERVICES	703727		LEASE PAYMENT #3 - VACTOR	63,467.13
					Total :	63,467.13

Voucher List
CITY OF SANTEE

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
107664	1/14/2015	10032 CINTAS CORPORATION #694	694782982	50815	UNIFORM/PARTS CLEANER RNTL	59.43
					Total :	59.43
107665	1/14/2015	10035 COMPETITIVE METALS INC	172836	50767	WELDING METALS	126.89
					Total :	126.89
107666	1/14/2015	10845 CONTROLLED ENTRY SPECIALISTS	825736	50896	APPARATUS DOOR REPAIRS	601.00
					Total :	601.00
107667	1/14/2015	10333 COX COMMUNICATIONS	038997401 105080401		10601 N MAGNOLIA AVE 9310 FANITA PKWY	102.47 27.91
					Total :	130.38
107668	1/14/2015	10046 D MAX ENGINEERING INC	2744	50897	DRY WEATHER MONITORING	22,315.03
					Total :	22,315.03
107669	1/14/2015	11208 DION & SONS INC	E12689	50816	VEHICLE SUPPLIES	119.34
					Total :	119.34
107670	1/14/2015	10250 EAST COUNTY CALIFORNIAN	00030193 00030240 00030251		INVITATION TO BID PUBLIC NOTICE NOTICE OF MITIGATED NEG DEC	178.50 84.00 227.50
					Total :	490.00
107671	1/14/2015	10053 EL CAJON PLUMBING & HEATING	273779	50770	PLUMBING SUPPLIES	55.58
					Total :	55.58
107672	1/14/2015	10057 ESGIL CORPORATION	12/29/14-1/2/15		SHARE OF FEES	9,932.97
					Total :	9,932.97
107673	1/14/2015	10856 E-W TRUCK & EQUIPMENT CO INC	50414 50415 50416 50417 50418 50419 50420 50421	50733 50733 50733 50733 50733 50733 50733 50733	VEHICLE OPACITY TESTING VEHICLE OPACITY TESTING	60.00 60.00 60.00 60.00 60.00 60.00 60.00 60.00

Voucher List
CITY OF SANTEE

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
107673	1/14/2015	10856 E-W TRUCK & EQUIPMENT CO INC	(Continued) 50422 50423 50449	50733 50733 50733	VEHICLE OPACITY TESTING VEHICLE OPACITY TESTING VEHICLE OPACITY TESTING	60.00 60.00 60.00 660.00
107674	1/14/2015	10580 FASTENAL COMPANY	CAS169058	50771	YARD SUPPLIES	109.89 109.89
107675	1/14/2015	10251 FEDERAL EXPRESS	2-895-18542		SHIPPING CHARGES	46.14 46.14
107676	1/14/2015	10066 GLOBALSTAR USA LLC	1000000006131654		SATELLITE PHONE SERVICE	43.43 43.43
107677	1/14/2015	11875 HALL, RONN	684523		OFFICE EQUIPMENT	1,237.39 1,237.39
107678	1/14/2015	10256 HOME DEPOT CREDIT SERVICES	2154315	50818	STATION SUPPLIES	20.22 20.22
107679	1/14/2015	10301 HORSMAN AUTOMOTIVE	385455 385456 385460 385473	50746 50746 50746 50746	SMOG CERT INSPECTION SMOG CERT INSPECTION SMOG CERT INSPECTION SMOG CERT INSPECTION	44.95 44.95 44.95 44.95 179.80
107680	1/14/2015	10120 KEARNY PEARSON FORD	116836	50748	VEHICLE REPAIR	250.00 250.00
107681	1/14/2015	10151 KONICA MINOLTA BUSINESS	9001000289	50708	COPIER MAINT & USAGE	132.88 132.88
107682	1/14/2015	10558 MAERTZ, BILL	11/07-12/06/14		CELL PHONE REIMBURSEMENT	103.31 103.31
107683	1/14/2015	10079 MEDICO PROFESSIONAL	1540457 1540458	50869 50869	MEDICAL LINEN SERVICE MEDICAL LINEN SERVICE	22.47 13.93

Voucher List
CITY OF SANTEE

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
107683	1/14/2015	10079 MEDICO PROFESSIONAL	(Continued)			
107684	1/14/2015	10507 MITEL LEASING	1277271		MONTHLY RENTAL 124690	146.90
			1277902		MONTHLY RENTAL 122670	878.90
			1278174		MONTHLY RENTAL 130737	60.06
			1278214		MONTHLY RENTAL 131413	97.47
					Total :	1,183.33
107685	1/14/2015	10930 NOWAKOWSKI, CHESTER	010715		EMPLOYEE REIMBURSEMENT	54.00
					Total :	54.00
107686	1/14/2015	10218 OFFICE DEPOT	1741991588		PRINTING CHARGES	62.16
					Total :	62.16
107687	1/14/2015	10095 RASA	4780	50861	MAP CHECK	335.00
					Total :	335.00
107688	1/14/2015	10212 SANTEE SCHOOL DISTRICT	2014-03	50862	TEEN CENTER TRANSPORTATION	132.00
					Total :	132.00
107689	1/14/2015	10110 SECTRAN SECURITY INC	15010317	50797	TRANSPORT SERVICES	113.93
					Total :	113.93
107690	1/14/2015	10217 STAPLES ADVANTAGE	3250590762	50741	OFFICE SUPPLIES	328.18
			3251660150	50700	OFFICE SUPPLIES	199.56
			3251660151	50741	CR - OFFICE SUPPLIES	-158.73
			3251907722	50741	OFFICE SUPPLIES	95.29
					Total :	464.30
107691	1/14/2015	10749 STATE WATER RESOURCES	SW-0091305		PROSPECT AVENUE	1,070.00
					Total :	1,070.00
107692	1/14/2015	10126 THE LIGHTHOUSE INC	0095258	50756	VEHICLE REPAIR PARTS	113.80
					Total :	113.80
107693	1/14/2015	10158 THE SOCO GROUP INC	0115491-IN	50786	DELIVERED FUEL	768.35
			CL29816	50927	FLEET CARD FUELING	908.98

Voucher List
CITY OF SANTEE

Bank code :	ubgen		Invoice	PO #	Description/Account	Amount
Voucher	Date	Vendor				
107693	1/14/2015	10158 THE SOCO GROUP INC	(Continued)			Total : 1,677.33
107694	1/14/2015	10165 TRADAM ENTERPRISES INC	1214SRP		INSTRUCTOR PAYMENT	1,026.00
						Total : 1,026.00
107695	1/14/2015	10325 VALLEY POWER SYSTEM INC	C05983		VEHICLE REPAIR PART	305.14
						Total : 305.14
107696	1/14/2015	10475 VERIZON WIRELESS	9737498099		WIFI SERVICE	1,694.39
						Total : 1,694.39
107697	1/14/2015	10148 WESTAIR GASES & EQUIPMENT INC	10047583 10048597	50838 50813	WELDING SUPPLIES WELDING SUPPLIES FOR SHOP	325.31 16.87
						Total : 342.18
107698	1/14/2015	10331 HDS WHITE CAP CONST SUPPLY	100027496552 10002788439 10002802185	50844 50844 50844	SPECIAL TOOL RENTAL TOOLS & RAIN GEAR SMALL TOOL	5.56 179.87 19.46
						Total : 204.89
43 Vouchers for bank code : ubgen						Bank total : 112,518.04
43 Vouchers in this report						Total vouchers : 112,518.04

Prepared by: 
 Date: 01/14/2015

Approved by: 
 Date: 1-14-15

Voucher List
CITY OF SANTEE

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
449	1/15/2015	11485 SOURCEPOINT	AR169675		TOWN CTR/ RIVERVIEW PKWY	1,342,951.55
1 Vouchers for bank code : ubgen						Total : 1,342,951.55
1 Vouchers in this report						Bank total : 1,342,951.55
						Total vouchers : 1,342,951.55

Prepared by: 
Date: 1/20/15

Approved by: 
Date: 1-20-15

City of Santee
COUNCIL AGENDA STATEMENT

1D

MEETING DATE January 28, 2015

AGENDA ITEM NO.

ITEM TITLE APPROVAL OF THE EXPENDITURE OF \$91,706.58 FOR DECEMBER 2014 LEGAL SERVICES AND RELATED COSTS

DIRECTOR/DEPARTMENT Tim K. McDermott, Finance *tm*

SUMMARY

Legal service billings proposed for payment for the month of December 2014 total \$91,706.58 as follows:

- 1) General Retainer Services - \$13,458.25
- 2) Labor & Employment - \$30,547.40
- 3) Litigation & Claims-General Fund - \$11,684.33
- 4) Special Projects-General Fund (Community Oriented Policing) - \$7,644.46
- 5) Mobile Home Fair Practices Commission - \$1,821.60
- 6) CDC Successor Agency (Riverview Public Improvements) - \$3,192.12
- 7) Bond Proceeds (Prospect Ave. Enhancements) - \$9,086.34
- 8) Applicant Initiated Projects - \$14,272.08

FINANCIAL STATEMENT *tm*

Adopted Budget	\$ 308,000.00	
Revised Budget	\$ 308,000.00	
Prior Expenditures	(203,445.61)	
Current Request	(63,334.44)	\$ 41,219.95
Other Funds (excluding applicant initiated items):		
Adopted Budget	\$ 5,000.00	
Revised Budget	\$ 114,099.37	
Prior Expenditures	(97,285.51)	
Current Request	(14,100.06)	\$ 2,713.80

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *go for POD*
Approve the expenditure of \$91,706.58 for December 2014 legal services and related costs

ATTACHMENT (Listed Below)

Legal Services Billing Summary

LEGAL SERVICES BILLING SUMMARY
FY 2014-15

Category	Adopted Budget	Revised Budget	Spent Year to Date	Available Balance	Mo/Yr	Current Request Amount
General Fund:						
General / Retainer	\$ 162,000.00	\$ 162,000.00	\$ 65,824.38	\$ 96,175.62	Dec-14	\$ 13,458.25
Labor & Employment	20,000.00	20,000.00	81,525.37	(61,525.37)	Dec-14	30,547.40
Litigation & Claims	50,000.00	50,000.00	18,476.22	31,523.78	Dec-14	11,684.33
Special Projects	76,000.00	76,000.00	37,619.64	38,380.36	Dec-14	7,644.46
Total	\$ 308,000.00	\$ 308,000.00	\$ 203,445.61	\$ 104,554.39		\$ 63,334.44
Other City Funds:						
Litigation & Claims	\$ -	\$ 2,787.60	\$ 2,787.60	\$ -		\$ -
Special Projects	-	211.50	211.50	-		-
MHFP Commission	5,000.00	5,000.00	464.60	4,535.40	Dec-14	1,821.60
Total	\$ 5,000.00	\$ 7,999.10	\$ 3,463.70	\$ 4,535.40		\$ 1,821.60
CDC Successor Agency:						
Riverview Public Improvements	\$ -	\$ 17,849.37	\$ 14,657.25	\$ 3,192.12	Dec-14	\$ 3,192.12
Bond Proceeds:						
Prospect Avenue Project	\$ -	\$ 88,250.90	\$ 79,164.56	\$ 9,086.34	Dec-14	\$ 9,086.34

LEGAL SERVICES BILLING SUMMARY
FY 2014-15

Category	Adopted Budget	Revised Budget	Spent Year to Date	Available Balance	Current Request Mo/Yr	Current Request Amount
Applicant-initiated (paid from developer/applicant deposits)						
Lantern Crest	n/a	n/a	\$ 1,625.50	n/a		\$ -
Castlerock	n/a	n/a	1,652.00	n/a		-
El Nopal Estates II	n/a	n/a	2,837.27	n/a		-
Wal-Mart	n/a	n/a	1,455.00	n/a		-
Conejo	n/a	n/a	291.50	n/a		-
Fanita (HomeFed)	n/a	n/a	6,838.00	n/a	Dec-14	259.50
Toyota Freeway Sign	n/a	n/a	413.00	n/a		-
San Diego Christian College	n/a	n/a	9,603.50	n/a		-
Halberns Wireless Facility	n/a	n/a	12,175.50	n/a	Dec-14	647.35
Cameron Mobile Estates	n/a	n/a	2,525.00	n/a	Dec-14	2,342.23
Santee 60	n/a	n/a	-	n/a	Dec-14	5,767.00
Helix Environmental	n/a	n/a	-	n/a	Dec-14	5,256.00
Total			\$ 39,416.27			\$ 14,272.08
Total Previously Spent to Date						
FY 2014-15						
General Fund	\$ 203,445.61					\$ 63,334.44
Other City Funds	3,463.70					1,821.60
CDC Successor Agency	14,657.25					3,192.12
Bond Proceeds	79,164.56					9,086.34
Developer Deposits	39,416.27					14,272.08
Total	\$ 340,147.39					\$ 91,706.58
Total Proposed for Payment						
General Fund						\$ 63,334.44
Other City Funds						1,821.60
CDC Successor Agency						3,192.12
Bond Proceeds						9,086.34
Developer Deposits						14,272.08
Total						\$ 91,706.58

City of Santee
COUNCIL AGENDA STATEMENT

1E

MEETING DATE January 28, 2015

AGENDA ITEM NO.

ITEM TITLE CLAIM AGAINST THE CITY BY JOYCE IVES

DIRECTOR/DEPARTMENT Jodene Dunphy, Director of Human Resources & Risk Management



SUMMARY

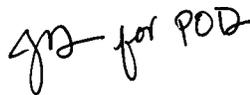
A claim was filed against the City by Joyce Ives. The claim has been reviewed by the City's Claims Administrator prior to bringing it forward for consideration. The Claims Administrator recommends the claim be rejected as provided in Government Code Section 913.

The claim documents are on file in the Office of the City Clerk for Council reference.

FINANCIAL STATEMENT ^{for} Sufficient funds for Claims Administration are budgeted in the Risk Management Claims Administration Account.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION



Reject claim as per Government Code Section 913.

ATTACHMENTS (Listed Below)

None.

City of Santee
COUNCIL AGENDA STATEMENT

1F

MEETING DATE January 28, 2015

AGENDA ITEM NO.

ITEM TITLE RESOLUTION AWARDING THE CONSTRUCTION CONTRACT FOR THE CARLTON OAKS SCHOOL SIDEWALK ACCESS IMPROVEMENTS (CIP 2013-07)

DIRECTOR/DEPARTMENT Melanie Kush, Development Services *MK*

SUMMARY

This item requests City Council to award the construction contract for the Carlton Oaks School Sidewalk Access Improvements (CIP 2013-07). This project is a Safe Routes to School (SR2s) Grant Project which will widen the eastern sidewalk on Wethersfield Drive along the frontage of Carlton Oaks School to provide a larger and safer sidewalk and school drop off area. Additional improvements include pedestrian ramps, accessible driveways, retaining walls and fencing.

On January 7, 2015, eleven (11) bids were received and opened, with a low bid of \$98,560.00 submitted by Ace Excavating & Environmental Services, Inc. Upon review by staff, the bid submitted by Ace Excavating & Environmental Services, Inc. has been deemed a responsive and responsible bid and was 18% lower than the Engineer's estimate of \$120,000.00. Staff also requests authorization for the Director of Development Services to approve change orders in an amount not to exceed \$9,856.00.

FINANCIAL STATEMENT *JK*

Funding for this project is provided through a State Safe Routes to School (SR2S) Program Grant in the amount of \$175,500.00 with City matching funds provided by Developer Impact Fees in the amount of \$29,600.00. The total available funding for this project is \$205,100.00. This project is included in the adopted Capital Improvement Program Budget.

Design & Bidding	\$ 24,640.00
Construction Contract	98,560.00
Construction Change Orders	9,856.00
Construction Engineering/Management	<u>16,262.00</u>
 Total Anticipated Project Cost	 <u>\$ 149,318.00</u>

ENVIRONMENTAL REVIEW

The project is categorically exempt from environmental review by section 15302 of the Guidelines to the California Environmental Quality Act.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *go for POD*

Adopt the attached Resolution awarding the construction contract to Ace Excavating and Environmental Services, Inc. for a total amount of \$98,560.00 and authorizing the Director of Development Services to approve change orders in an amount not to exceed \$9,856.00.

ATTACHMENTS Resolution Bid Summary Location Map

RESOLUTION NO. _____

RESOLUTION AWARDING THE CONSTRUCTION CONTRACT FOR THE CARLTON OAKS SCHOOL SIDEWALK ACCESS IMPROVEMENTS (CIP 2013-07)

WHEREAS, the City Clerk, on the 7th day of January, 2015 publicly opened and examined sealed bids for the Carlton Oaks School Sidewalk Access Improvements, (CIP 2013-07) ("Project"); and

WHEREAS, the lowest received bid was submitted by Ace Excavating & Environmental Services, Inc. in the amount of \$98,560.00; and

WHEREAS, Ace Excavating and Environmental Services, Inc. was found to be the lowest responsive and responsible bidder with their total bid amount of \$98,560.00; and

WHEREAS, staff recommends awarding construction contract to Ace Excavating & Environmental Services, Inc. totaling \$98,560.00; and

WHEREAS, staff requests authorization to expend up to \$9,856.00 for unforeseen change orders and additional work; and

WHEREAS, the project is categorically exempt from environmental review by sections 15302 of the Guidelines to the California Environmental Quality Act.

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Santee, California, as follows:

SECTION 1: The construction contract for the Carlton Oaks School Sidewalk Access Improvements, (CIP 2013-07) is awarded to Ace Excavating and Environmental Services, Inc. as the lowest responsive and responsible bidder in the amount of \$98,560.00 and the City Manager is authorized to execute the contract on behalf of the City.

SECTION 2: The Director of Development Services is authorized to approve change orders in an amount not to exceed \$9,856.00 for unforeseen items and additional work.

ADOPTED by the City Council of the City of Santee, California, at a Regular meeting thereof held this 28th day of January, 2015 by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

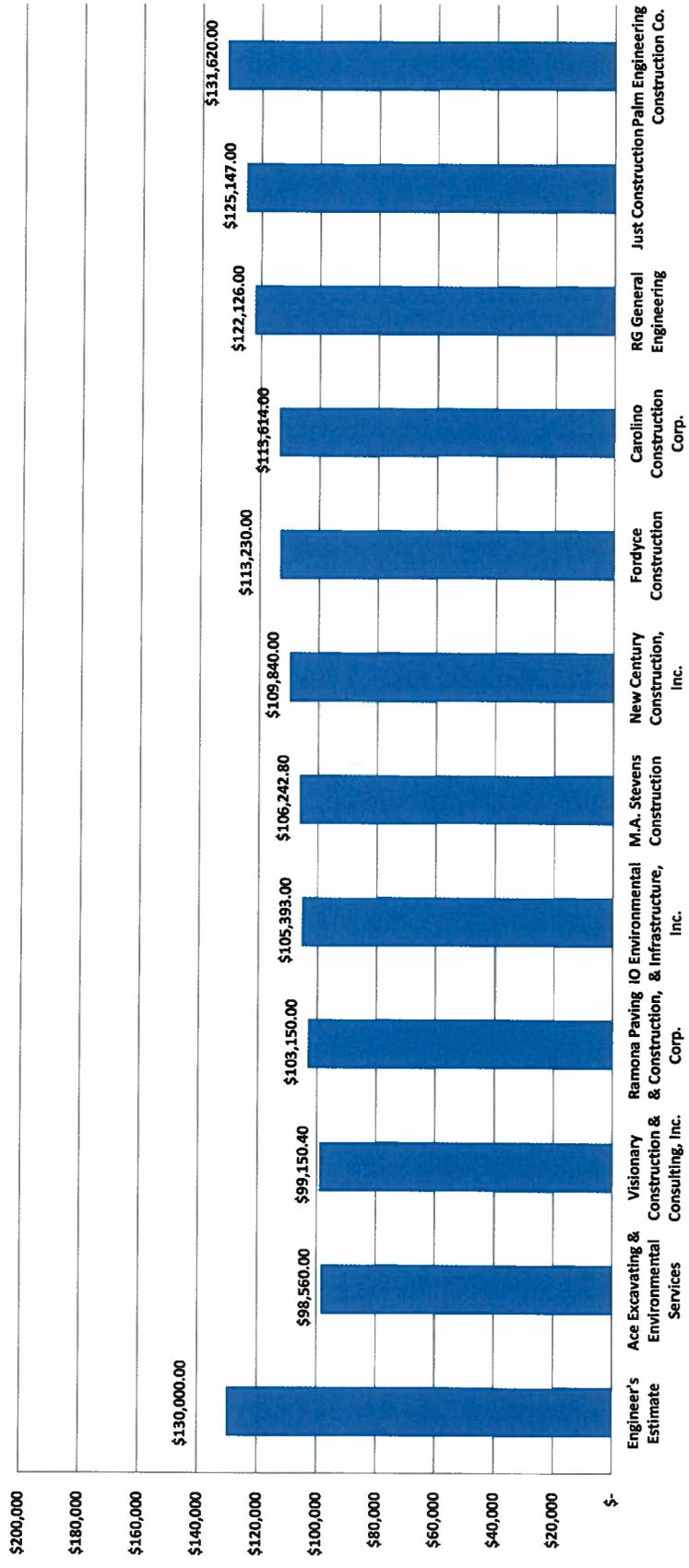
APPROVED:

RANDY VOEPEL, MAYOR

ATTEST:

PATSY BELL, CMC, CITY CLERK

BID SUMMARY
CARLTON OAKS SCHOOL SIDEWALK ACCESS IMPROVEMENTS (CIP 2013-07)





LOCATION MAP

CARLTON OAKS SCHOOL SIDEWALK ACCESS IMPROVEMENTS

City of Santee
COUNCIL AGENDA STATEMENT

1G

MEETING DATE January 28, 2015

AGENDA ITEM NO.

ITEM TITLE RESOLUTION AWARDING THE CONSTRUCTION CONTRACT FOR THE RIVER TRAIL EXTENSION (CIP 2013-30) AND APPROPRIATING FUNDS

DIRECTOR/DEPARTMENT Melanie Kush, Development Services 

SUMMARY

This item requests City Council to award the construction contract for the River Trail Extension (CIP 2013-30). This project is a TDA/Transnet Active Transportation Grant project which will extend the existing bicycle/pedestrian walkway which currently lies along the southern side of the San Diego River from WalMart to the Ross Department Store. These improvements will extend the existing 9 foot wide meandering decorative sidewalk approximately 600 feet from the Ross Department Store to Cuyamaca Street. This project will also widen the existing sidewalk on Cuyamaca Street from the Cuyamaca Street Bridge to the driveway at the San Diego County Credit Union. Additional improvements include walkway lighting, roadway lighting, a retaining wall, and irrigation sleeves under the new sidewalks to accommodate future parkway landscaping.

On January 8, 2015, fifteen (15) bids were received and opened, with a low bid of \$147,180.00 submitted by Curto Construction Company. Upon review by staff, the bid submitted by Curto Construction Company has been deemed a responsive and responsible bid and was 30% lower than the Engineer's estimate of \$210,000.00. Staff also requests authorization for the Director of Development Services to approve change orders in an amount not to exceed \$14,718.00.

FINANCIAL STATEMENT 

Funding for this project is provided through a TDA/Transnet Active Transportation Grant in the amount of \$281,750.00 and by a Developer Contribution in the amount of \$31,594.00. The total available funding for this project is \$313,344.00. This project is included in the adopted Capital Improvement Program budget.

Planning, Environmental, Design & Bidding	\$ 57,477.00
Construction Contract	147,180.00
Construction Change Orders	14,718.00
Construction Engineering/Management	<u>20,000.00</u>
 Total Anticipated Project Cost	 <u>\$ 239,375.00</u>

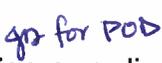
ENVIRONMENTAL REVIEW

A Mitigated Negative Declaration was prepared for this project in compliance with the California Environmental Quality Act and a Notice of Intent was on file for review with the County Clerk from October 17, 2013 to November 18, 2013. No comments were received and a Notice of Determination was filed on November 25, 2013.

CITY ATTORNEY REVIEW

N/A

Completed

RECOMMENDATION 

Adopt the attached Resolution awarding the construction contract to Curto Construction Company for a total amount of \$147,180.00, authorizing the Director of Development Services to approve change orders in an amount not to exceed \$14,718.00 and appropriating a Developer Contribution in the amount of \$31,594.00.

ATTACHMENTS

Resolution Bid Summary Notice of Determination Location Map

RESOLUTION NO. _____

RESOLUTION AWARDING THE CONSTRUCTION CONTRACT FOR THE RIVER TRAIL EXTENSION PROJECT (CIP 2013-30) AND THE APPROPRIATION OF FUNDS

WHEREAS, the City Clerk, on the 8th day of January, 2015 publicly opened and examined sealed bids for the River Trail Extension Project, (CIP 2013-30) ("Project"); and

WHEREAS, the lowest received bid was submitted by Curto Construction Company in the amount of \$147,180.00; and

WHEREAS, Curto Construction Company was found to be the lowest responsive and responsible bidder with their total bid amount of \$147,180.00; and

WHEREAS, staff recommends awarding the construction contract to Curto Construction Company totaling \$147,180.00; and

WHEREAS, staff requests authorization to expend up to \$14,718.00 for unforeseen change orders and additional work; and

WHEREAS, a Mitigated Negative Declaration was prepared for this project and a Notice of Intent was on file for review with the County Clerk from October 17, 2013 to November 18, 2013; and

WHEREAS, No comments were received and a Notice of Determination was filed on November 25, 2013.

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Santee, California, as follows:

SECTION 1: The construction contract for the River Trail Extension Project, (CIP 2013-30) is awarded to Curto Construction Company as the lowest responsive and responsible bidder in the amount of \$147,180.00 and the City Manager is authorized to execute the contract on behalf of the City.

SECTION 2: The Director of Development Services is authorized to approve change orders in an amount not to exceed \$14,718.00 for unforeseen items and additional work.

SECTION 3: A Developer Contribution received in the amount of \$31,594.00 is hereby appropriated.

ADOPTED by the City Council of the City of Santee, California, at a Regular meeting thereof held this 28th day of January, 2015 by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

RESOLUTION NO. _____

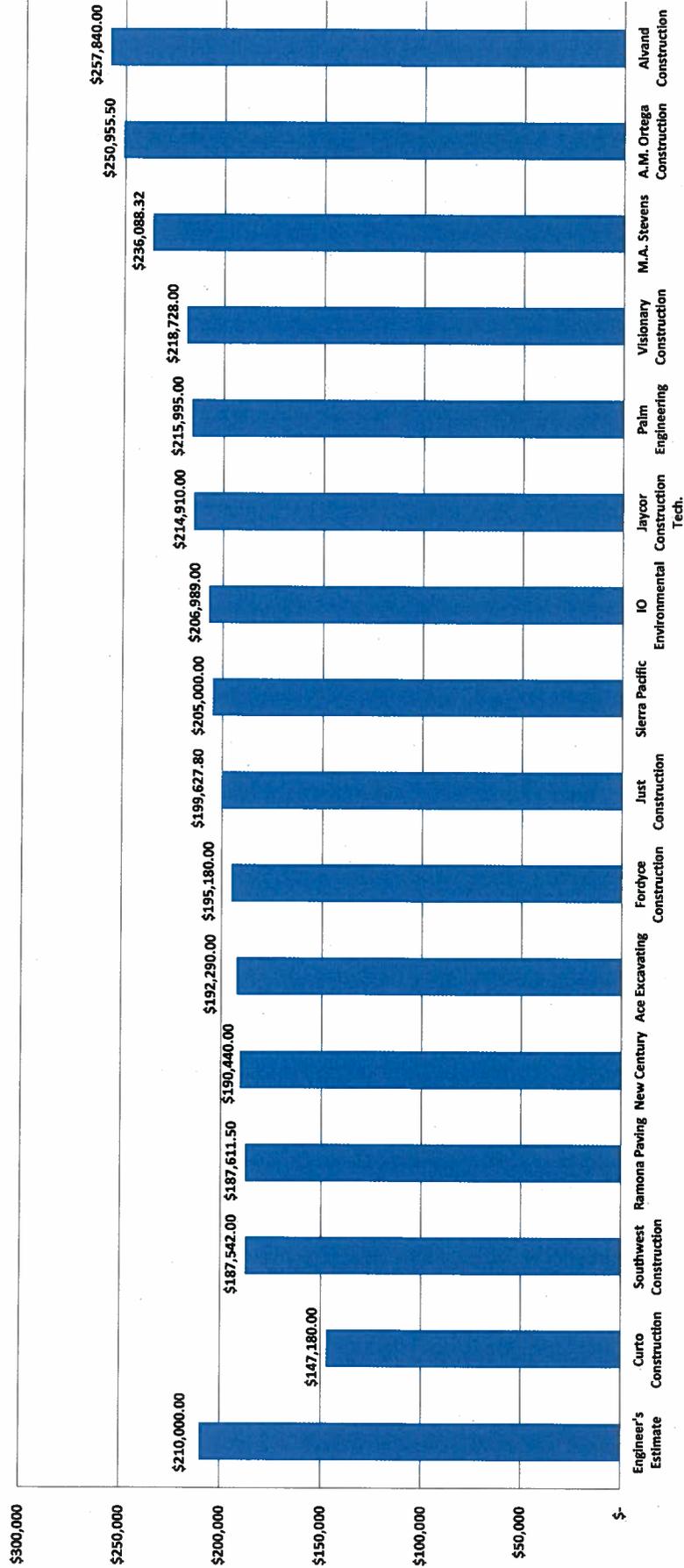
APPROVED:

RANDY VOEPEL, MAYOR

ATTEST:

PATSY BELL, CMC, CITY CLERK

**BID SUMMARY
RIVERTRAIL EXTENSION (CIP 2013-30)**



NOV 25 2013

BY **J. Vargas**
DEPUTY

NOTICE OF DETERMINATION

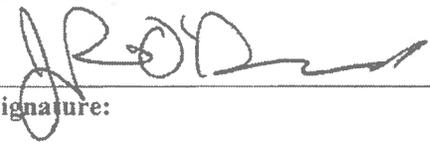
TO:	<input type="checkbox"/> Clerk of the Board of Supervisors or <input checked="" type="checkbox"/> County Clerk	FROM:	City of Santee Dept. of Development Services 10601 Magnolia Ave. Santee, CA 92071-1266 (619) 258-4100, ext. 182
	. 1 3 0 1 9 0 RECORDER/COUNTY CLERK'S OFFICE 1600 Pacific Highway, Suite 260 P.O. Box 121750 * San Diego, CA 92112-1750 Tel. (619)237-0502 * Fax (619)557-4155		

SUBJECT: Filing of Notice of Determination in Compliance with Section 21108 or 21152 of the Public Resources Code.

Project Title: City of Santee San Diego River Pedestrian / Bicycle Trail Extension Project		
State Clearinghouse Number:	Contact Person:	Telephone Number:
N/A	John O'Donnell, City of Santee	(619) 258-4100, ext. 182
Specific Project Location – A portion of a 1.60-acre site located west of Cuyamaca Street, adjacent to the northeastern area of the Santee Town Center, and south of the San Diego River. San Diego County Assessor's Parcel Number (APN): 381-040-38-00. El Cajon Quadrangle, 7 ½' Series.		
General Project Location (City and/or County): City of Santee		
Project Description: The proposed City of Santee (City) San Diego River Pedestrian/Bicycle Trail Extension Project (project) consists of a paved pedestrian/bicycle trail within a 30-foot easement parallel to, and south of, the San Diego River, and a 25-foot easement with improvements, including a meandering sidewalk, along Cuyamaca Street (see Figure 3). The proposed project will be an extension of the existing San Diego River trail, and will include eighteen (18) low bollard-style lights along the river trail to match other low bollard lights along the trail, and eight (8) walkway light standards consistent with other lighting along Cuyamaca Street. Pedestrians and cyclists on the San Diego River trail currently traverse the project site on ad-hoc trails to connect with the sidewalk along Cuyamaca Street. The proposed project is designed to enhance the recreational experience and complete this segment of the San Diego River trail.		
The project site has been previously graded and will only require limited clearing and grubbing to level out the proposed trail segment. An existing earthen berm, erected along the northern property boundary, will remain in place, providing a buffer between the project area and the San Diego River. Construction of the proposed project will occur outside of breeding season for Least Bell's vireo (<i>Vireo bellii pusillus</i> ; March 15 through September 15) to ensure indirect impacts to protected Least Bell's vireo would not occur as a result of construction noise and activities. Concrete paving will be used for the both the San Diego River trail segment and the sidewalk improvements. Disturbed areas will be stabilized with either decomposed granite or mulch on either side of the new path, as necessary.		
Project Applicant: City of Santee, Department of Development Services (Bldg. 4), 10601 Magnolia Avenue, Santee, CA 92071		

This is to advise that the (Lead Agency or Responsible Agency) has taken the above described action on November 21, 2013 and has made the following determinations regarding the above described Project:

1.	<input type="checkbox"/>	The project will have a significant effect on the environment.
	<input checked="" type="checkbox"/>	The project will NOT have a significant effect on the environment
2.	<input type="checkbox"/>	An Environmental Impact Report was prepared and certified for this Project by the lead agency, the City of San Diego, pursuant to the provisions of CEQA. The City of Santee, as a responsible agency under CEQA, considered the EIR.
	<input type="checkbox"/>	A Negative Declaration was prepared for this project pursuant to the provisions of CEQA and reflects the independent judgment of the Lead Agency.
	<input checked="" type="checkbox"/>	A Mitigated Negative Declaration was prepared for this project pursuant to the provisions of CEQA and reflects the independent judgment of the Lead Agency.
3.	<input checked="" type="checkbox"/>	Mitigation measures were made a condition of the approval of the project.
	<input type="checkbox"/>	Mitigation measures were NOT made a condition of the approval of the project.
4.	<input type="checkbox"/>	A Mitigation Monitoring or Reporting Plan was adopted for this project.
	<input checked="" type="checkbox"/>	A Mitigation Monitoring or Reporting Plan was NOT adopted for this project.
5.	<input type="checkbox"/>	A Statement of Overriding Considerations was adopted for this project.
	<input checked="" type="checkbox"/>	A Statement of Overriding Considerations was NOT adopted for this project
6.	<input checked="" type="checkbox"/>	Findings were made pursuant to the provisions of CEQA.
	<input type="checkbox"/>	Findings were NOT made pursuant to the provisions of CEQA.
<p>This certifies that the location and custodian of the documents which comprise the record of Mitigated Negative Declaration are available to the general public at the following locations:</p> <p>City of Santee: Department of Development Services - Planning 10601 N. Magnolia, Building #4 City of Santee, CA 92071</p>		

Date: <u>11/21/2013</u>	 Signature:
Date Received for Filing: <u>11/25/2013</u>	<u>ASSOCIATE PLANNER</u> Title:

Authority cited: Sections 21083, Public Recourse Code.
Reference Section 21000-21174, Public Resources Code.

FILED IN THE OFFICE OF THE COUNTY CLERK
NOV 25 2013
San Diego County on
Posted NOV 25 2013 Removed _____
Returned to agency on
Deputy J. Vargas



Ernest J. Dronenburg, Jr.
COUNTY OF SAN DIEGO
ASSESSOR/RECORDER/COUNTY CLERK



ASSESSOR'S OFFICE
1600 Pacific Highway, Suite 103
San Diego, CA 92101-2480
Tel. (619) 236-3771 * Fax (619) 557-4056

www.sdarcc.com

RECORDER/COUNTY CLERK'S OFFICE
1600 Pacific Highway, Suite 260
P.O. Box 121750 * San Diego, CA 92112-1750
Tel. (619)237-0502 * Fax (619)557-4155

Transaction #: 307886520131125
Deputy: JVARGAS2
Location: COUNTY ADMINISTRATION BUILDING
25-Nov-2013 11:32

FEES:

2,156.25	Qty of 1 Fish & Game Neg Dec (1800) for Ref# 20130991
50.00	Qty of 1 Fish and Game Filing Fee for Ref# 20130991
<u>2,206.25</u>	TOTAL DUE

PAYMENTS:

2,206.25	Check
<u>2,206.25</u>	TENDERED

**SERVICES AVAILABLE AT
OFFICE LOCATIONS**

- * Tax Bill Address Changes
- * Records and Certified Copies:
Birth/ Marriage/ Death/ Real Estate
- * Fictitious Business Names (DBAs)
- * Marriage Licenses and Ceremonies
- * Assessor Parcel Maps
- * Property Ownership
- * Property Records
- * Property Values
- * Document Recordings

**SERVICES AVAILABLE ON-LINE AT
www.sdarcc.com**

- * Forms and Applications
- * Frequently Asked Questions (FAQs)
- * Grantor/ Grantee Index
- * Fictitious Business Names Index (DBAs)
- * Property Sales
- * On-Line Purchases
Assessor Parcel Maps
Property Characteristics
Recorded Documents

State of California—The Resources Agency
 DEPARTMENT OF FISH AND WILDLIFE
2013 ENVIRONMENTAL FILING FEE CASH RECEIPT

RECEIPT# SD2013 0991
STATE CLEARING HOUSE # (If applicable) ---

SEE INSTRUCTIONS ON REVERSE. TYPE OR PRINT CLEARLY

LEAD AGENCY CITY OF SANTEE DEPT. OF DEVELOPMENT SERVICES	DATE 11/25/2013
COUNTY/STATE AGENCY OF FILING SAN DIEGO	DOCUMENT NUMBER *20130190*
PROJECT TITLE CITY OF SANTEE SAN DIEGO RIVER PEDESTRIAN/ BICYCLE TRAIL EXTENSION PROJECT	

PROJECT APPLICANT NAME CITY OF SANTEE, DEPARTMENT OF DEVELOPMENT SERVICES	PHONE NUMBER 619-258-4100 EXT 182
PROJECT APPLICANT ADDRESS 10601 MAGNOLINA AVENUE	CITY SANTEE
	STATE CA
	ZIP CODE 92071

PROJECT APPLICANT (Check appropriate box):

- Local Public Agency
 School District
 Other Special District
 State Agency
 Private Entity

CHECK APPLICABLE FEES:

- | | | |
|---|------------|--------------------|
| <input type="checkbox"/> Environmental Impact Report | \$2,995.25 | \$ _____ |
| <input checked="" type="checkbox"/> Negative Declaration | \$2,156.25 | \$ <u>2,156.25</u> |
| <input type="checkbox"/> Application Fee Water Diversion (State Water Resources Control Board Only) | \$850.00 | \$ _____ |
| <input type="checkbox"/> Projects Subject to Certified Regulatory Program | \$1,018.50 | \$ _____ |
| <input checked="" type="checkbox"/> County Administrative Fee | \$50.00 | \$ <u>50.00</u> |
| <input type="checkbox"/> Project that is exempt from fees | | |
| <input type="checkbox"/> Notice of Exemption | | |
| <input type="checkbox"/> DFG No Effect Determination (Form Attached) | | |
| <input type="checkbox"/> Other _____ | | \$ _____ |

130190

PAYMENT METHOD:

- Cash
 Credit
 Check
 Other CHK# 103894

TOTAL RECEIVED \$ 2,206.25

SIGNATURE X J. Vargas	TITLE Deputy
---------------------------------	-----------------





PROPOSED 9' WIDE BICYCLE / PEDESTRIAN WALKWAY WITH LIGHTING

SAN DIEGO RIVER

GUYAMACA STREET

ROSS DEPARTMENT STORE

EXISTING 9' WIDE BICYCLE / PEDESTRIAN WALKWAY WITH LIGHTING

TOWN CENTER PARKWAY



LOCATION MAP

City of Santee
COUNCIL AGENDA STATEMENT

2A

MEETING DATE January 28, 2015

AGENDA ITEM NO.

ITEM TITLE PUBLIC HEARING FOR A TENTATIVE MAP (TM2014-1), DEVELOPMENT REVIEW PERMIT (DR2014-5), AND A MITIGATED NEGATIVE DECLARATION PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (AEIS2014-7) FOR 50 TOWNHOME CONDOMINIUM UNITS LOCATED AT 7427 SIMEON DRIVE, 7439 SIMEON DRIVE, AND 7439 BUSHY HILL DRIVE IN THE MEDIUM-HIGH DENSITY RESIDENTIAL (R-14) LAND USE DESIGNATION AND ZONE. (APPLICANT: CITY VENTURES, L.P.)

DIRECTOR/DEPARTMENT Melanie Kush, Development Services *MK*

SUMMARY The "Santee 50" project is a request by City Ventures for a Tentative Map (TM2014-1) and Development Review Permit (DR2014-5) to develop 50 townhome condominium units on one common lot. The project site comprises 3.1 acres and is occupied by three single family homes which will be demolished in association with the project. The proposed 50-unit project is configured as nine buildings, containing a combination of three-plex, five-plex, six-plex, and seven-plex units. The majority of the units proposed are three-bedroom, two story units, with one floor plan including a third-story bonus room. Depending on the floor plan, the units would contain from 1,745 to 1,882 square feet of living space. The project will be served by private internal driveways.

ENVIRONMENTAL REVIEW A Mitigated Negative Declaration (State Clearinghouse No. 2014121069) was available for public review and comment from December 19, 2014 to January 20, 2015 and is recommended for approval. A full discussion of the environmental issues is found in the attached Initial Study. This Initial Study identified Biology and Cultural Resources as potentially significant, but mitigable impacts. One comment letter from the San Diego Archaeological Society was received during the comment period and the mitigation measures fully address those comments.

FINANCIAL STATEMENT *m* Staff costs to process the Tentative Map TM2014-1 and Development Review Permit DR2014-5 total approximately \$20,000 to date and are paid by the applicant on an actual cost basis. Development Impact Fees generated by the project are estimated to be \$915,000 (Drainage Impact Fees \$91,000; Traffic Impact/Traffic Signal/RTCIP Fees \$228,350; Park-In-Lieu Fees \$327,000; Public Facilities Fees \$268,650).

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *XOD*

1. Conduct and close the Public Hearing.
2. Find that Tentative Map TM2014-1 and Development Review Permit DR2014-5 will not have a significant effect on the environment; approve the Mitigated Negative Declaration (AEIS2014-7) prepared in accordance with CEQA; and authorize a filing of a Notice of Determination.
3. Approve TM2014-1 and DR2014-5 per the attached Resolutions.

ATTACHMENTS Staff Report Resolutions Aerial Map Project Plans
Project Elevations Negative Declaration/Initial Study

PUBLIC HEARING FOR A TENTATIVE MAP (TM2014-1), DEVELOPMENT REVIEW PERMIT (DR2014-5), AND A MITIGATED NEGATIVE DECLARATION (AEIS2014-7) PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT FOR 50 TOWNHOME CONDOMINIUM UNITS LOCATED AT 7427 SIMEON DRIVE, 7439 SIMEON DRIVE, AND 7439 BUSHY HILL DRIVE IN THE MEDIUM-HIGH DENSITY RESIDENTIAL (R-14) LAND USE DESIGNATION AND ZONE. (APPLICANT: CITY VENTURES, L.P.)

CITY COUNCIL MEETING JANUARY 28, 2015

Notice of the availability of the Mitigated Negative Declaration was published in the East County Californian on December 18, 2014 and Notice of the Public Hearing was published in the East County Californian on January 15, 2015. The applicant and property owners were notified ten days in advance of the public hearing, and 113 adjoining owners of property within 300 feet of the request were notified by U.S. Mail on January 15, 2015.



TM2014-1/DR2014-5:
Santee 50, 7427-7439 Simeon
Drive and 8746 Bushy Hill Drive

A. SITUATION AND FACTS

1. Requested by City Ventures
2. Land Owner Fred Guglielmetti/Nicholas Ferrari Trust
3. Type and Purpose of Request TM2014-1 and DR2014-5 for a 50-unit townhome condominium complex, with unit sizes ranging from 1,745, to 1,882 square feet
4. Location 7427 and 7439 Simeon Drive, 7439 Bushy Hill Drive (APNs 381-023-03, -04, and -07)
5. Site Area Approximately 3.1 acres
6. Existing Zoning R-14, Medium-High Density Residential
7. Surrounding Zoning North RS-1-1, City of San Diego (40,000 sf lot size)
South: R-14, Medium-High Density Residential
East: R-14, Medium-High Density Residential
West: R-14, Medium-High Density Residential
8. General Plan Designation R-14, Medium-High Density Residential, 14-22 units per acre
9. Existing Land Use Three single-family homes
10. Surrounding Land Use North: Mission Trails Regional Park (City of San Diego)
South: Multiple-family Residential
East: Multiple-family Residential
West: Multiple-family Residential
11. Terrain Generally flat, topography currently slopes downwards from the southeast to the northwest, with elevations ranging from approximately 360 feet above mean sea level (amsl) to 330 feet amsl
12. Environmental Status:..... Mitigated Negative Declaration AEIS2014-7 (SCH 2014121069) (December 19, 2014). Issues: Biology, Cultural Resources.

B. BACKGROUND

The "Santee 50" project is a request by City Ventures for a Tentative Map (TM2014-1) and Development Review Permit (DR2014-5) to develop 50 townhome condominium units on one common lot. The project site comprises 3.1 acres and is located at the southwest corner of Simeon Drive and Bushy Hill Drive and is zoned R-14, Medium-High Density Residential. The site is currently occupied by three single family homes which will be demolished in association with the project.

The proposed 50 townhomes would be divided into nine buildings, containing a combination of three-plex, five-plex, six-plex, and seven-plex units. The proposed buildings contain three-bedroom units that are generally two stories in height, with a maximum height of 28 feet. One floor plan contains a third-story "bonus room," with a height of 34 feet. Depending on the floor plan, the units would contain between 1,745 and 1,882 square feet of living space.

The site would be graded to developed level pads for each townhome complex. The project anticipates minor grading with 3,000 cubic yards (cy) to be cut and 12,000 cy to be filled, for a total import of 9,000 cy. The project will be served by private internal driveways.

In addition to the 50 condominium units, other project features include:

- Internal, 30' access driveways leading to covered parking in 2-car garages (100 spaces total) and open parking (13 spaces).
- Common outdoor recreational area (approximately 4,050 square feet) consisting of a tot lot and grass play area.
- Drainage improvements, such as the construction of curbs, gutters, and a bioretention area (approximately 4,000 square feet).
- Street frontage improvements along Bushy Hill Drive and Simeon Drive, including trees such as California sycamores, ornamental pears, white crape myrtles, and fruitless olives.
- Perimeter block and/or stucco walls and fencing.
- Lighting, including landscape uplighting, trellis and structure downlighting,

- Formation of a Home Owner Association to manage landscaping, irrigation, and property maintenance needs.

C. ANALYSIS

General Plan: As a part of the most recent update to the Housing Element of the General Plan, the City Council changed the zoning and General Plan Designation of the three subject parcels from R-7 (7-14 units per acre) to R-14 (14-22 units per acre) in 2013. The proposed project proposes a residential density of 16.1 units per acre, which is at the lower end of the R-14 range. This compares to the existing multi-family development pattern of the surrounding area, which contains a mixture of one- and two-story multifamily units at the midpoint and high end of the R-7 density range, ranging from 10 units per acre (Mission Trails Villas and Sunset Greens) to 12 and 14 units per acre (River Place and Highland Trails)

Architectural Design: Project architecture includes varied wall planes and rooflines, tile roofs, stucco walls, decorative metal elements, and window treatments. All non-paved areas will be landscaped. The proposed residential units are configured predominantly in two-story floor plans, with end units (plan 2) having a third-story bonus room. Each unit will have a 2-car garage and 3 bedrooms. Floor plans range in area from 1,745 square feet to 1,882 square feet.

Traffic and Circulation: The project proposes through driveway access, with two entrances on Bushy Hill Drive. Each of the 50 units has a two-car garage, and the project provides 13 parking spaces for visitors. The existing project frontage includes curb, gutter and sidewalk, which was installed in 2011 as part of a City paving project. The project proposes landscape treatments for each frontage.

The project is estimated to generate approximately 400 daily traffic trips. This is below the City's threshold of 1,000 trips to perform a traffic study. However, access to this neighborhood is taken entirely from Mission Gorge Road, and it was determined by the Traffic Engineering Division that the additional 400 trips will not cause a reduction in the current level of service 'A' on that road. The project will be required to pay traffic mitigation fees totaling approximately \$228,350 to pay for its fair share of local and regional traffic and traffic signal impacts.

Safe Route to School: The nearest schools to the subject property are Chet Harritt School and West Hills High School. Students attending Chet Harritt would walk to school using Bushy Hill Drive, Father Junipero Serra Trail, Mission Gorge Road, and Big Rock Road, a distance of approximately 1.3 miles. Portions of this route that pass through the City of San Diego do not provide sidewalks.

Students attending West Hills High School would walk to school using Bushy Hill Drive, Father Junipero Serra Trail, Mission Gorge Road, West Hills Parkway, and Mast Boulevard, a distance of approximately 1.7 miles. Portions of this route that pass through the City of San Diego do not provide sidewalks. In addition, students walking on the north side of Mission Gorge Road utilize an unpaved shoulder between Father Junipero Serra Trail and West Hills Parkway.

Fire Safety Requirements: The project is located within the Wildland-Urban Interface area because of its proximity to Mission Trails Regional Park. The proposed project will fully develop the site with buildings, pavement, and ornamental vegetation. Project conditions require the applicant to use non-combustible building materials and other approved non-combustible construction techniques, as well as to work with the Fire Department to determine the applicability of other Wildland-Urban interface requirements.

Compatibility with Adjacent Land Uses: In addition to the surrounding land uses, the project borders one residential parcel, 8758 Bushy Hill Drive, on three sides. This parcel was also zoned R-14 by the City Council in 2013. However, the applicant was not able to acquire this property for the purposes of this development. Although this parcel is surrounded on three sides by the proposed development, the proposed development would not preclude the property owner from seeking entitlement of an R-14 project at a later date.

The project site is bordered by existing multiple family residential developments in the R-7 zone (7-14 dwelling units per acre) to the west, south, and east (see attached Vicinity Map)

West: To the west lie single-story multiple family units in the Sunset Greens development on Wahl Street. The side of building 3 and the front entrances of buildings 6 and 7 face the western property line, which borders the east sides and parking lots of three buildings in Sunset Greens. The Sunset Greens units face northward and southward; they do not face the proposed project.

The 28-foot tall, predominantly two-story building massing adjacent to Sunset Greens is 17 feet shorter than



Figure 1: Property to the west of the project

the maximum allowable R-14 building height of 45 feet. In addition, landscaping is proposed in the 10-foot rear yard setback along the western property line, which serves to provide a buffer between Sunset Greens and the project.



Figure 2: Property to the south of the project

South: Shown in Figure 2 above are the land uses to the south of the project, two-story buildings in the recently built Mission Trails Villas development. The south side of Building 7 and two of the front entrances of Building 8 units border the open space of Mission Trails Villas along the southern property line and are not directly adjacent to residences. Two additional Building 8 units and all of Building 9's front entrances border the rear yards of four of the Mission Trails Villas units. The predominantly two story massing of the Santee 50 units is similar to the two-story units in Mission Trails Villas, which are set three feet higher than the Santee 50. The ten-foot setback for each development ensures that buildings are at least 20 feet apart. Landscaping is also proposed along this southern border.

East and North: To the east across Bushy Hill Drive are two-story multi-family units in the River Place Navy housing complex. Landscaping on both sites and the width of Bushy Hill Drive provide a visual separation between the two projects. To the north, across Simeon Drive, lies undeveloped land within the boundaries of Mission Trails Regional Park in the City of San Diego.

Grading and Soils – On-site topography currently slopes downward from the southeast to the northwest, with elevations ranging from approximately 360 feet above mean sea level (amsl) to 330 feet amsl. The area proposed for development would be graded to developed level pads for each townhome complex. The project anticipates minor grading with 3,000 cubic yards (cy) to be cut and 12,000 cy to be filled, for a total import of 9,000 cy.

Due to the gently sloping nature of the site, a series of retaining walls are required to enable the site to be level enough for the required roads and building pads. The retaining walls generally make the site lower than adjacent properties and higher than Bushy Hill Drive and Simeon Drive.

However, due to the topography of the area, Buildings 8 and 9 are higher than the property at 8758 Bushy Hill Drive. As such, a retaining wall is required to separate the two properties at this location, which will be visible from and directly adjacent to 8758 Bushy Hill Drive. The wall ranges in height from ground level at Bushy Hill Drive up to almost six feet before tapering off to ground level again to the west.

Drainage and Water Quality - A drainage study for the project was prepared by Pasco Laret Suiter and Associates. The project would result in the construction of new storm water drainage facilities on site. These drainage facilities would include a bioretention basin (approximately 4,000 square feet) to be constructed between buildings 2 and 3. Due to topography and project design, this basin is required to be approximately 8 feet lower than these buildings. The retaining walls that comprise the bioretention basin would be constructed with railings on the top for safety at ground level.

The project's Stormwater Management Plan indicates that the bioretention basin would not cause significant environmental effects, and would minimize the project impacts to runoff and water quality degradation by capturing and treating runoff on site. Off-site stormwater facilities would not need to be constructed or modified, as the existing system was constructed with buildout of the project site anticipated, and it would be able to accommodate a potential increase in runoff from the proposed project.

The drainage design is consistent with the Santee's Storm Water Management and Discharge Control Ordinance and the latest adopted National Pollution Discharge Elimination System (NPDES) Permit from the San Diego Regional Water Quality Control Board, the purpose of which is to eliminate any potential polluted storm water runoff from leaving the site. The detention basin will limit post development storm runoff rates from exceeding those experienced in predevelopment conditions.

D. ENVIRONMENTAL REVIEW

A Mitigated Negative Declaration (State Clearinghouse No. 2014121069) was available for public review and comment from December 19, 2014 to January 20, 2015 and is recommended for approval. A full discussion of the environmental issues is found in the attached Initial Study. This Initial Study identified Biology and Cultural Resources as potentially significant, but mitigable impacts. The recommended Resolution contains the mitigation measures as conditions of approval. A Mitigation Monitoring program is found as an exhibit to the proposed Resolutions.

One comment letter from the San Diego Archaeological Society was received during the public review period. The letter contained two comments, one dealing with a perceived typographical error, and one requesting that curation of Archaeological Resources be required. The Mitigated Negative Declaration and Mitigation Measures have been updated accordingly.

E. ESTIMATED FEES

Development of the proposed project will require the payment of the following Development Impact Fees.

1. Drainage: \$91,000.00
2. Traffic: \$104,800.00
3. Traffic Signal: \$10,850.00
4. Park-in-Lieu: \$327,000.00
5. Public Facilities: \$268,650.00
6. RTCIP Fee: \$112,700.00

F. STAFF RECOMMENDATION

1. Conduct and close the public hearing.
2. Approve the Mitigated Negative Declaration (AEIS 2014-7) as complete and in compliance with the provisions of the California Environmental Quality Act (CEQA).
3. Approve Tentative Map TM2014-1 and Development Review Permit DR2014-5 per the attached Resolutions.

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA APPROVING THE APPLICATION OF CITY VENTURES FOR A TENTATIVE MAP (TM2014-1) AND A MITIGATED NEGATIVE DECLARATION PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (AEIS2014-7) FOR 50 TOWNHOME CONDOMINIUM UNITS LOCATED AT 7427 SIMEON DRIVE, 7439 SIMEON DRIVE, AND 7439 BUSHY HILL DRIVE IN THE MEDIUM-HIGH DENSITY RESIDENTIAL (R-14) LAND USE DESIGNATION AND ZONE (APPLICANT: CITY VENTURES, L.P.) APNS 381-021-03, 381-021-04, 381-021-07

(RELATED TO PROJECT NO: DR2014-5)

WHEREAS, on August 12, 2014 City Ventures submitted an application for a Development Review Permit (DR2014-5) concurrent with Tentative Map (TM2014-1) to subdivide a 3.1 acre residential property developed with an existing single family dwelling into 50 multiple-family residential units (condominium) located at the southwest corner of Simeon Drive and Bushy Hill Drive on property legally described in Exhibit A, attached hereto ("Project"); and

WHEREAS, on November 19, 2014 the application was deemed complete and the Director of Development Services scheduled Development Review Permit DR2014-5 and Tentative Map TM2014-7 for public hearing on January 28, 2015; and

WHEREAS, pursuant to the requirements of the California Environmental Quality Act (CEQA), an Initial Study (AEIS2014-1) was conducted for Development Review Permit DR2014-5 and Tentative Map TM2014-1 that determined the potential significant environmental effect for biology and archaeology/paleontology could be mitigated to a less than significant level and a Mitigated Negative Declaration (SCH 2014121069) was prepared and advertised for public review from December 19, 2014 to January 20, 2015; and

WHEREAS, the City received, considered and responded to all comments on the Draft Initial Study/Mitigated Negative Declaration. The Draft Initial Study/Mitigated Negative Declaration was revised to address the comments. The final Initial Study/Mitigated Negative Declaration consists of the responses to comments and the revised Initial Study/Mitigated Negative Declaration; and

WHEREAS, on January 28, 2015 the City Council held a duly advertised public hearing on Development Review Permit DR2014-5 and Tentative Map TM2014-7; and

WHEREAS, the City Council considered the Staff Report, the Initial Study/Mitigated Negative Declaration, all recommendations by staff, public testimony, and all other relevant information contained in the administrative record regarding the Project.

NOW, THEREFORE, BE IT RESOLVED by the City of Santee City Council, after considering the evidence presented at the public hearing, as follows:

SECTION 1: The City Council finds as follow with respect to compliance with CEQA:

RESOLUTION NO.

- A. As the decision-making body for the Project, the City has reviewed and considered the final Initial Study/Mitigated Negative Declaration and administrative record for the Project, including all oral and written comments received during the comment period. The City finds that the final Initial Study/Mitigated Negative Declaration and the administrative record have been completed in compliance with CEQA, the State CEQA Guidelines, and the City's Local CEQA Guidelines.
- B. The City finds that all environmental impacts of the Project are less than significant with mitigation. The City further finds that there is no substantial evidence in the administrative record supporting a fair argument that the Project may result in significant environmental impacts. The City finds that the final Initial Study/Mitigated Negative Declaration contains a complete, objective and accurate reporting of the environmental impacts associated with the Project and reflects the independent judgment and analysis of the City Council. No new significant environmental effects have been identified in the final Initial Study/Mitigated Negative Declaration and any changes to the final Initial Study/Mitigated Negative Declaration in response to comments or otherwise do not constitute substantial revisions requiring recirculation under State CEQA Guidelines section 15073.5.
- C. The City approves and adopts the Mitigated Negative Declaration pursuant to Public Resources Code section 21080, subdivision (c)(2).
- D. Pursuant to Public Resources Code section 21081.6, the City approves and adopts the Mitigation Monitoring and Reporting Program prepared for the Project, attached to this Resolution as Exhibit "B" and made a condition of Project approval.
- E. The City approves the Project as described in the final Initial Study/Mitigated Negative Declaration.
- F. The City directs staff to file a Notice of Determination with the San Diego County Clerk and the Office of Planning and Research within five (5) working days of approval of the Project.

SECTION 2: The findings in accordance with the State Subdivision Map Act (Government Code Section 66410 et. seq.) are made as follows:

- A. The Tentative Map as conditioned is consistent with all Elements of the Santee General Plan because the site is planned and zoned R-14, Medium-High Density Residential. This designation allows a residential density of 14 to 22 dwelling units per acre. The project proposes 16.1 units per acre, which falls within this density range. The proposed development is compatible with existing multiple-family development in the area, which ranges from 10 to 14 units per acre.
- B. The design and improvements of the proposed development are consistent with all Elements of the Santee General Plan as well as City Ordinances because all necessary services and facilities are, or will be, available to serve this subdivision.
 - 1. On-site drainage improvements will be provided as well as drainage fees

RESOLUTION NO.

(\$91,000) paid for the increase in surface water run-off; and

2. The project will be served by internal private roads developed to City standards; and
 3. Traffic Impact and Traffic Signal fees totaling \$115,650 will be paid to mitigate the additional traffic resulting from this approval; and
 4. An in-lieu cash deposit (\$327,000) toward the future construction of parks shall be provided to mitigate the impact on City parks.
- C. The site is physically suitable for density and type of development because the use is compatible with the adjacent multiple-family residential development, access is provided to the site and utilities are available to serve the development.
- D. The discharge of sewage waste from the subdivision into the Padre Dam Municipal Water District sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board specified by Government Code Section 66420.6.
- E. The design of the subdivision or the type of improvements will not cause serious public health problems since the project will be connected to a public sewer system.
- F. Neither the design of the subdivision nor the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat because no habitat or endangered wildlife species currently exist on the site, and potential effects on nesting raptors will be monitored during construction.
- G. The design of the subdivision or the type of improvements do not conflict with easements acquired by the public at large, for access through, or use of property with the proposed subdivision as defined under Government Code Section 66474.
- H. The design of the subdivision has provided, to the extent feasible, for future passive or natural heating or cooling opportunities as defined under Section 66473.1 of the State Subdivision Map Act.
- I. The effects of the subdivision on the housing need for the San Diego region have been considered and balanced against the public service needs of the City of Santee residents and available fiscal and environmental resources. Forty-seven residences will be added to the City's housing stock.

SECTION 3: Tentative Map TM2014-1 dated October 31, 2014 consisting of the subdivision of approximately 3.1 gross acres into 50 residential condominiums and one common lot located at 7427 and 7439 Simeon Drive and 8746 Bushy Hill Drive is hereby approved subject to the following conditions:

- A. The applicant shall obtain approval of Development Review Permit DR2014-5.

RESOLUTION NO.

- B. The applicant shall be responsible for complying with all the provisions of the Mitigation Monitoring and Reporting Program.
- C. Prior to approval of the Final Map, unless other timing is indicated, the applicant shall complete the following or have plans submitted and approved, agreements executed and securities posted:
 - 1. Following project approval the applicant shall schedule with the City Project Planner a post approval meeting to discuss the project conditions of approval, timing of design and construction and implementation of the project conditions. The meeting shall be scheduled within thirty days of project approval and prior to any plan submittals. The applicant should include their project design team including project architect, their design engineer and their landscape architect.
 - 2. The applicant shall include provisions in their design contract with their design consultants that following acceptance by the City, all construction drawings or technical reports accepted by the City, exclusive of architectural building plans, shall become the property of the City. Once accepted, these plans may be freely used, copied or distributed by the City to the public or other agencies as the City may deem appropriate. An acknowledgement of this requirement from the design consultant shall be included on all construction drawings at the time of plan submittal.
 - 3. To coordinate with the City Geographic Information System, horizontal and vertical control for all construction drawings, grading plans, landscape plans, street improvement plans, plot plans, etc., shall be obtained from ROS 11252. All plans, exclusive of the map and building plans, shall be prepared at an engineering scale of 1" = 20' unless otherwise approved by the project engineer.
 - 4. If plans are prepared in digital format using computer aided drafting (CAD), then in addition to providing hard copies of the plans the applicant shall submit a copy of the plans in a digital .DXF file format at the time of its approval or as requested by the Director of Development Services. The digital file shall be based on accurate coordinate geometry calculations. The digital file for the final map shall specifically include each of the following items in a separate layer:
 - a. Lot boundaries.
 - b. Lot numbers.
 - c. Subdivision boundary.
 - d. Right-of-way.
 - e. Street centerlines, and
 - f. Approved street names.
 - 5. Obtain the basis of bearings for the Final Map from ROS 11252 and install street survey monumentation (SDRSD M-10) in accordance with San Diego Regional Standards and County mapping standards. All other

RESOLUTION NO.

monumentation shall be in accordance with the Santee Municipal Code and shall be to the satisfaction of the Director of Development Services.

6. **Final Map** shall be submitted to the Department of Development Services Engineering Division. The first and last submittal of the map shall be made by appointment only with the City project engineer administering the map review. Submittal requirements are listed below. Incomplete submittals will not be accepted for plan check.

Please include the following with the first submittal:

- a. Two sets of prints bound and stapled.
- b. Two copies of a current preliminary title report (dated within six months of submittal date).
- c. Two copies of all documents listed in the preliminary title report.
- d. Two copies of all reference maps used to prepare the final map.
- e. Two copies of closure calculations for the map.
- f. One copy of the Resolution of Approval approving the project.
- g. Map check fees in the amount of \$5,000.00.

Please include the following with the last submittal (signature submittal):

- a. Previous submittal check prints.
 - b. Two sets of prints bound and stapled.
 - c. Two copies of the map in AutoCAD format on separate disk, CD or DVD for incorporation into the City GIS data base.
 - d. Mylars of the map with all required signatures and notaries obtained including Padre Dam Municipal Water District if they are to sign the map.
 - e. Copies of certified receipts for all signature omission letters.
 - f. Subdivision Map Guarantee.
7. Starting with the first plan check submittal, all plan sets including the Final Map shall be submitted concurrently to Padre Dam Municipal Water District for review and approval. The City does not coordinate the review process with Padre Dam, this is the responsibility of the design engineer and the landscape architect. Failure to properly coordinate this review may result in delay of issuance of permits required for construction. It is incumbent upon the applicant to oversee the plan submittals of their design consultants.
 8. **Street Improvement Plans** shall be submitted to the Department of Development Services Engineering Division and be completed and accepted prior to issuance of a building permit for any given phase. Improvements will be phased to coincide with the specific development for any given phase.

RESOLUTION NO.

Phase specific conditions shall be specified at the time of approval for a given development phase.

Prior to the start of construction of any improvements, public or private, within the limits of the public right-of-way, the applicant shall have plans accepted, agreements executed, securities posted and an Encroachment Permit issued. All improvements shall be installed in accordance with City standards and at the applicant's cost unless otherwise indicated. The following improvements are conditions as part of this development:

- a. Relocate the existing speed hump on Bushy Hill Drive adjacent to the southern driveway to the satisfaction of the Director of Development Services.
- b. Repair or replace failed or inadequate pavement to the centerline of the street and/or failed sidewalks on Bushy Hill Drive and Simeon Drive to the satisfaction of the Director of Development Services.
- c. Construct two 30 foot wide commercial driveways on Bushy Hill Drive per City of Santee Standards. The driveway design consists of a San Diego Regional Standard G-17, modified to the satisfaction of the Director of Development Services.

Street improvement plans shall be one hundred percent (**100%**) complete at the time of plan submittal, be prepared in accordance with City guidelines and the requirements set forth herein, and be ready for acceptance by the City. Partial or incomplete submittals will not be accepted for plan check. At the time of plan check submittal the applicant shall schedule an appointment with their designated City project engineer and the applicant's design engineer to review the plan submittal for completeness. The following shall be included as part of the improvement plan submittal package:

- 1) Six sets of plans bound and stapled.
- 2) Plan check fees.
- 3) Preliminary cost estimate for the improvements.
- 4) One copy of the resolution of Approval approving the project.

Plan check and inspection fees shall be paid in accordance with the City Fee Schedule.

9. **Rough Grading Plans** may be submitted to the Department of Development Services Engineering Division and accepted prior to map recordation. The following conditions shall apply to acceptance of the Grading Plans and issuance of a Grading Permit:

- a. Project landscape and irrigation plans for all slope planting on all slopes over three feet in height shall be included in the grading plan set and shall be prepared at the same scale as the grading plans 1" = 20'. Design shall include a temporary high line for irrigation to permit

RESOLUTION NO.

slope planting to occur immediately following grading until such time as individual meters are installed to permit connection of the irrigation to the home owner's meter.

- b. Project improvement plans shall be completed to the satisfaction of the Director of Development Services and ready for approval prior to issuance of a grading permit. Plans shall be prepared at a scale of 1" = 20'.
- c. Project plot plans shall be completed and approved prior to issuance of any building permits or start of construction of the street improvements.
- d. Obtain a grading permit and complete rough grading in accordance with City standards prior to the issuance of any building permits.
- e. All recommended measures identified in the approved geotechnical and soil investigation shall be incorporated into the project design and construction.
- f. The grading plans shall be prepared at a scale of 1" = 20'. Plans shall include a note that requires immediate planting of all slopes within sixty days following installation of water mains to serve the project. Slope planting shall be fully established prior to occupancy of any unit.
- g. Excess soil generated from grading operations shall be hauled to a legal dumping site as approved by the Director of Development Services.
- h. Grading plans shall be one hundred percent complete at the time of plan check submittal, be prepared in accordance with City guidelines and be ready for acceptance by the City. At the time of plan submittal the applicant shall schedule an appointment with their designated City project engineer and the applicant's design engineer to review the plan submittal for completeness. The following shall be included as part of the grading plan submittal package:
 1. Six sets of plans bound and stapled (grading and landscape).
 2. Plan check fees.
 3. A completed grading permit application.
 4. A cost estimate for the cost of construction.
 5. Three copies of the Drainage Analysis specified here within.
 6. Three copies of the Geotechnical Study specified here within.

All grading shall be completed to the satisfaction of the Director of Development Services. Plan check and inspection fees shall be paid in accordance with the City Fee Schedule.

10. **Precise Grading** shall be submitted to the Department of Development

RESOLUTION NO.

Services Engineering Division for review and acceptance.

- a. Horizontal and vertical control for all plans shall be obtained from ROS 11252 and shall be prepared at an engineering scale of 1"=20' unless otherwise approved by the City project engineer.
- b. Project landscape and irrigation plans shall be excluded from the grading plan set but must be submitted by the second grading plan check.
- c. All recommended measures identified in the approved geotechnical study shall be incorporated into the project design and construction.
- d. Grading plans shall include preliminary recommendations for all pavement design sections within the project limits. The pavement structural section shall be designed based on the "R" value method using a minimum traffic index of 5.0 on site. Structural sections shall consist of asphalt concrete over approved aggregate base material. Minimum concrete section shall be 5 1/2 inches PCC over compacted, non-expansive soil. Mix design shall be a minimum class 520-C-2500. R-value test data and design calculations shall be submitted for approval to the Department of Development Services Engineering Division a minimum of seven days prior to placement of paving. The pavement design report shall conform to City of Santee Form 435 – PAVEMENT DESIGN AND R-VALUE TEST SUBMITTAL PROCEDURES.
- e. All private streets shall be consistent with the Tentative Map exhibit approved on November 19, 2014 and conform to City of Santee Public Works standards.
- f. Grading, landscape and irrigation plans shall be one hundred percent (**100%**) complete at the time of plan check submittal, be prepared in accordance with City guidelines and be ready for acceptance by the City. Partial or incomplete submittals will not be accepted for plan check. At the time of plan submittal the applicant shall schedule an appointment with their designated City project engineer and the applicant's design engineer to review the plan submittal for completeness. The following shall be included as part of the grading, landscape and irrigation plan submittal package:
 - 1) Six sets of grading, landscape and irrigation plans bound and stapled.
 - 2) Plan check fees.
 - 3) A completed grading permit application.
 - 4) A cost estimate for the cost of construction.
 - 5) Three copies of the Drainage Analysis specified here within.
 - 6) Three copies of the Geotechnical Study specified here within.
 - 7) Two copies of the Storm Water Management Plan specified here within.
 - 8) Two copies of the Storm Water Pollution Prevention Plan specified

RESOLUTION NO.

here within.

- 9) A copy of any letters of permission from any adjoining property owners if grading is proposed off-site. Letters shall be in a form acceptable to the City.
- 10) A letter of acknowledgement, signed and sealed, from each design consultant acknowledging City ownership of all construction drawings following City approval as specified here within.
- 11) One copy of the Resolution of Approval or Director's Decision approving the project.

Plan check and inspection fees shall be paid in accordance with the City Fee Schedule prior to issuance of the permit.

11. The applicant shall notify all contractors, subcontractors and material suppliers that the following work schedule restrictions apply to this project:
 - a. No site work, building construction, or related activities, including equipment mobilization will be permitted to start on the project prior to 7:00 am and all work for the day shall be completed by 7:00 pm.
 - b. No work is permitted on Sundays or City Holidays.
 - c. No deliveries, including equipment drop off and pick-up, shall be made to the project except between the hours of 8:00 am and 6:00 pm, Monday through Saturday, excluding City Holidays. Deliveries of emergency supplies or equipment necessary to secure the site or protect the public are excluded.
 - d. If the applicant fails or is unable to enforce compliance with their contractors, subcontractors and material suppliers regarding the specified work hours, a reduction of permissible work hours may be imposed by the Director of Development Services.

In addition to the above the applicant shall erect one or more signs stating the work hour restrictions. Signs shall be installed as may be required, in the vicinity of the project construction trailer if a job site trailer is used, or at such other locations as may be deemed appropriate by the Department of Development Services. The sign shall be a minimum of 24" x 36" and shall be weather proofed. The sign content shall be provided by the Department of Development Services.

12. Trench work when required within City streets shall be completed within two weeks of the initial start date, including placement of the final trench patch. Trench plates or temporary pavement placement shall be installed at the end of each work day. Advance warning signs on lighted barricades notifying the public of trench plates and or uneven pavement shall be placed and maintained until permanent pavement repairs are made. The maximum length of time including weekends and holidays that trench plates may remain on the street is 72 hours after which temporary or permanent asphalt

RESOLUTION NO.

paving shall be placed.

13. Install two concrete streetlight poles and luminaires along Simeon Drive to the satisfaction of the Director of Development Services.
14. Remove the wood pole and streetlight at the corner of Bushy Hill Drive and Simeon Drive and replace with a concrete streetlight pole and luminaire to the satisfaction of the Director of Development Services.
15. Applicant consents to annexation of the property under development to the Santee Roadway Lighting District and agrees to waive any public notice and hearing of the transfer. Applicant shall pay the necessary annexation costs and upon installation of any street lights required for the development, pay the necessary street light energizing and temporary operating costs.
16. A grading permit to allow early subdivision grading in accordance with Section 15.58.170 of the Grading Ordinance may be obtained following approval of the tentative map.
17. Provide three copies of a preliminary drainage study prepared by a registered Civil Engineer, with demonstrated expertise in drainage analysis and experience in fluvial geomorphology and water resources management. Storm drainage shall be designed to adequately convey storm water runoff without damage or flooding of surrounding properties or degradation of water quality.

The drainage study shall identify and calculate storm water runoff quantities expected from the site and upstream of the site and verify the adequacy of all on-site or off-site facilities necessary to discharge this runoff. The drainage system design shall be capable of collecting and conveying all surface water originating within the site, and surface water that may flow onto the site from upstream lands, and shall be in accordance with the latest adopted Master Drainage Plan, the requirements of the City of Santee Public Works Standards, including analysis of the 10-year and 100-year frequency storms, and be based on full development of upstream areas.
18. The drainage study shall compute rainfall runoff characteristics from the project area including, at a minimum, peak flow rate, flow velocity, runoff volume, time of concentration, and retention volume. These characteristics shall be developed for the 2-year, 10-year and 100-year frequency six-hour storm during critical hydrologic conditions for soil and vegetative cover. Storm events shall be developed using isopluvial maps and in accordance with the San Diego County Hydrology Manual.
19. Provide three copies of a Storm Water Management Plan (SWMP) as required by the City of Santee Storm Water Management and Discharge Control Ordinance and in accordance with the City of Santee Standard Urban Storm Water Mitigation Plan (SUSMP) adopted January 12, 2011. All

RESOLUTION NO.

SUSMP requirements developed in the approved SWMP shall be incorporated into the project design. The SWMP shall include the following:

- a. Develop and implement appropriate Best Management Practices (BMPs) to ensure to the maximum extent practicable (MEP) that the project does not increase pollutant loads from the site. A combination of respective storm water BMPs, including Site Design, Source Control, and Structural Treatment Control shall be implemented in accordance with the approved SWMP.
 - b. The project design shall incorporate Low Impact Development (LID) and site design BMPs to minimize directly connected impervious areas and to promote infiltration using LID techniques as outlined in the County of San Diego's LID handbook. Parking areas shall be designed to drain to landscape areas. Private roads shall be designed to drain to vegetated swales or landscaped areas
 - c. Provide a copy of an Operation & Maintenance (O&M) plan in accordance with the City of Santee SUSMP. A Storm Water Facilities Maintenance Agreement accepting responsibility for all structural BMP maintenance, repair and replacement as outlined in said O&M plan binding on the land throughout the life of the project will be required prior to issuance of building permit.
20. Water Quality Control – Construction (1 or more acres) Storm Water Management Compliance
- a. Provide proof of coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity (Construction General Permit, 2009-0009-DWQ) prior to start of construction. This project disturbs 1 or more acres of soil or disturbs less than 1 acre but is part of a larger common plan of development that in total disturbs 1 or more acres. Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling, or excavation
 - b. Provide two copies of a Construction Storm Water Pollution Prevention Plan (SWPPP) as required by the Construction General Permit. The Construction SWPPP should contain a site map(s) which shows the construction site perimeter, existing and proposed buildings, lots, roadways, storm water collection and discharge points, general topography both before and after construction, and drainage patterns across the project. The Construction SWPPP must list Best Management Practices (BMPs) the applicant will use to protect storm water runoff and the placement of those BMPs. Section XIV of the Construction General Permit describes the SWPPP requirements.
21. Provide three copies of geotechnical study prepared in accordance with the requirements of the Santee General Plan. All recommended measures

RESOLUTION NO.

identified in the approved study shall be incorporated into the project design. Copies of the Geotechnical/Seismic Hazard Study for the Safety Element of the Santee General Plan which details, in Table A-1, study criteria necessary to conform to the General Plan requirements, can be purchased from the Department of Development Services Engineering Division.

- a. The geotechnical report shall analyze any proposed infiltration techniques (trenches, basins, dry wells, permeable pavements with underground reservoir for infiltration) for any potential adverse geotechnical concerns. Geotechnical conditions such as: slope stability, expansive soils, compressible soils, seepage, groundwater depth, and loss of foundation or pavement subgrade strength should be addressed, and mitigation measures provided.
22. The applicant shall make the following conveyances on the final map:
- a. Applicant shall dedicate a visibility clear space easement at the south west corner of the intersection of Simeon Drive and Bushy Hill Drive.
 - b. Dedicate right-of-way at the South West corner intersection of Bushy Hill Drive and Simeon Drive such that the radius of the corner is 30 feet.
 - c. Dedicate drainage and access easements for all storm drainage improvements proposed for City maintenance.
23. Applicant shall execute and record a private road maintenance agreement or other legal mechanism that ensures continuing road maintenance to the satisfaction of the City Attorney. The applicant shall place a deposit with the Department of Development Services in an amount satisfactory to the Director of Development Services to cover the cost of the review. The Agreement shall include provisions addressing the following:
- a. A grant of perpetual, nonexclusive reciprocal easement appurtenant from and to each of the parcels in the subdivision and parcel 383-021-06, under and through the private road easement area for the benefit of the owner(s) of each parcel, their families, guests, tenants and invitees, for the purpose of vehicular and pedestrian access, the installation and maintenance of utilities serving the parcels, and the installation and maintenance of improvements including pavement, drainage improvements, street lighting, utility meters, and similar street improvements.
 - b. A legal description of the private road easement area to be maintained.
 - c. A list of addresses or parcel numbers of properties in the subdivision against which the maintenance agreement will be recorded.
 - d. A statement that the maintenance agreement constitutes a covenant running with each parcel in the subdivision and is effective for so long as

RESOLUTION NO.

the easement exists.

- e. A statement of the portion or percentage of maintenance costs to be borne by the owner(s) of each parcel.
 - f. A mechanism for the determination of the total amount of maintenance costs payable pursuant to the agreement (e.g., a voting system or association system) and payment of each party's costs.
 - g. A statement of costs to be borne separately by each property owner (e.g., landscaping costs for the portion of the private road easement lying within their own property; cost of installation, maintenance or extension of utilities benefiting their own property).
 - h. Maintenance standards for the road itself as well as for street lights, drainage improvements, trees/landscaping and other improvements to be installed.
 - i. A statement that the parties will share liability (in the same portion as payment of costs) for injuries to third parties arising out of maintenance or repair work undertaken pursuant to the agreement.
 - j. A statement that each party shall indemnify and hold every other party harmless from liability for personal injury or damage to property including the easement area which results from the actions of that party in connection with any use, maintenance, or repair work within the easement area.
 - k. An enforcement mechanism for payment of maintenance costs, such as authority to record a lien against any of the properties subject to the maintenance agreement.
24. Applicant shall place all new utilities required to serve the project underground. No overhead facilities or extension of overhead facilities is permitted.

In addition, the applicant shall underground any existing overhead facilities on-site and underground any overhead facilities adjacent to the project to the satisfaction of the Director of Development Services. Adjacent facilities are defined as existing overhead facilities in the abutting half street and may include extension of the undergrounding to either side of the project to the nearest existing utility pole.

25. Provide certification to the Director of Development Services that sewer and water can be provided to the site and that financial arrangements have been made to provide said services. If private sewer or water mains are allowed to serve the project, then a building permit for these facilities will be required and they shall be maintained by a homeowner's association.

RESOLUTION NO.

26. The applicant shall comply with all applicable sections of the Municipal Code, Land Development Manual and Public Works Standards of the City of Santee.

SECTION 4: The applicant shall defend, indemnify, and hold harmless the City of Santee and its officers, employees, and agents from any claim, action, or proceeding against the City and/or its officers, employees or agents to attack or set aside, void, or annul the approval of the City of Santee concerning this Tentative Map, or any action relating to or arising out of its approval.

SECTION 5: The terms and conditions of the Tentative Map TM2014-1 approval shall be binding upon the permittee and all persons, firms and corporations having an interest in the property subject to this Tentative Map and the heirs, executors, administrators, successors and assigns of each of them, including municipal corporations, public agencies and districts.

SECTION 6: The approval of the Tentative Map TM2014-1 expires on January 28, 2017 at 5:00 p.m. The Final Map or Maps conforming to this conditionally approved Tentative Map shall be filed with the City Council in time so that City Council may approve the Final Map or Maps before this approval expires unless a time extension for obtaining such approval of the Final Map is approved as provided by the Santee Subdivision Ordinance. The City Council expressly grants to the Director of Development Services the authority to extend the expiration date of this approval pursuant to Section 17.04.090.B of the Santee Municipal Code, when a request for an extension is filed 60 days prior to the original expiration date.

SECTION 7: Pursuant to Government Code Section 66020, the 90-day approval period in which the applicant may protest the imposition of any fees, dedications, reservations, or exactions imposed pursuant to this approval, shall begin on January 28, 2015.

SECTION 8: The City of Santee hereby notifies the applicant that State Law (AB3158), effective January 1, 1991, requires certain projects to pay fees for purposes of funding the California Department of Fish and Game. In order to comply with State Law, the applicant should remit to the City of Santee Department of Development Services, within two (2) working days of the effective date of this approval (the "effective date" being the end of the appeal period, if applicable), a certified check payable to the "County Clerk" in the amount of \$2,260.00. This fee includes an authorized County administrative fee of \$50. Failure to remit the required fee in full within the time specified above will result in notification to the State that a fee was required but not paid, and could result in State imposed penalties and recovery under the provisions of the Revenue and Taxation Code. In addition, Section 21089 (b) of the Public Resources Code, and Section 711.4 (c) of the Fish and Game Code, provide that no project shall be operative, vested, or final until the required filing fee is paid.

SECTION 9: The documents and materials that constitute the record of proceedings on which these findings have been based are located with the City Clerk at the City of Santee City Clerk's office at 10601 Magnolia Avenue, Building #3, Santee, CA 92071

RESOLUTION NO.

ADOPTED by the City Council of Santee, California, at a regular meeting held this 28th day of January, 2015. by the following roll call vote to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

APPROVED:

RANDY VOEPEL, MAYOR

ATTEST:

PATSY BELL, CITY CLERK

Attachments: Exhibit A and Exhibit B

RESOLUTION NO.

EXHIBIT "A"

Legal Description

PARCEL 1:

THAT PORTION OF LOT 4, BLOCK "H", FANITO RANCHO, ACCORDING TO MAP THEREOF NO. 688, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO, OCTOBER 22, 1891. LYING NORTHERLY OF A LINE DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF THAT PARCEL OF LAND DESCRIBED IN DEED TO ROY BOWES AND WIFE RECORDED APRIL 17, 1951, AS DOCUMENT NO. 49215 IN BOOK 4058, PAGE 219, OF OFFICIAL RECORDS, BEING A POINT IN THE WESTERLY LINE OF SAID LOT 4, DISTANT THEREON SOUTH 10° 30' WEST 378.03 FEET, MORE OR LESS, FROM THE NORTH-WESTERLY CORNER OF SAID LOT 4; THENCE ALONG SAID WESTERLY LOT LINE NORTH 10° 30' EAST 106.25 FEET TO THE TRUE POINT OF BEGINNING; THENCE PARALLEL WITH THE SOUTHERLY LINE OF WOODSIDE AVENUE, ALSO KNOWN AS MISSION GORGE ROAD SOUTH 79° 30' EAST 414 FEET, MORE OR LESS, TO THE EASTERLY LINE OF SAID LOT 4; EXCEPTING THE EASTERLY 249.68 FEET OF THE PROPERTY DESCRIBED ABOVE, SAID 249.68 FEET BEING MEASURED AT RIGHT ANGLES TO THE SAID EASTERLY LOT LINE.

PARCEL 2:

THAT PORTION OF LOT 4, BLOCK "H", FANITO RANCHO, ACCORDING TO MAP THEREOF NO. 688, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO, OCTOBER 22, 1891. LYING NORTHERLY OF A LINE DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWESTERLY CORNER OF THAT PARCEL OF LAND DESCRIBED IN DEED TO RAY BOWES AND WIFE, RECORDED APRIL 17, 1951 AS DOCUMENT NO. 49215 IN BOOK 4058, PAGE 219 OF OFFICIAL RECORDS, BEING A POINT IN THE WESTERLY LINE OF SAID LOT 4 DISTANT THEREON SOUTH 10° 30' WEST 378.03 FEET, MORE OR LESS, FROM THE NORTHWEST CORNER OF SAID LOT 4; THENCE ALONG SAID WESTERLY LOT LINE NORTH 10° 30' EAST 106.25 FEET; THENCE PARALLEL WITH THE SOUTHERLY LINE OF WOODSIDE AVENUE, ALSO KNOWN AS MISSION GORGE ROAD, SOUTH 79° 30' EAST 414 FEET, MORE OR LESS, TO THE EASTERLY LINE OF SAID LOT 4; THENCE ALONG SAID EASTERLY LOT LINE SOUTH 15° 00' WEST TO THE NORTHEASTERLY CORNER OF SAID BOWES LAND; THENCE ALONG THE NORTHERLY LINE OF SAID LAND NORTH 79° 30' WEST 406 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

PARCEL 3:

REAL PROPERTY IN THE CITY OF SANTEE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS: THE NORTHERLY 175 FEET (MEASURED ALONG THE EASTERLY LINE) OF THE EASTERLY 249.68 FEET FANITA RANCHO, ACCORDING TO MAP THEREOF NO. 688, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 22, 1891.

RESOLUTION NO.

EXHIBIT B

MITIGATION MONITORING PROGRAM FOR TENTATIVE MAP TM2014-1 AND DEVELOPMENT REVIEW PERMIT DR2014-5

Section 21081.6 of the Public Resources Code requires that public agencies "adopt a reporting or monitoring program for the changes which it has adopted or made a condition of project approval in order to mitigate or avoid significant effects on the environment. The reporting or monitoring program shall be designated to ensure compliance with during project implementation." This mitigation monitoring and reporting program has been prepared in conformance with Section 21081.6 of the Public Resources Code.

Non-compliance with any of these conditions, as identified by City staff or a designated monitor, shall result in the issuance of a Cease and Desist Order for all construction activities. The order shall remain in effect until compliance is assured. Non-compliance situations that may occur subsequent to project construction will be addressed on a case-by-case basis and may be subject to penalties according to the City of Santee Municipal Code. When phasing of development has been established, it may be necessary for this Monitoring Program to be amended, with City approval.

1. **BIOLOGY**

A. **Impact:**

A qualified biologist conducted a visual survey of the project site on December 15, 2014 to characterize existing site conditions with respect to biological resources. No sensitive natural communities, sensitive plant or animal species, potential jurisdictional waters and wetlands, or other sensitive biological resources were observed.

In addition, the City's General Plan Conservation Element (Figure 6-3) designates the project area as "Urban/Developed". However, given the existence of on-site trees, the potential exists for nesting raptors to occur on site. Migratory birds are protected under the Migratory Bird Treaty Act (MBTA). These species use trees to nest and lay eggs; therefore, the removal of trees during the raptor breeding season (February 1 through September 15) has the potential to adversely impact nesting migratory birds. Implementation of Mitigation Measure Biological Resources 1 would reduce impacts to below a level of significance.

B. **Mitigation:**

Biological Resources 1

If project construction activities cannot feasibly avoid the typical bird breeding season (February 1 through September 15), pre-construction surveys shall be conducted by a qualified biologist no more than seven days prior to the commencement of construction. If no breeding/nesting birds are observed,

RESOLUTION NO.

construction activities may begin. If an active nest is found, construction activities shall remain a minimum of 500 feet from the active nest until a qualified biologist determines that the nest is no longer active.

C. **Monitoring:** Responsibility: Applicant

Inspection: City of Santee Department of
Development Services – Planning
Division

Financial: Applicant

2. **CULTURAL RESOURCES – ARCHAEOLOGY:**

A. **Impact:**

Due to the development and the disturbed nature of the project site, the potential for undiscovered archaeological resources is low. In addition, the Conservation Element of the General Plan does not identify the project site as having moderate potential for archaeological sites. However, the potential to encounter unknown subsurface archaeological resources still exists given the project site's proximity to the San Diego River corridor. Therefore, impacts to unknown subsurface archaeological resources could occur.

With the implementation of Mitigation Measure Cultural Resources 1, impacts to archaeological resources would be reduced to below a level of significance.

B. **Mitigation**

Cultural Resources 1

Prior to commencement of grading activities, the project applicant or construction contractor shall implement an archaeological monitoring and recovery program consisting of the following:

1. The project applicant or construction contractor shall retain the services of a qualified archaeologist prior to commencement of grading/ excavation to implement an archaeological monitoring and recovery program as a condition of the project construction contract. A letter shall be submitted to the City at least fifteen days prior to the pre-construction meeting and shall include the names of persons involved in the archaeological monitoring of the project.
2. At the pre-construction meeting, the archaeologist will be provided a copy of the site/grading plan that identifies the southern portion of the

RESOLUTION NO.

site to be monitored. The archaeologist shall submit a schedule indicating when monitoring is to occur. The archaeologist shall notify the City at the start and end of monitoring. The archaeologist shall be prepared to introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

3. The qualified archaeologist shall be present half-time during grading/excavation at the beginning of project grading and/or excavation and monitoring will be increased or decreased depending on initial results (per direction from the project archaeologist). All visits shall be documented on a monthly basis to the City.
4. In the event of discovery, the archaeologist will have the authority to temporarily halt or redirect construction activities in the area of discovery to allow for preliminary evaluation of potentially significant archaeological resources. The significance of the discovery shall be determined by the archaeologist in consultation with the City and the Native American Community, if applicable. For significant resources, a recovery program shall be prepared and carried out to mitigate impacts before ground disturbing activities in the area of discovery are resumed. All collected artifacts shall be deposited at an institution with permanent curatorial facilities with accompanying catalog to current repository standards.
5. A report summarizing the results, analysis and conclusions of the monitoring program shall be submitted to the City of Santee within three months following termination of monitoring activities.

C. **Monitoring:** Responsibility: Applicant

Inspection: City of Santee Department of
Development Services –Planning and
Engineering Divisions

Financial: Applicant

3. **CULTURAL RESOURCES – PALEONTOLOGY:**

A. **Impact:**

The site is not identified as having a known paleontological or significant geologic feature on site. In addition, the site has been subject to previous grading and development; however, the potential to directly or indirectly destroy a unique paleontological resource or site or unique geologic feature still exists given the required extent of grading. With the implementation of Mitigation Measure Cultural Resources 2, impacts to paleontological resources would be reduced to below a level of significance.

RESOLUTION NO.

B. **Mitigation**

Cultural Resources 2

Prior to commencement of grading activities, the project applicant or project contractor shall implement a paleontological monitoring and recovery program consisting of the following:

1. The project applicant or construction contractor shall be required to retain the services of a qualified paleontologist to implement a paleontological monitoring and recovery program as a condition of the project construction contract. A qualified paleontologist is defined as an individual with an M.S. or Ph.D. degree in paleontology or geology, and who is a recognized expert in the identification of fossil materials and the application of paleontological recovery procedures and techniques.
2. The qualified paleontologist will attend the project pre-construction meeting to discuss the grading plan with the grading and excavation contractors(s). If the qualified paleontologist determines that excavation activities will likely cut into previously undisturbed portions of Quaternary terrace deposits, then monitoring will be conducted as described below.
3. The paleontologist or a paleontological monitor will be on site during original cutting of previously undisturbed portions of the above noted geologic units. A paleontological monitor is defined as an individual who has experience in the collection and salvage of fossil materials and who is working under the direction of a qualified paleontologist. Monitoring will be at least half-time at the beginning of project excavation, and will be increased or decreased depending on initial results (per direction from the project paleontologist).
4. In the event that well-preserved fossils are discovered, the project paleontologist will have the authority to temporarily halt or redirect construction activities in the area of discovery to allow recovery in a timely manner (generally on the order of one hour to two days). All collected fossil remains will be cleaned, sorted, catalogued, and deposited in an appropriate scientific institution such as the San Diego Museum of Natural History.
5. A report (with a map showing site locations) summarizing the results, analysis and conclusions of the above described monitoring program will be submitted to the City of Santee within three months following termination of monitoring activities.

C. **Monitoring:** Responsibility: Applicant

RESOLUTION NO.

Inspection: City of Santee Department of
Development Services – Planning
Division

Financial: Applicant

RESOLUTION NO.

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA
APPROVING THE APPLICATION OF CITY VENTURES FOR A DEVELOPMENT
REVIEW PERMIT (DR2014-5) FOR 50 TOWNHOME CONDOMINIUM UNITS
LOCATED AT 7427 SIMEON DRIVE, 7439 SIMEON DRIVE, AND 7439 BUSHY HILL
DRIVE IN THE MEDIUM-HIGH DENSITY RESIDENTIAL (R-14) LAND USE
DESIGNATION AND ZONE (APPLICANT: CITY VENTURES, L.P.)
APNS 381-021-03, 381-021-04, 381-021-07**

(RELATED TO PROJECT NO: TM2014-1)

WHEREAS, on August 12, 2014 City Ventures submitted an application for a Development Review Permit (DR2014-5) concurrent with Tentative Map (TM2014-1) to subdivide a 3.1 acre residential property developed with an existing single family dwelling into 50 multiple-family residential units (condominium) on property located at the southwest corner of Simeon Drive and Bushy Hill Drive with the R-14 Medium-High Density Residential zone ("Project"); and

WHEREAS, on November 19, 2014 the application was deemed complete and the Director of Development Services scheduled Development Review Permit DR2014-5 and Tentative Map TM2014-7 for public hearing on January 28, 2015; and

WHEREAS, pursuant to the requirements of the California Environmental Quality Act (CEQA), an Initial Study (AEIS2014-7) was conducted for Development Review Permit DR2014-5 and Tentative Map TM2014-1 that determined the potential significant environmental effect for biology and archaeology/paleontology could be mitigated to a less than significant level and a Mitigated Negative Declaration (SCH 2014121069) was prepared and advertised for public review from December 19, 2014 to January 20, 2015; and

WHEREAS, on January 28, 2015 the City Council held a duly advertised public hearing on Development Review Permit DR2014-5 and Tentative Map TM2014-7. The City adopted Resolution No. _____ making certain findings under CEQA and approving the Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program, and the Project; and

WHEREAS, the City Council considered the Staff Report, the Initial Study/Mitigated Negative Declaration, all recommendations by staff, and public testimony.

NOW, THEREFORE, BE IT RESOLVED by the City of Santee City Council, after considering the evidence presented at the public hearing, as follows:

SECTION 1: The Development Review Permit DR2014-5 for the Project will not result in a significant adverse impact upon the environment under CEQA pursuant to the findings made in Resolution No. _____.

SECTION 2: The findings in accordance with Section 17.08.080 of the Santee Municipal Code are made as follows:

RESOLUTION NO.

- A. That the proposed project as conditioned meets the purpose and design criteria prescribed in the Zoning Ordinance and the Municipal Code because the site is zoned R-14 Medium-High Density Residential. The project proposes 16 units per acre which is within the allowed density range of 14 to 22 dwelling units per acre. The proposed development is compatible with existing multiple family residential development in the area which ranges from 10 du/ac to 14 du/ac, and is compatible with the Development Review criteria contained in section 17.08.070 of the Municipal Code.
- B. That the proposed development conforms with the Santee General Plan and, as conditioned, complies with each of the applicable provisions of the Development Code because all development standards are met, including lot size and dimensions, landscaping, lot coverage, and building setbacks, the project design is consistent with the requirements of the Fire Code, and all proposed private improvements will meet the public works standards of the City.

SECTION 3: The Development Review Permit DR2014-5 consisting of the construction of 50 attached townhome condominium units on a 3.1-acre site at 7427 and 7439 Simeon Drive and 8746 Bushy Hill Drive (APNs 383-021-03, -04, -07) is hereby approved subject to the following conditions:

- A. Obtain approval of Tentative Map TM2014-1 and record a Final Map. All conditions of that approval shall apply.
- B. Following project approval the applicant shall schedule with the City Project Planner a post approval meeting to discuss the project conditions of approval, timing of design and construction and implementation of the project conditions. The meeting shall be scheduled within thirty days of project approval and prior to any plan submittals. The applicant should include their project design team including project architect, their design engineer and their landscape architect.
- C. The applicant shall include provisions in their design contract with their design consultants that following acceptance by the City, all construction drawings or technical reports accepted by the City, exclusive of architectural building plans, shall become the property of the City. Once accepted, these plans may be freely used, copied or distributed by the City to the public or other agencies as the City may deem appropriate. An acknowledgement of this requirement from the design consultant shall be included on all construction drawings at the time of plan submittal.
- D. All construction shall be to the satisfaction of the Director of Development Services, and in substantial conformance with the floor plans, and architectural elevations dated October 31, 2014, and with the materials and color samples, except as amended by the conditions contained herein.
- E. The applicant shall comply with all applicable sections of the Municipal Code, Land Development Manual and Public Works Standards of the City of Santee.
- F. Minor or Major Revisions to the Development Review Permit, such as changes to

RESOLUTION NO.

the building elevations, site design or landscaping design, shall be approved by the Director of Development Services unless in the Director's judgement a Major Revision should be reviewed by the City Council.

- G. Prior to obtaining a Building Permit to construct any buildings and structures subject to Development Review Permit DR2014-5, the applicant shall comply with the following conditions:
1. Applicant shall obtain final map approval and record the final map. Once recorded, the applicant shall within thirty days of recordation, provide one mylar copy of the recorded map to the Department of Development Services Engineering Division together with three printed copies of the map for the City's permanent record. The prints and mylar shall be in accordance with City standards.
 2. A Notice of Restrictions shall be recorded which discloses the conditions of Tentative Map TM2014-1/Development Review Permit DR2014-5 and existing zoning regulations to the future property owners. The form and content of said document shall be approved by the Director of Development Services.
 3. The applicant shall pay appropriate fees to the Santee Elementary School District and Grossmont Union High School District.
 4. Obtain a Grading Permit and complete rough grading in accordance with the approved grading plans and the recommendations of the project's geotechnical engineer. Following completion of the rough grading and prior to issuance of any building permits, provide three originals of a rough grading report, which shall include a compaction report prepared by the geotechnical engineer, and a certification by the project civil engineer that all property corners, slopes, retaining walls, drainage devices and building pads are in conformance with the approved grading plans.
 5. The building plans shall include the following information to the satisfaction of the Director of Development Services:
 - a. Provide a colors and materials board subject to the approval of the Director of Development Services.
 - b. Provide plans, colors and materials for each dwelling. Plans and elevations shall substantially conform to those submitted for approval by the City Council. The applicant shall obtain approval of the plot plan, and elevations (all sides), and colors and materials from the Director of Development Services prior to issuance of a Building Permit.
 - c. The building plans shall include details of all light fixtures with a design to reflect light downward, away from any road or street, and away from any adjoining premises, and otherwise conforming to the requirements of Title 17 of the Municipal Code.
 - d. Each home shall contain pre-plumbing and a storage space for a

RESOLUTION NO.

solar water heater per requirements of the Energy Code.

6. Landscape, Irrigation and Fence Plans shall be submitted to the Department of Development Services Engineering Division for review and acceptance to include the following:

- a. Horizontal and vertical control for all plans shall be obtained from ROS 11252 and shall be prepared at an engineering scale of 1"=20' unless otherwise approved by the City project engineer.
- b. Grading, landscape and irrigation plans shall be one hundred percent (100%) complete at the time of plan check submittal, be prepared in accordance with City guidelines and be ready for acceptance by the City. Partial or incomplete submittals will not be accepted for plan check. At the time of plan submittal the applicant shall schedule an appointment with their designated City project engineer and the applicant's design engineer to review the plan submittal for completeness. The following shall be included as part of the grading, landscape and irrigation plan submittal package:

- 1) Six sets of grading, landscape and irrigation plans bound and stapled.
- 2) Plan check fees.
- 3) A completed grading permit application.
- 4) A cost estimate for the cost of construction.
- 5) Three copies of the Drainage Analysis specified here within.
- 6) Three copies of the Geotechnical Study specified here within.
- 7) Two copies of the Storm Water Management Plan specified here within.
- 8) Two copies of the Storm Water Pollution Prevention Plan specified here within.
- 9) A copy of any letters of permission from any adjoining property owners if grading is proposed off-site. Letters shall be in a form acceptable to the City.
- 10) A letter of acknowledgement, signed and sealed, from each design consultant acknowledging City ownership of all construction drawings following City approval as specified here within.
- 11) One copy of the Resolution of Approval or Director's Decision approving the project.

Plan check and inspection fees shall be paid in accordance with the City Fee Schedule prior to issuance of the permit.

- c. The Landscape Plans shall be prepared by a registered Landscape Architect, for approval by the Director of Development Services. The plans shall be consistent with Chapter 17.36 of the Santee Zoning Ordinance and the "Guidelines for Implementation of the City of Santee Water Efficient Landscape Ordinance" and shall address the

RESOLUTION NO.

following:

- 1) Ninety percent of plant materials shall be drought tolerant.
 - 2) All street trees shall be 36-inch box size. All other trees shall be a minimum of 15-gallon size.
 - 3) All ornamentally planted areas shall contain trees, shrubs and groundcover. Planting density, material and plant type and size shall be to the satisfaction of the Director of Development Services.
 - 4) All landscaping shall achieve 100 percent coverage within nine months of planting or additional landscaping, to be approved by the Director, shall be required in order to meet this standard.
 - 5) Irrigation systems shall be designed to minimize water usage.
 - 6) All permanent irrigation shall be installed underground and shall be automatically controlled.
 - 7) All irrigation lines serving landscaping shall be installed underground.
 - 8) New trees in and within 10 feet of the public right-of-way shall be planted with root control barriers.
- d. The fence plan shall show design, location and materials of all fencing and retaining walls to include:
- 1) The exterior of all solid fence and walls facing a street shall be graffiti-proofed and color coordinated.
 - 2) Any wood fencing shall be double-sided, ship-lap, or sandwich-board design, capped on the top and bottom, and painted or otherwise treated to reduce water damage.
 - 3) All masonry walls and retaining walls shall be constructed of decorative block.
3. The applicant shall pay all development impact fees in effect at the time of issuance of building permits. At present, the fees are estimated to be as follows:
- | | | | | |
|----|--------------------------|---------------|----|-------------------|
| a. | Drainage | \$ 91,000.00 | or | \$ 1,820.00 /unit |
| b. | Traffic | \$ 104,800.00 | or | \$ 2,096.00 /unit |
| c. | Traffic Signal | \$ 10,850.00 | or | \$ 217.00 /unit |
| d. | Park-in-Lieu | \$ 327,000.00 | or | \$ 6,540.00 /unit |
| e. | Public Facilities. . . | \$ 268,650.00 | or | \$ 5,373.00 /unit |

RESOLUTION NO.

f. RTCIP Fee \$ 112,700.00 or \$ 2,254.00 /unit

Impact fee amounts shall be calculated in accordance with current fee ordinances in effect at the time of issuance of building permit. The drainage fee shall be calculated based on the actual impermeable area created by the project including off-site street improvements or other improvements beyond the project boundary. The applicant shall provide certification of final site and building areas by their engineer of work to be approved by the Director of Development Services for use in calculating the final fee amounts. Fees shall be adjusted on an annual basis in the accordance with the Municipal Code.

4. The applicant shall complete the following, or have plans submitted and approved by the Fire Department. All plans submitted to the Fire Department shall include the Fire Department conditions of approval.
 - a. Emergency Access (During construction) Provide a minimum 26' wide, clear area (no parking), all-weather, paved (or other approved surface) emergency access roadway for the site prior to the delivery of combustible construction materials. All underground utilities including fire mains, fire hydrants and fire service underground devices shall be installed and approved prior to the delivery of combustible materials.
 - b. Emergency Access/Fire Lanes: Provide a minimum 26' wide, paved "fire lane" access roadway around the building or facility. The fire lane width shall be measured curb to curb (or edge of pavement to edge of pavement) and shall extend vertically from grade to the highest point of any structures or obstacles constructed adjacent to the fire lane. No building elements, balconies, drains, projections, or any other object shall encroach into this clear space. The fire lane(s) shall be identified by painting curbs red with white-stenciled letters indicating "NO PARKING – FIRE LANE" every 30 feet along all portions of the fire lane. Red stripes with white stenciled letters shall be painted on the curb or asphalt in front of garages along fire lanes as well. Additionally, signs shall be installed on the edge of the curb indicating the same. Placement of the signs shall be every 75 feet (or other approved spacing), placed in between the curb stenciling. Exact placement shall be approved by the Fire Department prior to installation.
 - c. Fire Access Gates: Any vehicular gates for the project shall be equipped with "Opticom" strobe emergency vehicle access devices and Knox key switches for gate override. All gates shall also have a manual release device or other means to open the gate upon power failure.

RESOLUTION NO.

- d. Complex Address Directory: Provide an illuminated directory map at the entrance of the complex. The directory shall be approximately 12 square feet (or other approved size) and show the layout of buildings, building addresses, hydrant locations and FDC locations. The exact design and location for directory placement shall be approved by the Fire Department prior to installation.
- e. Address Numbers: Address numbers shall be placed near the front door of each unit visible from the street or private drive. Numbers shall be block style, 4" in height minimum, black in color (or other approved color), in contrast with their background. Address numbers shall also be placed at an approved location on the garage side of each unit.
- f. Automatic Fire Sprinkler System: Each building is required to be constructed with an approved automatic fire sprinkler system installed by a licensed fire sprinkler contractor. Separate plans are required to be submitted to the Fire Department for approval prior to installation. If the fire sprinkler system has 20 or more sprinkler heads, the sprinkler system is required to be monitored by an approved central station monitoring company. Contact the Fire Department for specific requirements for the automatic fire sprinkler system. A Potter, "SASH-120" Horn/Strobe (or equivalent) shall be located below each address placement for indication of fire sprinkler activation.
- g. Potter "SASH-120" Exterior Horn/Strobe for Waterflow Notification: Provide a Potter "SASH-120", all weather, exterior horn/strobe (or equivalent) in lieu of exterior bell for audio/visual notification of sprinkler activation. The horn/strobe is to be installed near the address placement for the building. Exact installation location of the horn/strobe is to be determined by the Fire Department prior to installation.
- h. Automatic Fire Sprinkler Underground Plan Approval & Inspection(s) Required: A separate plan for the underground fire service (providing water supply to the fire sprinkler system) is required to be submitted to the Fire Department for approval prior to construction. Thrust block inspections are required for the underground fire service piping prior to filling with water. An underground hydrostatic test shall be conducted (at 250 psi for two hours) and flush of the fire service is required during construction. Contact the Santee Fire Department at least 48 hours in advance to schedule the inspections.
- i. Permanent Sprinkler Calculation Card: A permanent engraved or punched hydraulic calculation card is required for each system, permanently affixed to riser.

RESOLUTION NO.

- j. Automatic Fire Sprinkler Overhead Hydrostatic Test Required: After the overhead portion of the automatic fire sprinkler system has been installed, a hydrostatic test of the system shall be conducted at 200 PSI for two hours. Contact the Santee Fire department to schedule an inspection of this test.
- k. Fire Sprinkler Riser Rooms (Multi-Family Residential Buildings): Each building or address (equipped with an automatic fire sprinkler system) shall have a fire sprinkler riser enclosure accessible from the outside of the building or address. The exact size and location of the enclosure shall be approved by the Fire Department prior to construction. The enclosure shall contain the fire sprinkler riser for the building, pressure gauges for the system, applicable valves, sprinkler head box, and any required diagrams or documentation for the fire sprinkler system. The enclosure shall have exterior locking hardware and a Knox box shall be located at an approved location near the room for easy Fire Department access. The exterior side of the riser enclosure door shall have labeling or signage approved by the Fire Department indicating "FIRE RISER INSIDE".
- l. Fire Hydrants: Fire hydrants are required. These hydrants shall have two, 2 1/2" ports and one, 4" port, with a minimum fire flow of 3000 gallons per minute for 3 hours. Hydrants shall be of all bronze construction, painted "fire hydrant yellow" and be installed per Padre Dam Water District requirements. Exact location of required hydrants is to be determined by the Fire Department prior to installation. All underground utilities including fire mains, fire hydrants and fire service underground devices shall be installed and approved prior to the delivery of construction materials.
- m. Knox Boxes: A Knox Box key safe for emergency access of Fire Department personnel is required for the building. Knox Boxes shall be installed at the front entrance, riser room and other required location(s). Knox Box applications may be obtained from the Fire Department. Approval of the number and exact mounting location shall be determined by the Fire Department prior to installation.
- n. Fire Alarm System: A manual and/or automatic fire alarm system is required for the building. Separate plans shall be submitted to the Fire Department for any fire alarm system(s) or devices for approval prior to installation. The fire alarm control panel or a remote keypad for the system shall be located in the "Fire Riser Room". Plans & documentations for the fire alarm system shall include, manufacturer cut sheets for all fire alarm devices, California State Fire Marshal Listing sheets for all appropriate devices, plans showing locations of all devices, line diagram & point to point diagram of the alarm system and complete battery & voltage drop calculations for the system.

RESOLUTION NO.

- o. Fire Extinguishers: A minimum of one, 2A10BC fire extinguisher shall be located every 75' of travel distance throughout each building. Exact extinguisher location to be determined by the Fire Department prior to installation.
- p. Developer Digital Site-Plans: At the time of mid-construction, or Rough Fire Inspections, a GIS shape file or geo-referenced TIFF file of the site-plan shall be provided electronically or on digital media to the Fire Department for emergency response mapping. If neither of the two are available, a PDF shall be provided. The site plan shall show all fire access roadways/driveways, buildings, address numbers, fire hydrants, fire sprinkler connections, and other details as required. Please contact the Fire Department for exact details to be submitted for your project.
- q. Wildland-Urban Interface Area: The City of Santee has adopted requirements amending the 2013 California Fire Code for development within the Wildland-Urban Interface (WUI) area. As adopted the Code requires 100' of fuel modified defensible space between any structures and the wildland area. Structures built in these areas shall be constructed using non-combustible building materials and other approved non-combustible construction techniques. Some or all of these requirements may be applicable. Please contact the Fire Department to discuss the applicability of the WUI requirements.
- r. Prior to combustible materials being brought on site, utilities shall be in place, fire hydrants operational, an approved all-weather roadway must be in place, and the fuel modified defensible space must be established.
- s. Outdoor fireplaces, permanent barbecues and grills: Outdoor fireplaces, permanent barbecues and grills shall not be built, installed or maintained in the urban-wildland interface areas without approval of the Fire Chief.
- t. Spark Arresters: Chimneys serving fireplaces, barbecues, incinerators or decorative heating appliances in which solid or liquid fuel are used, shall be provided with a spark arrester of woven or welded wire screening of 12-gauge standard wire having openings not exceeding ½ inch.
- u. Storage of Firewood and Combustible Materials: Firewood and combustible materials shall not be stored in unenclosed spaces beneath buildings or structures, or on decks or under eaves, canopies or other projections or overhangs and shall be stored at least 20 feet from structures and separated from the crown of trees by a minimum

RESOLUTION NO.

horizontal distance of 15 feet.

5. The applicant shall submit for approval of the Director of Development Services all materials, notices, wordings, etc. for the purposes of public disclosure to homeowners of any and all present or anticipated future assessment districts, Landscape Maintenance easements, and Fuel Management Areas which may affect this development.
6. Applicant shall complete a Debris Management Plan form and submit a waste diversion security deposit prior to receiving any building permit or demolition permit, unless specifically exempt pursuant to the City's Municipal Code
7. Should a model home complex be desired, the applicant shall submit for and obtain approval of a Temporary Use Permit and comply with the requirements of Subsection 17.06.070 E.2 of the Santee Zoning Ordinance. The Temporary Use Permit must be obtained prior to the issuance of a Building Permit for the model home(s).
8. All CC&R's shall be submitted to Department of Development Services for approval by the City Attorney and the Director of Development Services and recorded prior to occupancy of any unit to ensure consistency with City codes and applicable project permits and approved plans. A recorded copy shall be provided to Department of Development Services prior to the occupancy of first residential unit. The provisions of the CC&R's shall include the following:
 - a. The permittee and all persons, firms or corporations, owning the property subject to this subdivision map, their heirs, administrators, executors, successors, and assigns shall operate, maintain and repair the landscape areas and onsite drainage improvements as shown on the Final Map, site plan, and landscape plan in accordance with the approved CC&Rs primarily for the benefit of the residents of the subject development and shall continue to operate, maintain and repair said areas until such time as the operation and maintenance of said areas is assured by some public agency, district, corporation or legal entity approved by the City Council.
 - b. The maintenance and operation of the improvements shall be assured by the granting of an undivided interest in the subject landscape areas to the purchasers of each of the individual dwelling units in the subject development and inclusion in the deeds conveying said individual units such provisions as: covenants running with the land requiring the owners, their heirs, administrators, successors and assigns to participate in the cost of such maintenance and operation, and the creation of a legal entity right to assess all owners in the cost of the maintenance and of said facilities and capable of maintaining the improvements and said landscaping, drainage, and walls, and for

RESOLUTION NO.

the participating of the owners of all dwelling units in the maintenance and enforcement of such provisions.

- c. The statement that the City has the right, but not the obligation, to provide for the maintenance of all drainage improvements and landscaping if the homeowner association fails to perform its maintenance obligation by the City, cost for such service shall become a lien upon the property and/or each unit, as appropriate.
- d. Disclosure of assessments that may be levied against future property owners, such as street lighting districts, or other improvement district assessments.
- e. A statement that the entitlements contain an approved Landscaping and Fencing Plan pursuant to DR2014-5 and that revisions to the perimeter fence plan shall require approval from the Director of Development Services.
- f. A statement that the Homeowners' Association and/or property owners shall bear legal and financial responsibility for compliance with the approved Stormwater Management Plan and all applicable stormwater regulations, that this obligation shall transfer to all future property owners, and that it shall be disclosed to property owners prior to each new sale.

H. Prior to obtaining occupancy the applicant shall:

- 1. Locate and install substantially where they are shown all features shown on the approved site plan, landscape plan, plot plan, and grading plan for fencing, landscaping, and irrigation in accordance with all approved plans and project documents, the "Guidelines for Implementation of the City of Santee Water Efficient Landscape Ordinance", and the appropriate Santee Municipal Code Section.
- 2. Complete construction of all improvements within the public right-of-way in accordance with the approved plans and to the satisfaction of the Director of Development Services. Speed humps on Bushy Hill Drive shall be located away from project driveways to the satisfaction of the Director of Development Services.
- 3. Plant new trees in and within 10 feet of the public right-of-way with root control barriers.
- 4. Comply with all applicable sections of the Municipal Code, Land Development Manual, and Public Works Standards of the City of Santee.
- 5. Place all new utilities on-site underground to the satisfaction of the Director of Development Services.
- 6. Place building identification and/or addressing on the buildings so as to be

RESOLUTION NO.

plainly visible from the street or access road. Color of identification and/or address shall contrast with the background to the satisfaction of the Fire Department.

7. Submit to the City a landscape bond in the amount equal to the cost of the privately maintained landscaping and irrigation on the site to ensure growth and maintenance of all landscaping and irrigation improvements within the Landscape Maintenance Easement. The bond shall be held by the City for one (1) year from the date of occupancy or longer if landscaping has not been well established. The bond shall not be released if landscaping does not have 100 percent coverage pursuant to the Municipal Code.
 8. Prior to occupancy of the first dwelling unit, submit a copy of the recorded CC&Rs pursuant to the conditions imposed for Development Review DR2014-5 and Tentative Map TM2014-1.
 9. Obtain final clearance for occupancy by signature on the final inspection request form from the Building Division, Fire Department and the Planning and Engineering Divisions of the Department of Development Services
- I. Upon establishment of the use pursuant to this Development Review Permit DR2014-5, the following conditions shall apply:
1. All required landscaping shall be adequately watered and maintained in a healthy and thriving condition, free from weeds, trash, and debris.
 2. The parking areas and driveways shall be well maintained.
 3. All groundcover installed pursuant to an approved landscape plan shall provide 100 percent coverage within 9 months of planting or additional landscaping, to be approved by the Director, shall be required in order to meet this standard. City Ventures shall be responsible for this planting even if their involvement in the project is otherwise complete.
 4. All stormwater best management practices (BMPs) outlined in the Stormwater Management Plan must be installed and operational to the satisfaction of the Director of Development Services. Failure to maintain a required BMP will subject property owners and/or the Homeowners Association to civil penalties.
 5. All light fixtures shall be designed and adjusted to reflect light downward, away from any road or street, and away from any adjoining premises, and shall otherwise conform to the requirements of Title 17 of the Santee Municipal Code.
 6. Smoke detectors shall be required in all dwelling units per Municipal Code.

RESOLUTION NO.

SECTION 4: The terms and conditions of this Development Review Permit DR2014-5 shall be binding upon the permittee and all persons, firms and corporations having an interest in the property subject to this Development Review Permit DR2014-5 and the heirs, executors, administrators, successors and assigns of each of them, including municipal corporations, public agencies and districts.

SECTION 5: This Development Review Permit DR2014-5 expires on January 28, 2017 at 5:00 p.m. unless prior to that date a Final Map has been recorded pursuant to Tentative Map TM2014-1, or unless a time extension for obtaining such approval of the Final Map is approved as provided by the Santee Subdivision Ordinance. The City Council expressly grants to the Director of Development Services the authority to extend the expiration date of this approval pursuant to Section 17.04.090.B of the Santee Municipal Code, when a request for an extension is filed 60 days prior to the original expiration date.

SECTION 6: Pursuant to Government Code Section 66020, the 90 day approval period in which the applicant may protest the imposition of any fees, dedications, reservations, or exaction imposed pursuant to this approval, shall begin on January 28, 2014.

SECTION 7: The applicant shall defend, indemnify, and hold harmless the City of Santee and its officers, employees and agents from any claim, action, or proceeding against the City and/or its officers, employees or agents to attack or set aside, void, or annul the approval of the City of Santee concerning this Resolution or any action relating to or arising out of its approval.

SECTION 8: The City of Santee hereby notifies the applicant that State Law (AB3158), effective January 1, 1991, requires certain projects to pay fees for purposes of funding the California Department of Fish and Game. In order to comply with State Law, the applicant should remit to the City of Santee Department of Development Services, within two (2) working days of the effective date of this approval (the "effective date" being the end of the appeal period, if applicable), a certified check payable to the "County Clerk" in the amount of \$2,260.00. This fee includes an authorized County administrative fee of \$50. Failure to remit the required fee in full within the time specified above will result in notification to the State that a fee was required but not paid, and could result in State imposed penalties and recovery under the provisions of the Revenue and Taxation Code. In addition, Section 21089 (b) of the Public Resources Code, and Section 711.4 (c) of the Fish and Game Code, provide that no project shall be operative, vested, or final until the required filing fee is paid.

SECTION 9: The documents and materials that constitute the record of proceedings on which these findings have been based are located with the City Clerk at the City of Santee City Clerk's office at 10601 Magnolia Avenue, Building #3, Santee, CA 92071.

ADOPTED by the City Council of Santee, California, at a regular meeting held this 28th day of January by the following roll call vote to wit:

AYES:

RESOLUTION NO.

NOES:

ABSTAIN:

ABSENT:

APPROVED:

RANDY VOEPEL, MAYOR

ATTEST:

PATSY BELL, CITY CLERK

Attachment: Exhibit A

RESOLUTION NO.

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM FOR TENTATIVE MAP TM2014-1 AND DEVELOPMENT REVIEW PERMIT DR2014-5

Section 21081.6 of the Public Resources Code requires that public agencies "adopt a reporting or monitoring program for the changes which it has adopted or made a condition of project approval in order to mitigate or avoid significant effects on the environment. The reporting or monitoring program shall be designated to ensure compliance with during project implementation." This mitigation monitoring and reporting program has been prepared in conformance with Section 21081.6 of the Public Resources Code.

Non-compliance with any of these conditions, as identified by City staff or a designated monitor, shall result in the issuance of a Cease and Desist Order for all construction activities. The order shall remain in effect until compliance is assured. Non-compliance situations that may occur subsequent to project construction will be addressed on a case-by-case basis and may be subject to penalties according to the City of Santee Municipal Code. When phasing of development has been established, it may be necessary for this Monitoring Program to be amended, with City approval.

1. **BIOLOGY**

A. **Impact:**

A qualified biologist conducted a visual survey of the project site on December 15, 2014 to characterize existing site conditions with respect to biological resources. No sensitive natural communities, sensitive plant or animal species, potential jurisdictional waters and wetlands, or other sensitive biological resources were observed.

In addition, the City's General Plan Conservation Element (Figure 6-3) designates the project area as "Urban/Developed". However, given the existence of on-site trees, the potential exists for nesting raptors to occur on site. Migratory birds are protected under the Migratory Bird Treaty Act (MBTA). These species use trees to nest and lay eggs; therefore, the removal of trees during the raptor breeding season (February 1 through September 15) has the potential to adversely impact nesting migratory birds. Implementation of Mitigation Measure Biological Resources 1 would reduce impacts to below a level of significance.

B. **Mitigation:**

Biological Resources 1

If project construction activities cannot feasibly avoid the typical bird breeding season (February 1 through September 15), pre-construction surveys shall

RESOLUTION NO.

be conducted by a qualified biologist no more than seven days prior to the commencement of construction. If no breeding/nesting birds are observed, construction activities may begin. If an active nest is found, construction activities shall remain a minimum of 500 feet from the active nest until a qualified biologist determines that the nest is no longer active.

- C. Monitoring:** Responsibility: Applicant
- Inspection: City of Santee Department of
Development Services – Planning
Division
- Financial: Applicant

2. CULTURAL RESOURCES – ARCHAEOLOGY:

A. Impact:

Due to the development and the disturbed nature of the project site, the potential for undiscovered archaeological resources is low. In addition, the Conservation Element of the General Plan does not identify the project site as having moderate potential for archaeological sites. However, the potential to encounter unknown subsurface archaeological resources still exists given the project site's proximity to the San Diego River corridor. Therefore, impacts to unknown subsurface archaeological resources could occur.

With the implementation of Mitigation Measure Cultural Resources 1, impacts to archaeological resources would be reduced to below a level of significance.

B. Mitigation

Cultural Resources 1

Prior to commencement of grading activities, the project applicant or construction contractor shall implement an archaeological monitoring and recovery program consisting of the following:

1. The project applicant or construction contractor shall retain the services of a qualified archaeologist prior to commencement of grading/ excavation to implement an archaeological monitoring and recovery program as a condition of the project construction contract. A letter shall be submitted to the City at least fifteen days prior to the pre-construction meeting and shall include the names of persons involved in the archaeological monitoring of the project.

RESOLUTION NO.

2. At the pre-construction meeting, the archaeologist will be provided a copy of the site/grading plan that identifies the southern portion of the site to be monitored. The archaeologist shall submit a schedule indicating when monitoring is to occur. The archaeologist shall notify the City at the start and end of monitoring. The archaeologist shall be prepared to introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The qualified archaeologist shall be present half-time during grading/excavation at the beginning of project grading and/or excavation and monitoring will be increased or decreased depending on initial results (per direction from the project archaeologist). All visits shall be documented on a monthly basis to the City.
4. In the event of discovery, the archaeologist will have the authority to temporarily halt or redirect construction activities in the area of discovery to allow for preliminary evaluation of potentially significant archaeological resources. The significance of the discovery shall be determined by the archaeologist in consultation with the City and the Native American Community, if applicable. For significant resources, a recovery program shall be prepared and carried out to mitigate impacts before ground disturbing activities in the area of discovery are resumed. All collected artifacts shall be deposited at an institution with permanent curatorial facilities with accompanying catalog to current repository standards.
5. A report summarizing the results, analysis and conclusions of the monitoring program shall be submitted to the City of Santee within three months following termination of monitoring activities.

C. Monitoring:	Responsibility:	Applicant
	Inspection:	City of Santee Department of Development Services –Planning and Engineering Divisions
	Financial:	Applicant

3. CULTURAL RESOURCES – PALEONTOLOGY:

A. Impact:

The site is not identified as having a known paleontological or significant geologic feature on site. In addition, the site has been subject to previous grading and development; however, the potential to directly or indirectly

RESOLUTION NO.

destroy a unique paleontological resource or site or unique geologic feature still exists given the required extent of grading. With the implementation of Mitigation Measure Cultural Resources 2, impacts to paleontological resources would be reduced to below a level of significance.

B. **Mitigation**

Cultural Resources 2

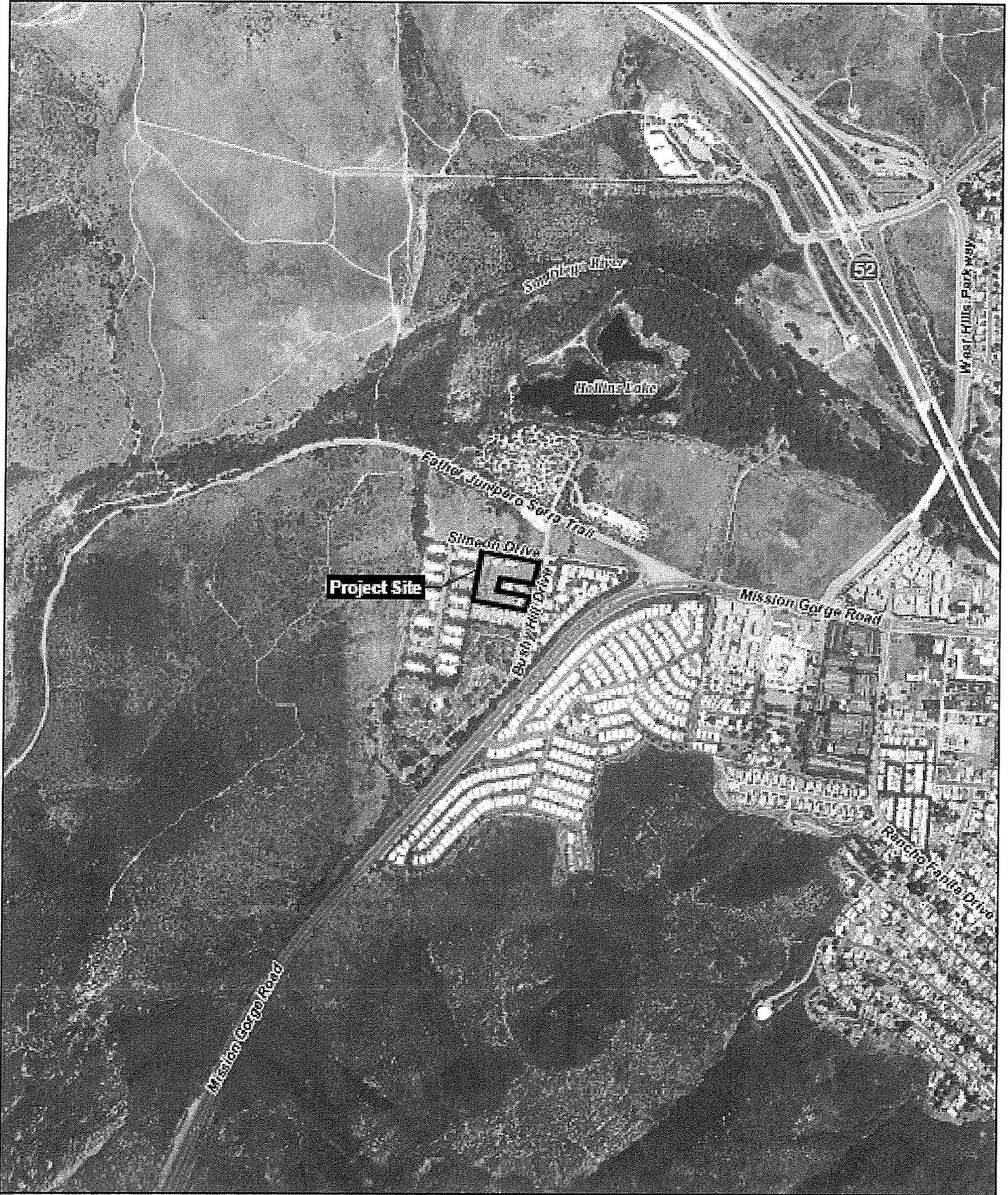
Prior to commencement of grading activities, the project applicant or project contractor shall implement a paleontological monitoring and recovery program consisting of the following:

1. The project applicant or construction contractor shall be required to retain the services of a qualified paleontologist to implement a paleontological monitoring and recovery program as a condition of the project construction contract. A qualified paleontologist is defined as an individual with an M.S. or Ph.D. degree in paleontology or geology, and who is a recognized expert in the identification of fossil materials and the application of paleontological recovery procedures and techniques.
2. The qualified paleontologist will attend the project pre-construction meeting to discuss the grading plan with the grading and excavation contractors(s). If the qualified paleontologist determines that excavation activities will likely cut into previously undisturbed portions of Quaternary terrace deposits, then monitoring will be conducted as described below.
3. The paleontologist or a paleontological monitor will be on site during original cutting of previously undisturbed portions of the above noted geologic units. A paleontological monitor is defined as an individual who has experience in the collection and salvage of fossil materials and who is working under the direction of a qualified paleontologist. Monitoring will be at least half-time at the beginning of project excavation, and will be increased or decreased depending on initial results (per direction from the project paleontologist).
4. In the event that well-preserved fossils are discovered, the project paleontologist will have the authority to temporarily halt or redirect construction activities in the area of discovery to allow recovery in a timely manner (generally on the order of one hour to two days). All collected fossil remains will be cleaned, sorted, catalogued, and deposited in an appropriate scientific institution such as the San Diego Museum of Natural History.
5. A report (with a map showing site locations) summarizing the results,

RESOLUTION NO.

analysis and conclusions of the above described monitoring program will be submitted to the City of Santee within three months following termination of monitoring activities.

- C. Monitoring:** Responsibility: Applicant
- Inspection: City of Santee Department of Development Services – Planning Division
- Financial: Applicant



Vicinity Map: TM2014-1/DR2014-5, City Ventures Santee 50

TENTATIVE MAP
SANTEE 50
TM 2014-1



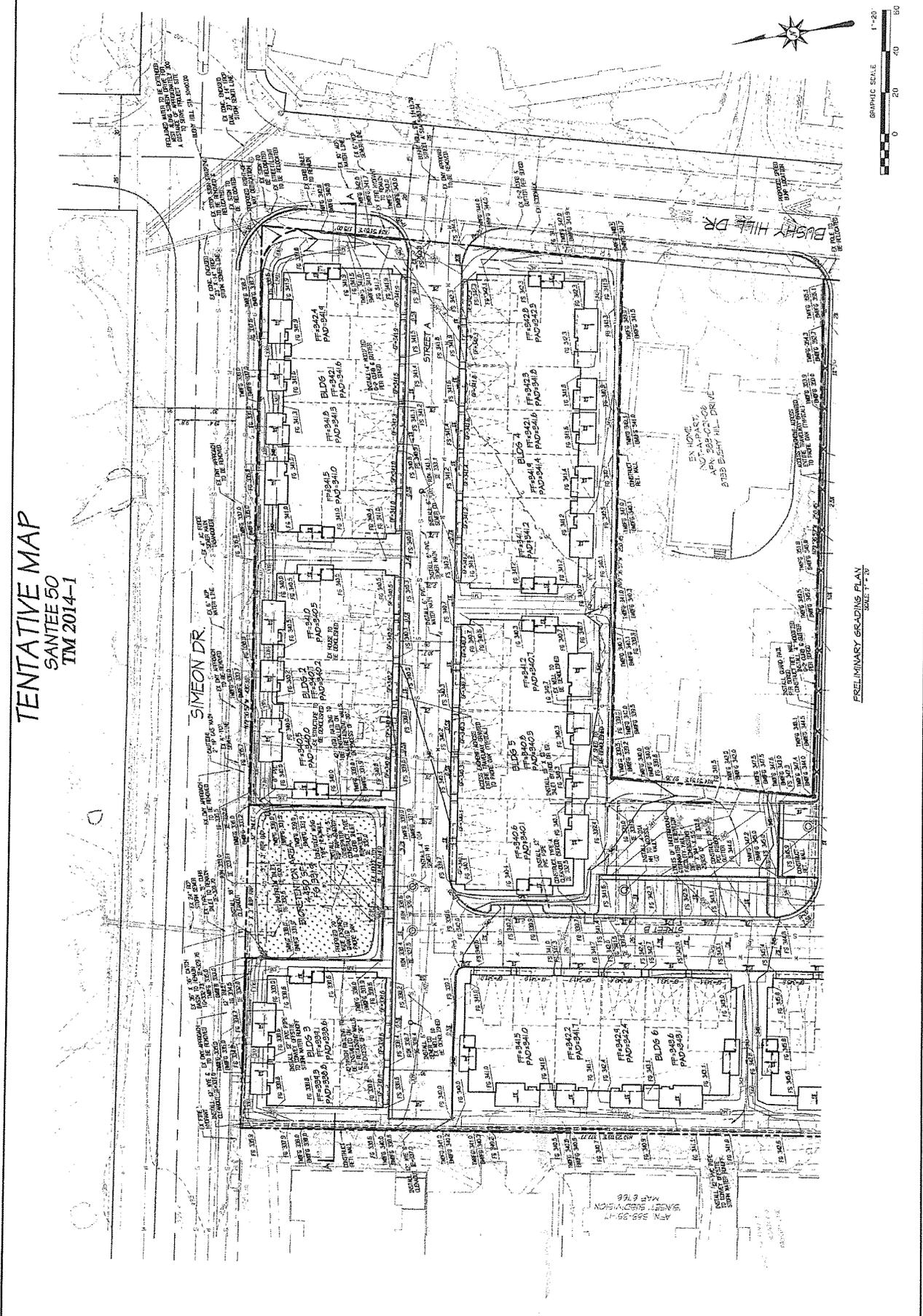
CELESTIAL SURVEYING
 12/15/03 TO 12/15/10
 No. 71851
 State of California
 License No. 49

PASCO LARET SUTTER & ASSOCIATES
 CIVIL ENGINEERING • LAND PLANNING • LAND SURVEYING
 15000 SHELTON WAY, SUITE 200, BAY AREA, CA 94025
 (415) 353-4112 | (415) 353-4113 | pasco@sutter.com

Tentative Map For
Santee 50
 Busby Hill Drive & Simeon Drive, Santee, CA 92071

APN: 359-02-03-04,07
 DATE: 10-29-14
 DESIGNER: BA
 CHECKER: BA

SHEET
2
 OF 4 SHEETS
 EAST 2025



PRELIMINARY GRADING PLAN
 SHEET 2 OF 4

TENTATIVE MAP
SANTEE 50
TM 2014-1

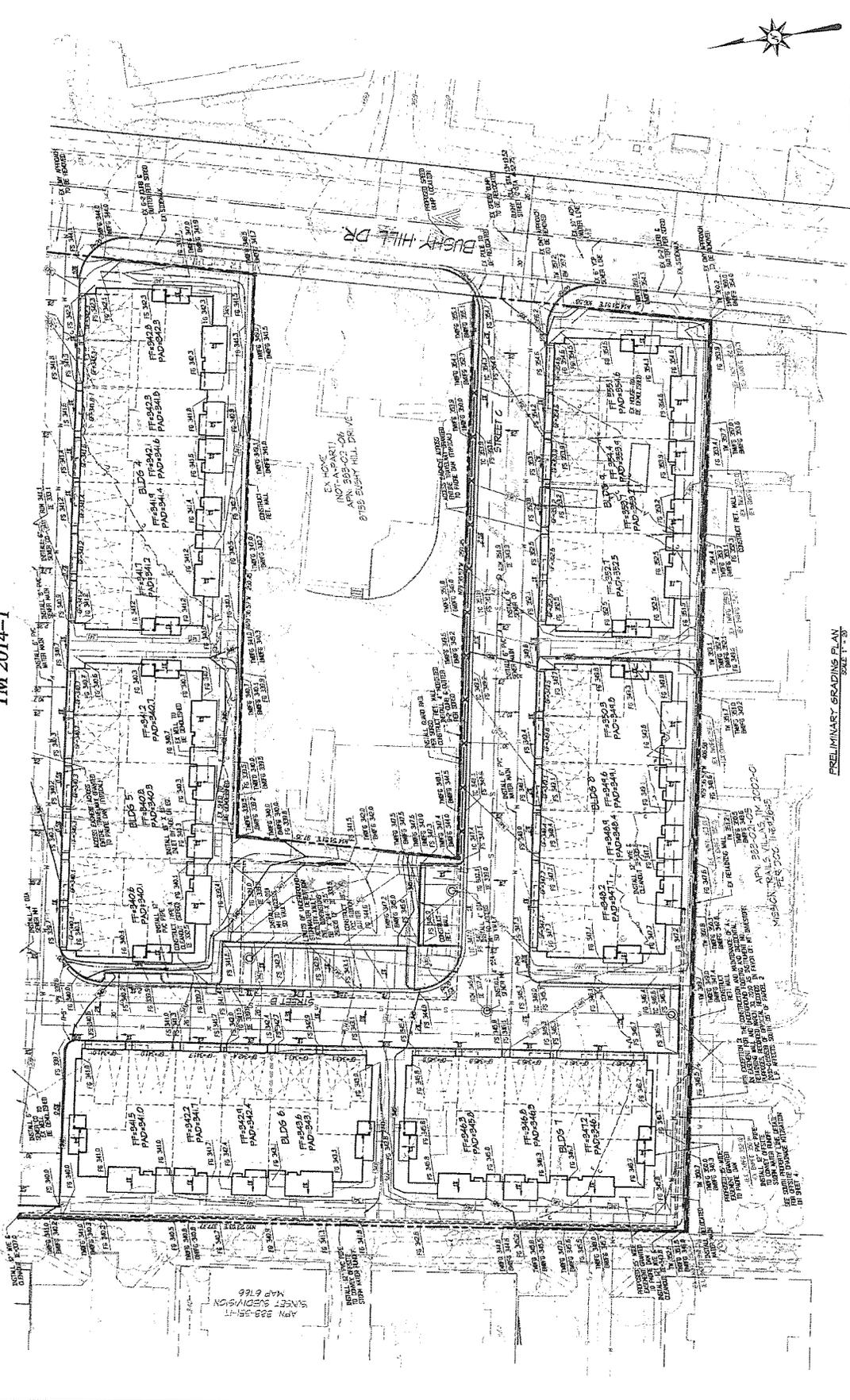


REVIEWS
 Dr. A.
 CIVIL ENGINEERING & LAND PLANNING & LAND SERVICES
 255 NORTH BIRDAWAY 101, SUITE A, SHERMAN OAKS, CALIFORNIA 91509
 (818) 259-4212 | (818) 259-4212 | ph@planning.com

PASCO LARET SUITER
 & ASSOCIATES
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Santee 50
 Tentative Map For
 Busby Hill Drive & Simeon Drive, Santee, CA 92071

APN: 929-021-03-04101
 DATE: 10/28/14
 SHEET: 3
 OF 4 SHEETS
 SCALE: 1"=20'
 COUNTY: SAN DIEGO



PRELIMINARY GRADING PLAN
 SHEET 1-3

TENTATIVE MAP
SANTEE 50
TM 2014-1



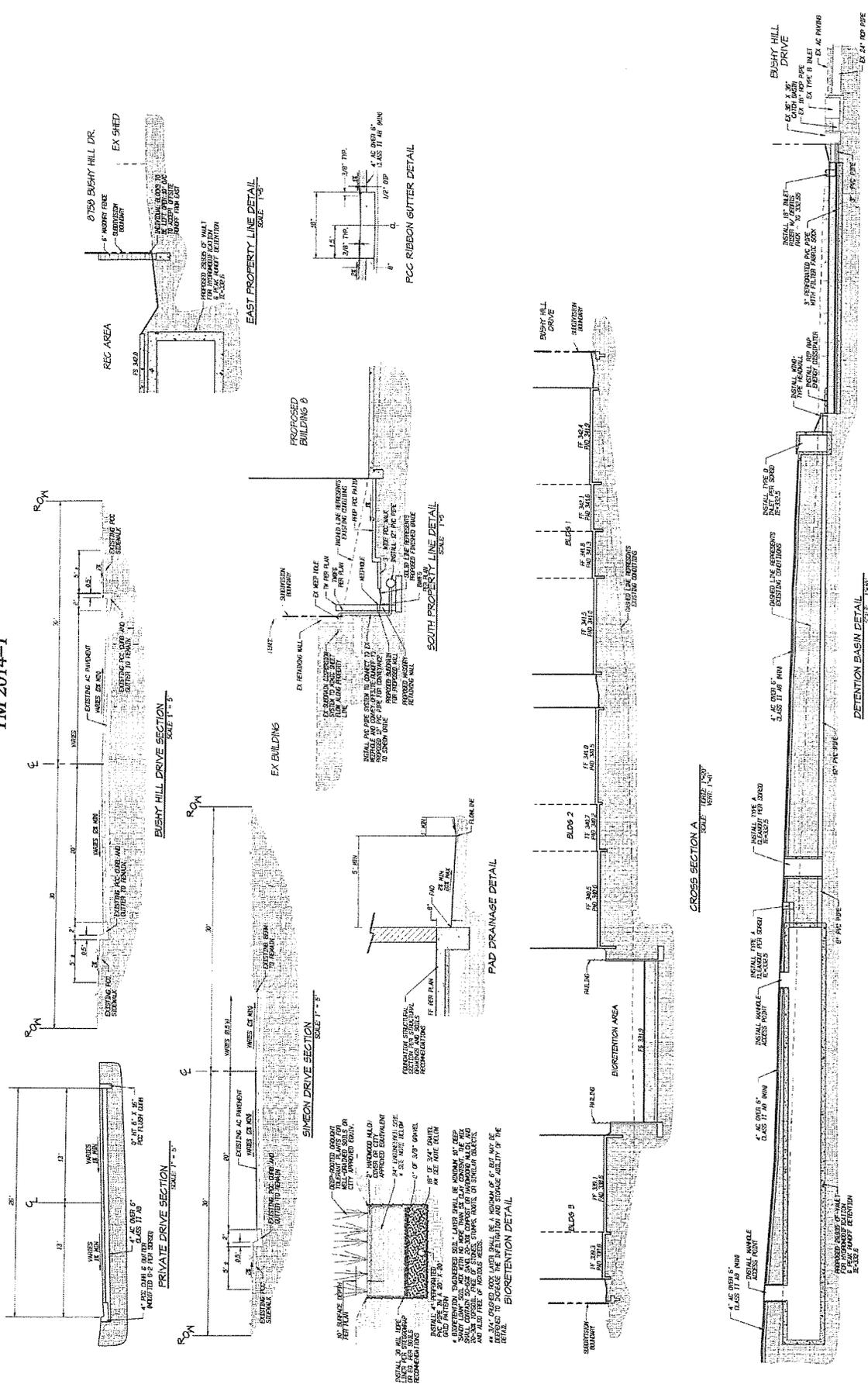
REVISIONS

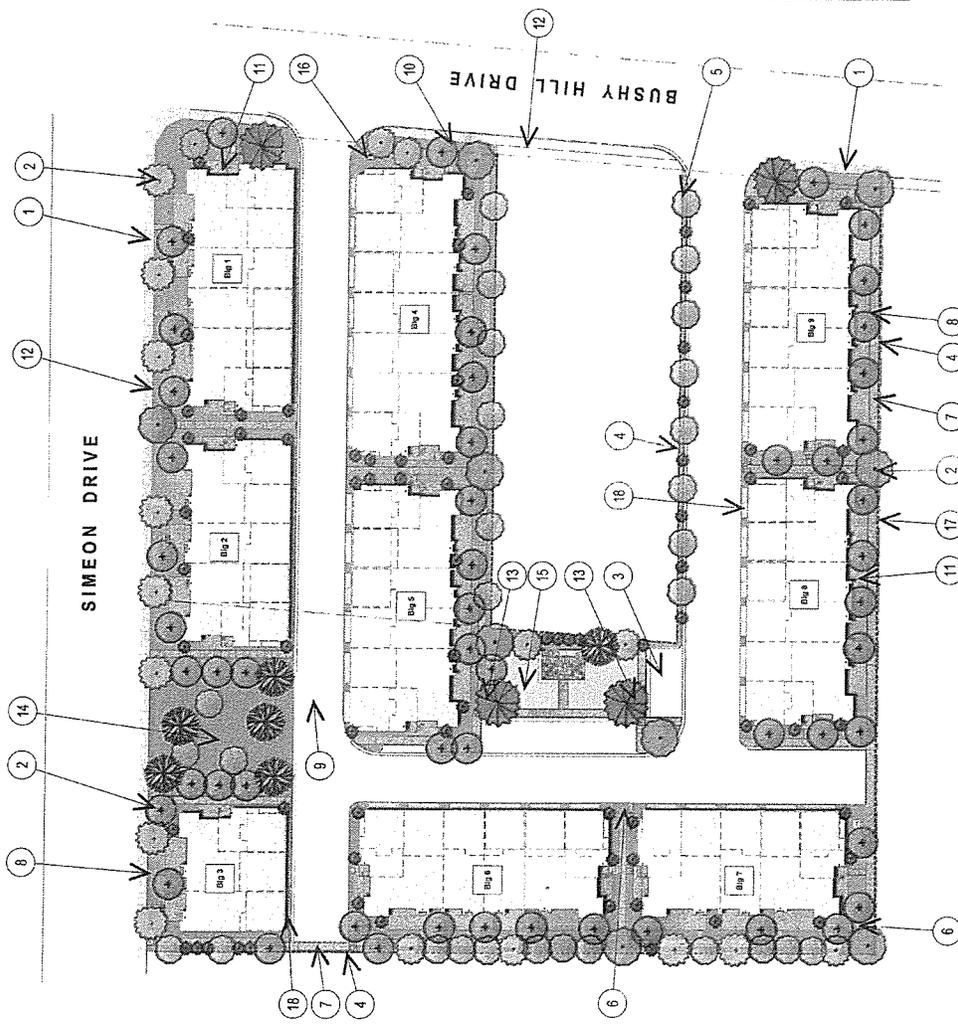
PASCO LARET SUTER & ASSOCIATES
 CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING
 155 SOUTH BAYVIEW, SUITE 101, SAN JOSE, CALIFORNIA 95128
 TEL: 415.939.4513 FAX: 415.939.4515 pasco@pasco-ls.com

Tentative Map For:
Santee 50
 Busby Hill Drive & Simeon Drive, Santee, CA 92071

APN: 999-021-09-04-07
 DATE: 10/28/14
 SHEET: 4
 SCALE: 1"=20'

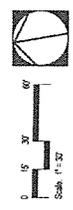
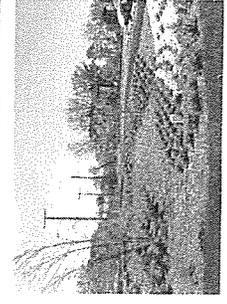
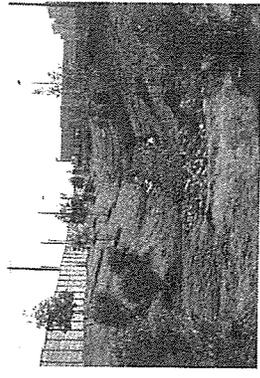
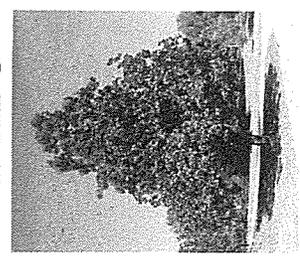
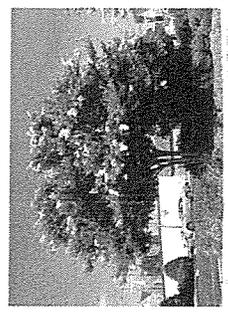
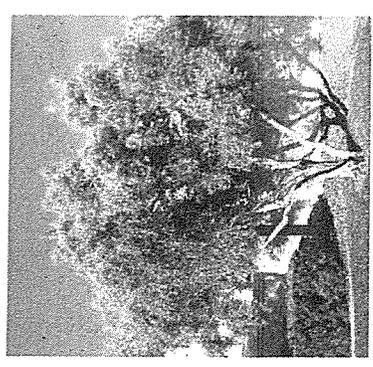
OF 4 SHEETS
 PLAN 2014-1





LEGEND

1. Street sidewalk, per Civil Engineer.
2. Proposed tree, per Planting Plan on L-3.
3. Proposed parking stall, per Civil Engineer.
4. Proposed wall, per Wall & Fence plan on L-2.
5. Proposed planter, per Wall & Fence plan on L-2.
6. Enhanced colored concrete paving of pavers.
7. 18" wide walkway, natural color concrete with medium top-cast finish and sawcut joints.
8. 36" wide walkway, natural color concrete with medium top-cast finish and sawcut joints.
9. Internal street, special or color concrete with medium top-cast finish and sawcut joints.
10. Existing street utility to remain and priced in place.
11. Private porch / patio, per Architect's plans. Natural colored concrete paving with finish to match adjacent walks.
12. R.O.W. per Civil Engineer's plans.
13. Mailbox CBU units, surface mounted to concrete pads.
14. Bio-retention area, per Civil Engineer's plans.
15. Paved open space area with over lawn and trees for community events and gatherings.
16. Proposed transformer, final locations to be determined by others. Landscape CBU to show coordination with other disciplines.
17. Property line, per Civil Engineer's plans.
18. Natural color concrete driveways with medium top-cast finish and sawcut joints.



34 City Journals | Plan No. 0079
Date: Sep-15, 2014

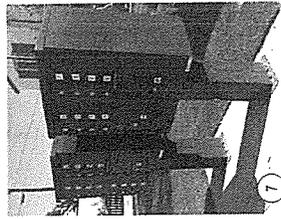
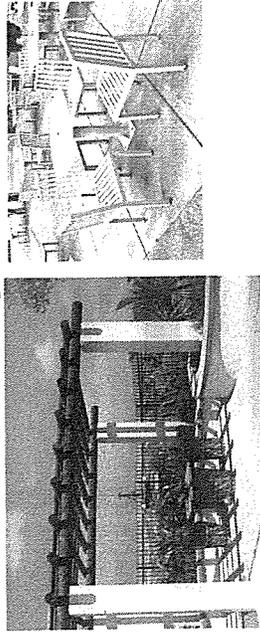
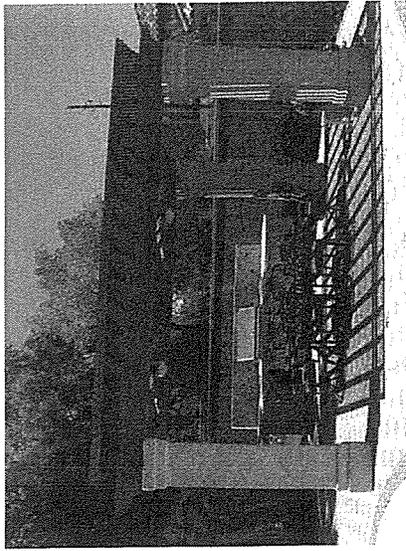
Schematic Landscape Plan

City Ventures

L-1

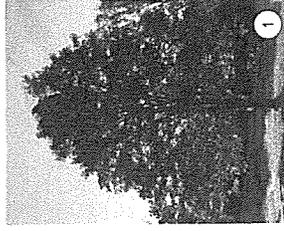
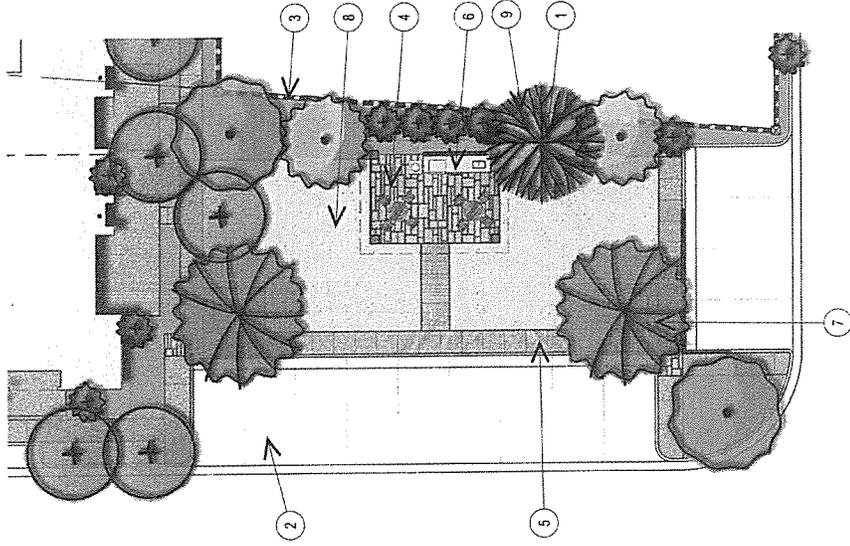
Santee-San Diego studio PAD





LEGEND

1. Proposed tree, per Planting Plan on L-3.
2. Proposed paving style, per Civil Engineer.
3. Proposed railing, per Civil Engineer.
4. Enhanced colored concrete pavers.
5. 4 FT wide walkway, natural color concrete with medium top-cast finish and sawcut joints.
6. Overhead structure with Outdoor BBQ and Dining Areas.
7. Malibu CBU units, surface mounted to concrete pads.
8. Passive open space area with event lawn and trees for community events and gatherings.
9. Property line, per Civil Engineer's plans.



Schematic Enlargement Plan

City Ventures

3rd City Council | Project No. 1029 | Date: Sept. 25, 2014

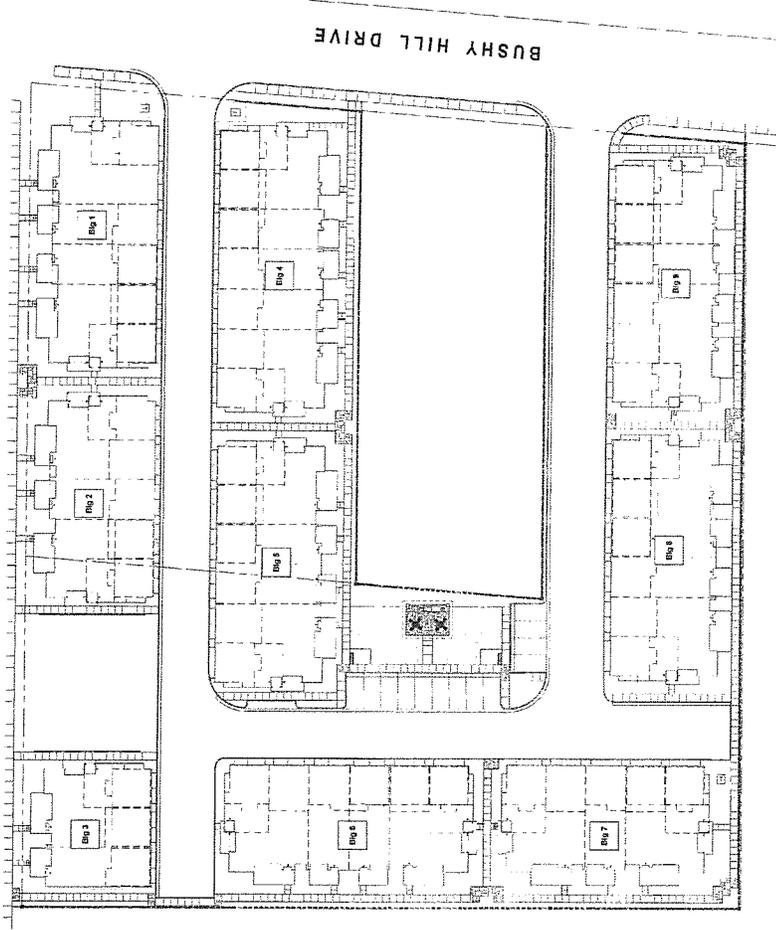
L-2

Santee-San Diego PAD



WALL LEGEND

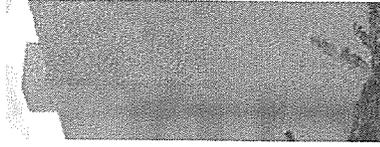
- ① = 6'-6" High precision block or stucco over block
plaster with precision block or stucco cap.
- ② = 6'-0" High precision block or stucco over block
wall with precision block or stucco cap.



①



②



City Ventures

3rd City Submittal | Project No. C295 | Date: Sept. 23, 2014

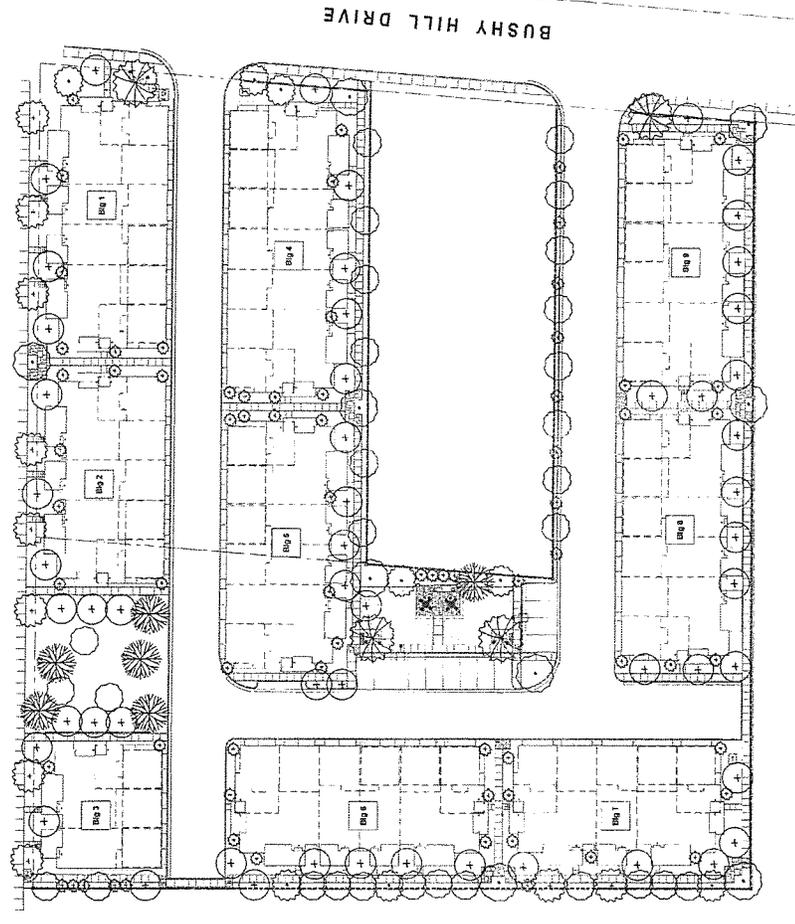
L-3



Santee-San Diego PAD

Schematic Wall & Fence Plan

SIMEON DRIVE

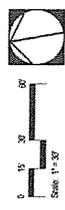


PLANTING LEGEND

Symbol	Type/Form	Species	Botanical Name (Common Name)	Trunk	Size	WINDX	Qty.
(Symbol)	Tree 3.5	Specimen	Chia-pi (Ficus Olea)	5.00	8.00	Low	4
(Symbol)	Shrub	Shrub	Magnolia Commis (Magnolia)	5.00	24" Dia	Med	5
(Symbol)	Shrub	Shrub	Portulaca (Portulaca)	5.00	24" Dia	Med	6
(Symbol)	Shrub	Shrub	Prunella (Prunella)	5.00	24" Dia	Med	10
(Symbol)	Shrub	Shrub	Lavandula (Lavandula)	5.00	15" Dia	Med	54
(Symbol)	Shrub	Shrub	Coprosma (Coprosma)	5.00	15" Dia	Low	29
(Symbol)	Shrub	Shrub	Philadelphus (Philadelphus)	5.00	15" Dia	Med	8
(Symbol)	Shrub	Shrub	Carissa (Carissa)	5.00	15" Dia	Low	24
(Symbol)	Shrub	Shrub	Portulaca (Portulaca)	5.00	15" Dia	Low	100

- SHRUBS and GROUND COVER**
- Annonum arboreum 'Mangrove'
 - Agave
 - Angelicum
 - Aloe sp.
 - Argemone
 - Bougainvillea
 - Callitriche 'Little John'
 - Cactus
 - Callitriche 'Green Carpet'
 - Ceanothus glaucus 'Point Star'
 - Cordyline sp.
 - Dalmanella
 - Dymalis
 - Echinops
 - Lantana
 - Lavandula
 - Leucophyllum
 - Ligustrum
 - Nasella
 - Muhlenbergia
 - Philadelphus
 - Rosa sp.
 - Ruscus
 - Sarcocolla
 - Stachys
 - Xyris

- Purple Anemone
- Agave
- Kongaroa
- Aloe
- Kongaroa
- Bougainvillea
- Dwarf Callitriche
- Sedum
- Dwarf Nana Palm
- Pink Wax Palm
- Purple Hibiscus
- Trailing Ice Plant
- Silver Carpet
- Pink of Madeira
- Banana
- Hesperis
- Sage
- Japanese Privet
- Purple Nandina
- Deer Grass
- Dwarf Mock Orange
- Roses & Carpet Roses
- GC Phytolacca
- Rosemary
- Blue Chalk
- Red of Parakeet
- Compact Xyris
- Bougainvillea
- Purple Yucca



City Ventures

3rd City Submittal | Project No: 0292 | Date: Sept. 20, 2014

L-4

Santee-San Diego PAD

Schematic Planting Plan

TM2014-1/DR2014-5, City Ventures Santee 50

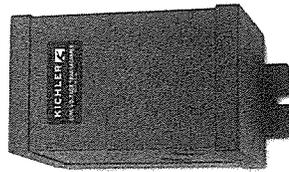
Architectural Area Lighting

Project Information:
 Project: _____ Date: _____
 Location: _____ City & State: _____
 Designer: _____
 Client: _____
 Designer & Accessor: _____

Notes:
 1. All lighting fixtures shall be approved by the City of San Diego.
 2. All lighting fixtures shall be approved by the City of San Diego.
 3. All lighting fixtures shall be approved by the City of San Diego.
 4. All lighting fixtures shall be approved by the City of San Diego.
 5. All lighting fixtures shall be approved by the City of San Diego.
 6. All lighting fixtures shall be approved by the City of San Diego.
 7. All lighting fixtures shall be approved by the City of San Diego.
 8. All lighting fixtures shall be approved by the City of San Diego.
 9. All lighting fixtures shall be approved by the City of San Diego.
 10. All lighting fixtures shall be approved by the City of San Diego.

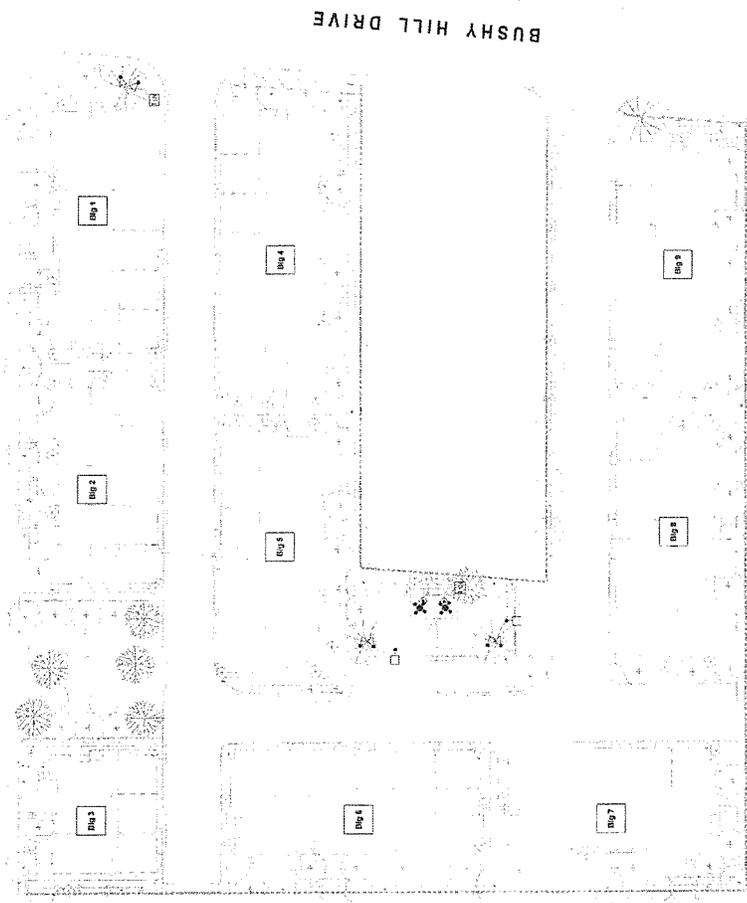
Item	Qty	Notes
1. Landscape uplighting - Low voltage	6	
2. Trellis / Structure downlighting - Low voltage	2	
3. 120 Volts Pole light	2	
4. Low-Voltage Transformer	2	

□ 3. Post mounted lighting.



□ 4. Low Voltage Transformer.

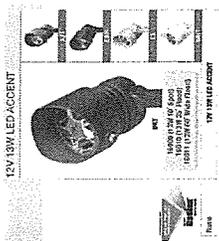
Schematic Lighting Plan



- LEGEND:**
- ▽ 1. Landscape uplighting - Low voltage. QTY: 6
 - ⊕ 2. Trellis / Structure downlighting - Low voltage. 2
 - 3. 120 Volts Pole light. 2
 - ▣ 4. Low-Voltage Transformer. 2



▽ 1. Landscape uplighting, Kichler 12V 6.5 W LED (Warm white with 35° Spread).



⊕ 2. Trellis / Structure down-lighting, Kichler 12V 13W LED down-light fixture (Warm white with 30-50° Spread).

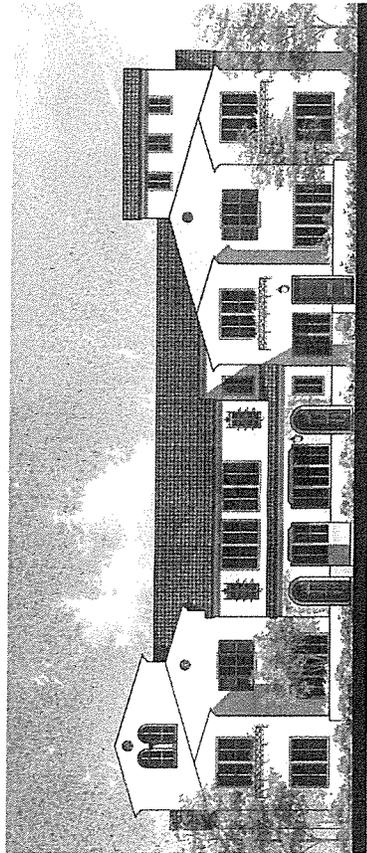


City Ventures
 Project No. CV29
 Date: Sept. 25, 2014
 3rd City Submittal

Santee-San Diego PAD

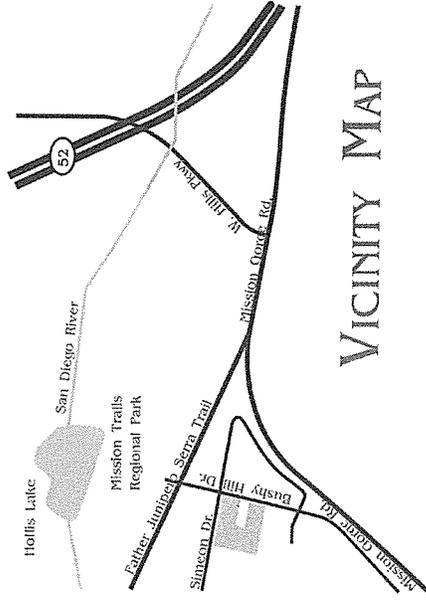
SANTÉE 50

September 23, 2014



Formal Planning Submittal

- 1 Title Sheet
- 2 Preliminary Grading Plan (North)
- 3 Preliminary Grading Plan (South)
- 4 Details & Sections
- SP-1 Dimensioned Site Plan
- A-1 Row Townhome 3-Plex Building Floor/Roof Plan
- A-2 Row Townhome 3-Plex Building Elevations
- A-3 Row Townhome 5-Plex Building Floor/Roof Plan
- A-4 Row Townhome 5-Plex Building Elevations
- A-5 Row Townhome 6-Plex Building Floor/Roof Plan
- A-6 Row Townhome 6-Plex Building Elevations
- A-7 Row Townhome 7-Plex Building Floor Plans
- A-8 Row Townhome 7-Plex Building Floor/Roof Plan
- A-9 Row Townhome 7-Plex Building Elevations
- A-10 Extension Color & Materials
- L-1 Schematic Landscape Plan
- L-2 Schematic Enlargement Plan
- L-3 Schematic Wall & Fence Plan
- L-4 Schematic Planting Plan
- L-5 Schematic Lighting Plan



VICINITY MAP

Our Team

Developer:
Contact: Andy Gember
Business: (949) 253-7555
www.cityventures.com

Architect/Planner:
Contact: Jeff Addison
Business: (949) 250-0607
www.harchitectus.com

City Ventures
 1900 Quail Street
 Newport Beach, CA 92660

William Hezmalhach Architects, Inc.
 2850 Redhill Ave, Suite 200
 Santa Ana, CA 92705

Civil Engineer
Contact: Brian Andolino
Business: (858) 259-8212
www.plsaengineering.com

Pasco Lanet Suter & Associates
 595 N Highway 101 Ste A
 Solana Beach, CA 92075

studio-PAD Inc.
 92 Argonaut, Suite 270
 Aliso Viejo, CA 92656

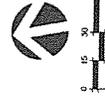
Project Summary

Total Site: 3.1 acres

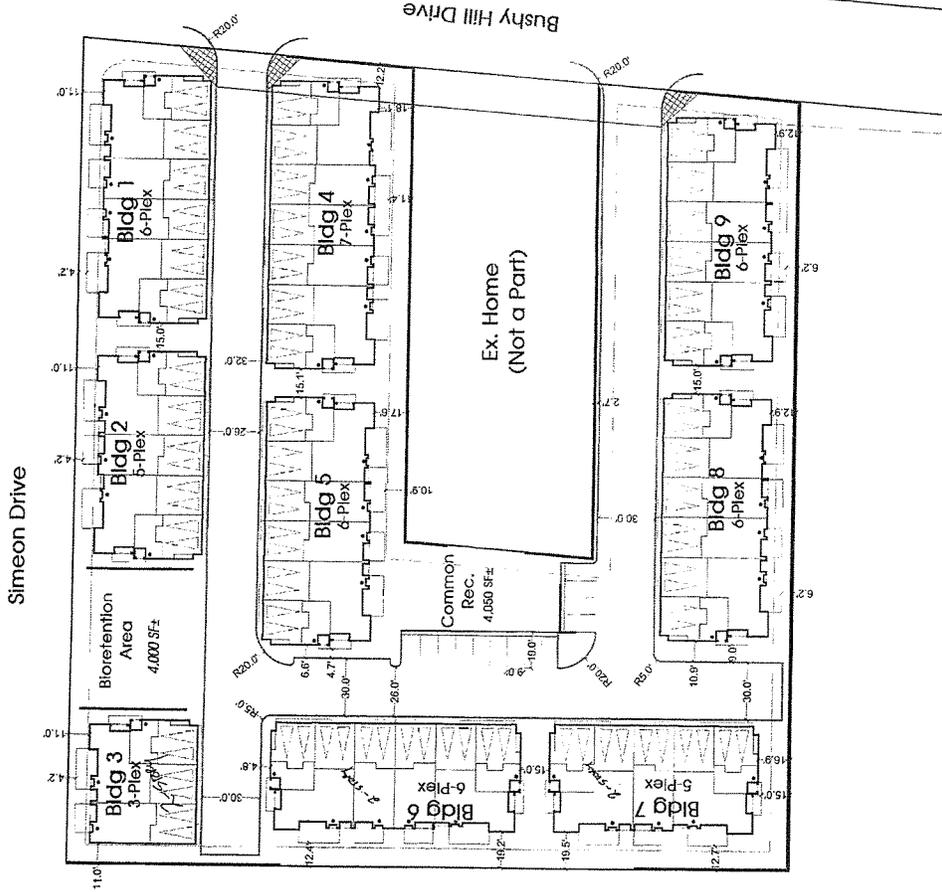
Total Homes: 50 homes
 Density: 16.1 homes/acre
 GP: R-14
 Zoning: R-14 (14-22 du/ac)
 Bldg. Separation: 15' Min
 Setbacks:
 Front: 10'
 Side: 10'
 Rear: 10'
 Parking Required: 2 off-street (1 covered) +
 1 per 4 du (25) Guest
 Total Required: 112.5 spaces
 Parking Provided: 2 Garage Spaces (2 covered) +
 1 per 4 du (25) Guest
 Total Provided: 113 spaces
 Open Space: 100 S.F. per du
 4,050 S.F. Tot Lot with Open Play Area
 Storage Space: 150 Cubic feet per unit in garage
 Lot Coverage: 48.4% (60% Maximum)
 Max. Height: 45'
 Trash and Recycle: Individual pickup to be provided by
 Waste Management; Staging to occur in
 front of garages on collection day.

Notes:

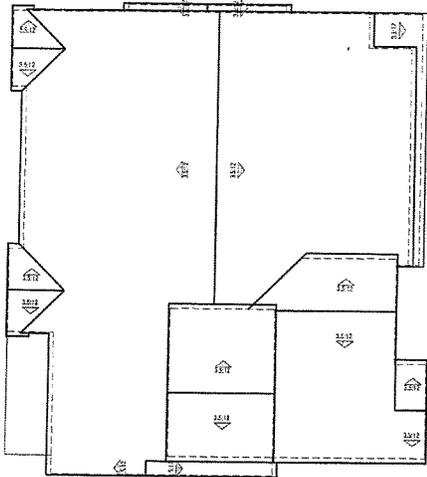
1. This plan is for the proposed project only.
2. This plan must be reviewed by local planning and fire departments for code compliance.
3. All dimensions are in feet unless otherwise noted.
4. Civil engineer to verify all setbacks and parking design elevations.
5. Building Footprints (BFP) change also to the final design elevations.
6. All dimensions are subject to change due to the preliminary design of the subdivision.
7. All dimensions are determined from property lines to parking boundaries.



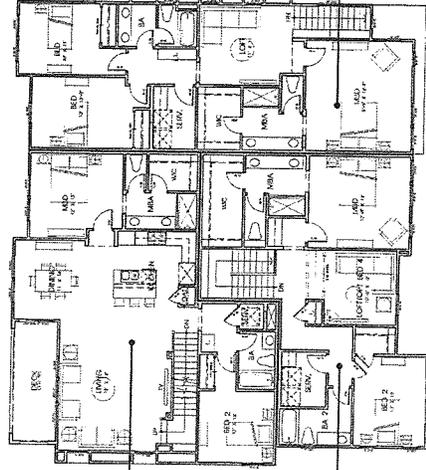
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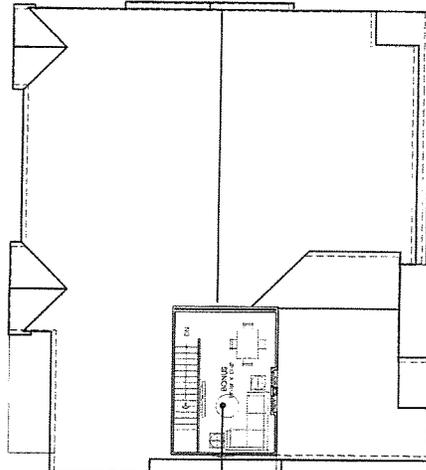
DIMENSIONED SITE PLAN



Third Floor



Second Floor



First Floor

Plan 2

Plan 3

Plan 1 Alt.

Plan 2

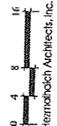
Plan 3
3 BDRM, 1 BATH, BONUS
2 CAR GARAGE
1741 SF

Plan 1 Alt.
3 BDRM, 2 BATH, LOFT
2 CAR GARAGE
1745 SF

Plan 3
3 BDRM, LOFT/LOFT BDRM 4, 3 BATH
2 CAR GARAGE
1882 SF

Plan 1 Alt.
3 BDRM, 2 BATH, LOFT
2 CAR GARAGE
1745 SF

ROW TOWNHOME 3-PLEX FLOOR/ROOF PLANS



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SANTEE 50
Santee, California

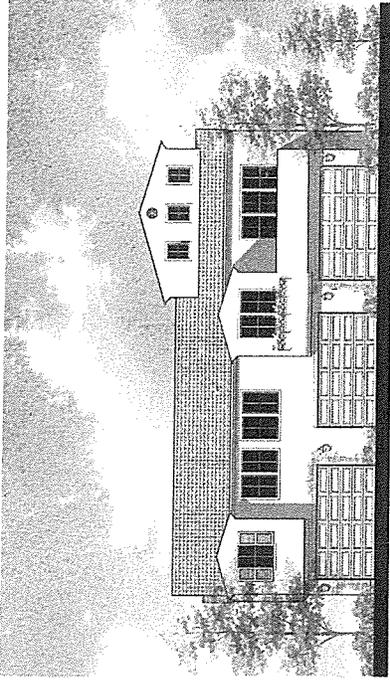


City Ventures

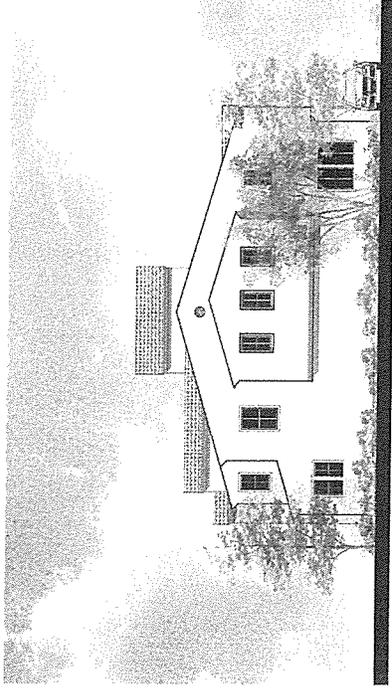


WILLIAM HERMALBACH
ARCHITECTS, P.C. 20141119
A-1

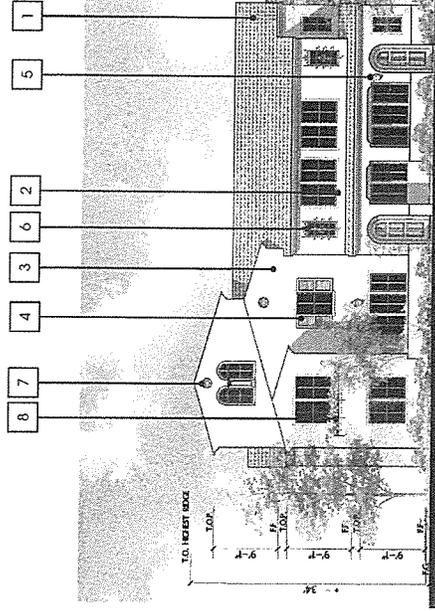
09-23-14



Rear



Right



Left

Front

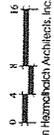
ROW TOWNHOME 3-PLEX BUILDING ELEVATIONS

SANTEE 50
Santee, California

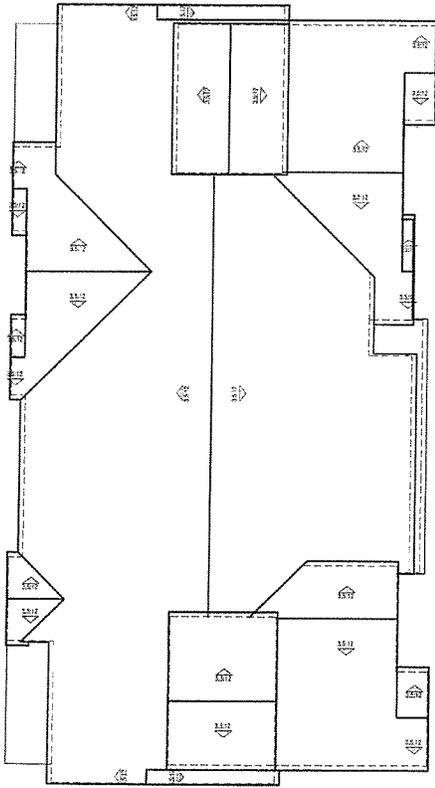


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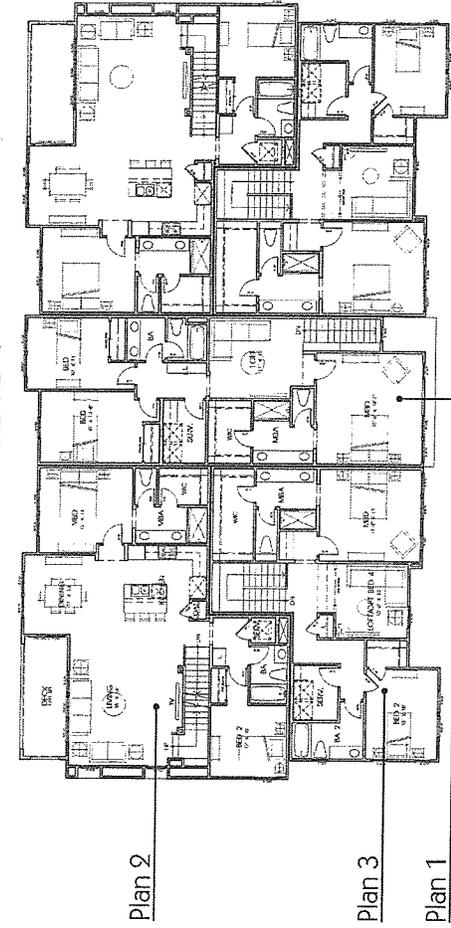
WILLIAM HEZMALHALCH
ARCHITECTS, INC. 2014.119



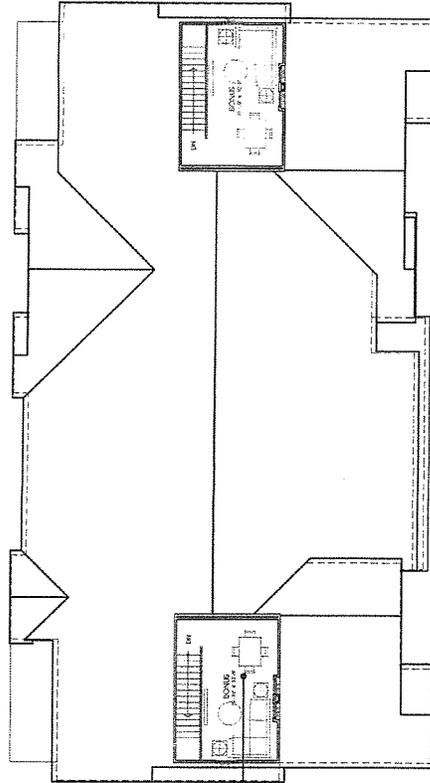
© 2014 William Hezmalhalch Architects, Inc.



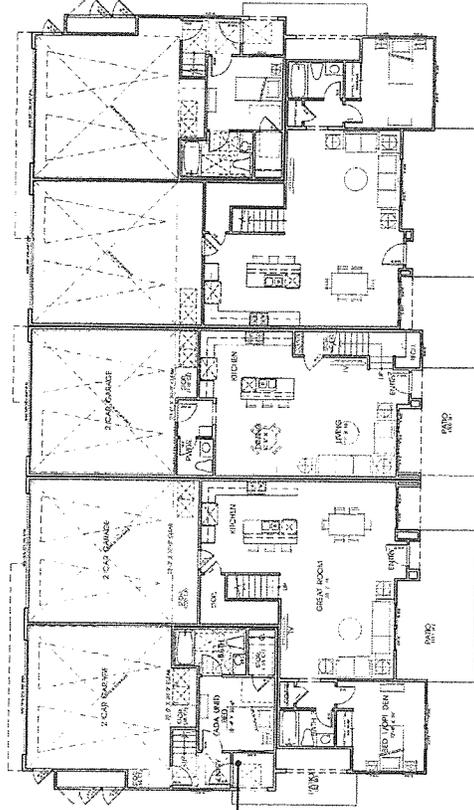
Roof



Second Floor



Third Floor



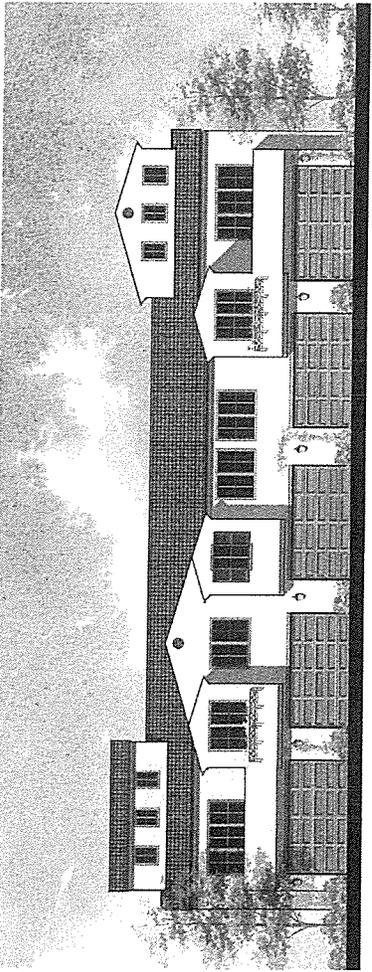
First Floor

ROW TOWNHOME 5-PLEX FLOOR/ROOF PLANS

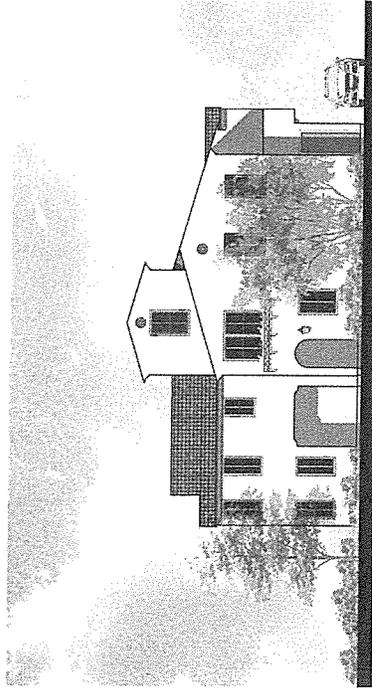


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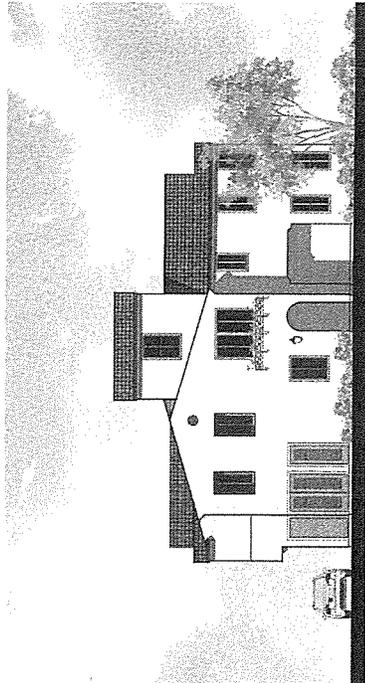




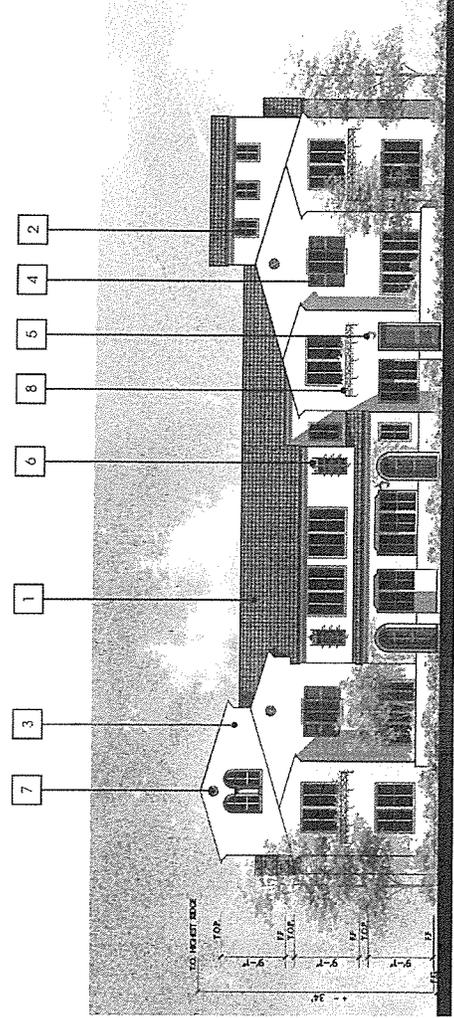
Rear



Right



Left



Front

- Material Legend**
- 1. Concrete S-Tile Roof
 - 2. Vinyl Window
 - 3. Stucco
 - 4. Decorative Shutter
 - 5. Light Fixture
 - 6. Metal Grill
 - 7. Decorative Medallion
 - 8. Metal Pot Shelf

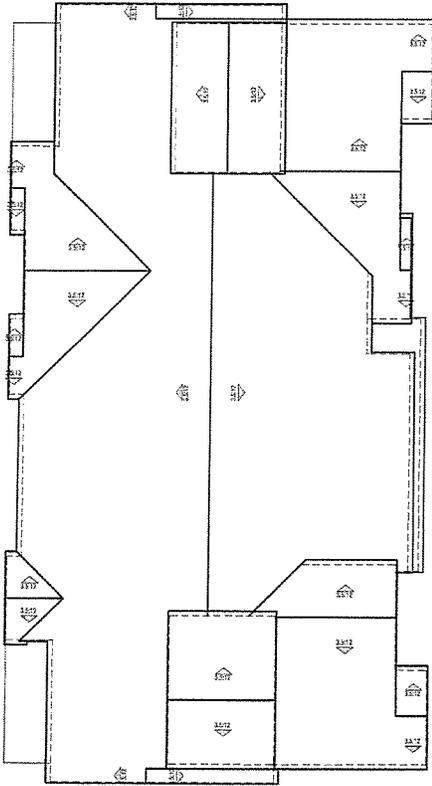
ROW TOWNHOME 5-PLEX BUILDING ELEVATIONS

0 4 8 16
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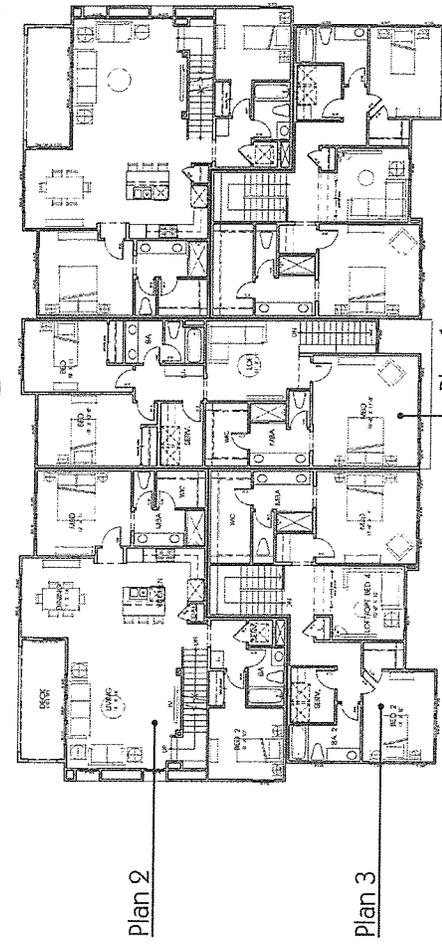
Santee 50
 Santee, California

09-23-14
A-4

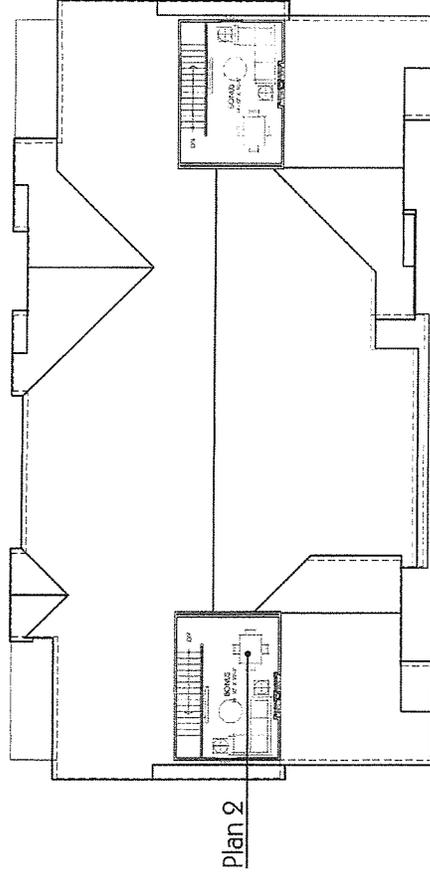




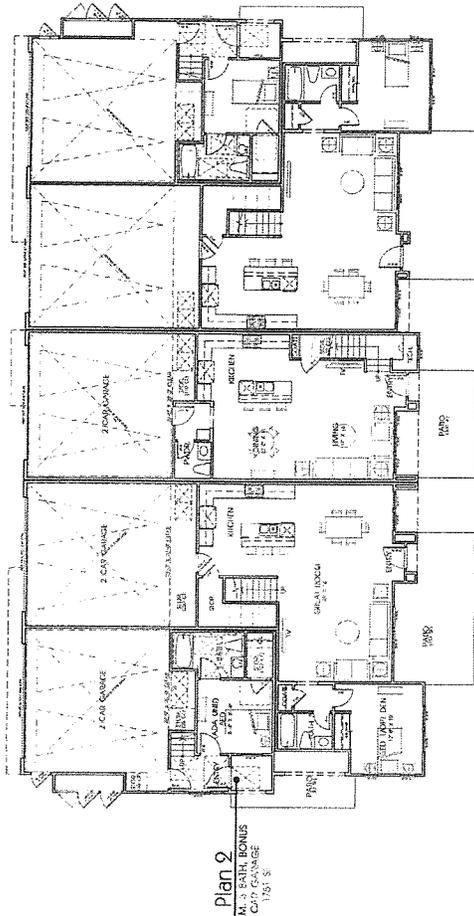
Roof



Second Floor

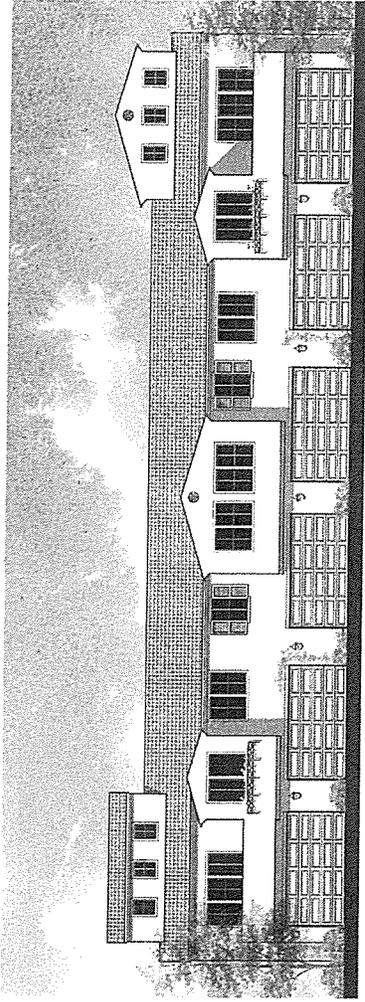


Third Floor

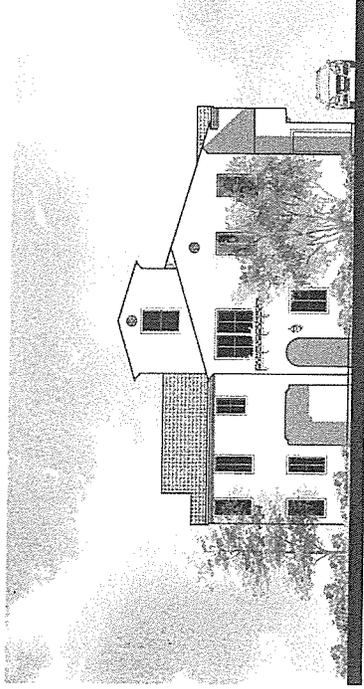


First Floor

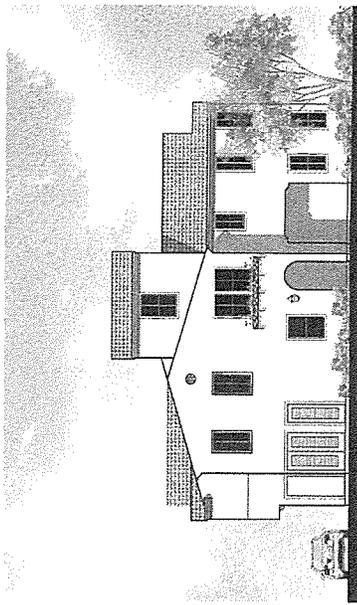
TYPICAL 6-PLEX BUILDING FLOOR/ROOF PLANS



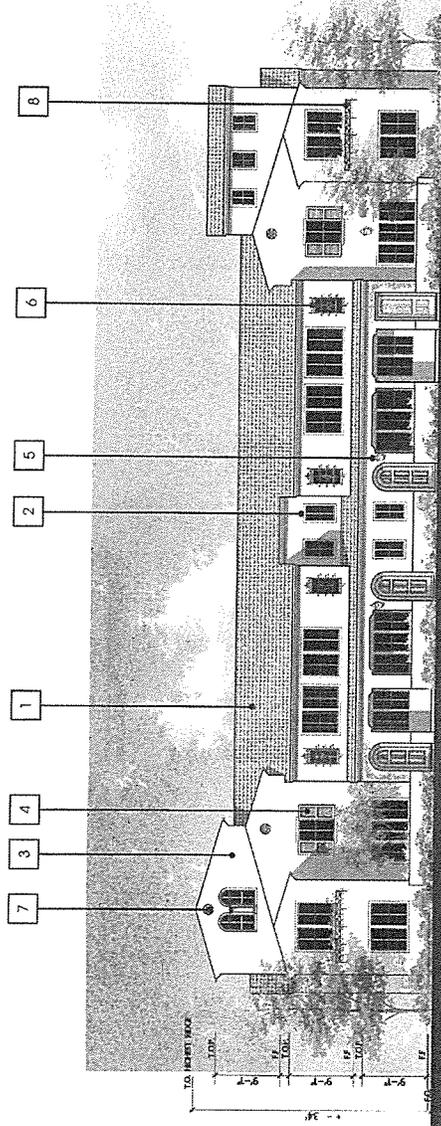
Rear



Right



Left



Front

Material Legend

1. Concrete S-Tile Roof
2. Vinyl Window
3. Stucco
4. Decorative Shutter
5. Light Fixture
6. Metal Grill
7. Decorative Medallion
8. Metal Pot Shelf



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SANTEE 50
Santee, California



City Ventures

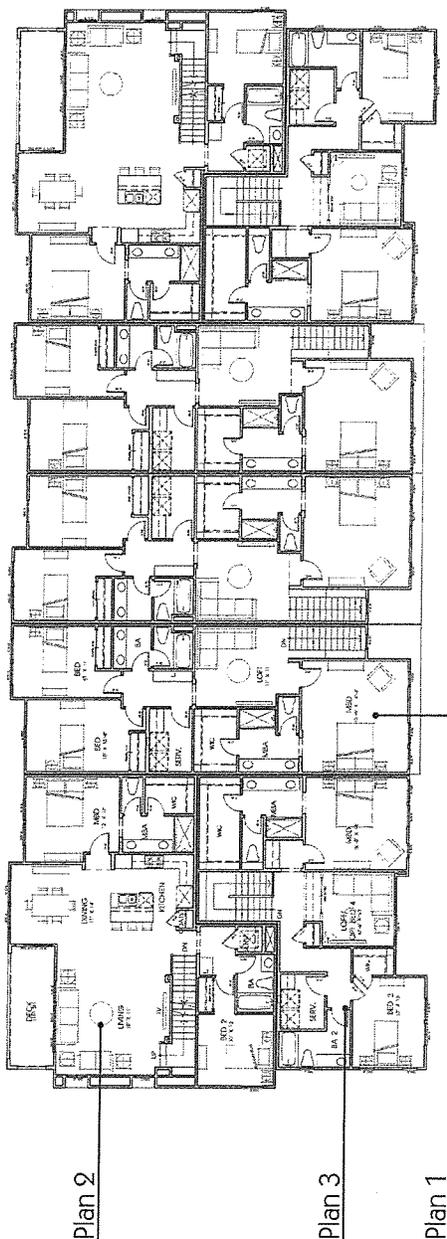


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ARCHITECTS, INC.

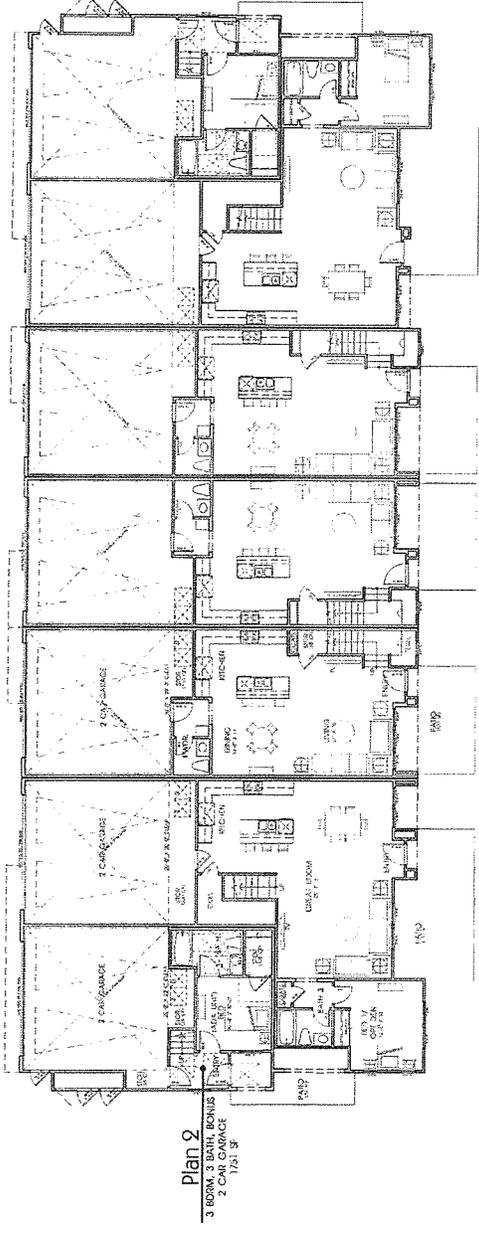
09-23-14

A-6

2014.119



Second Floor



First Floor
ROW TOWNHOME 7-PLEX FIRST & SECOND BUILDING FLOOR PLANS



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SANTEE 50
Santee, California

09-23-14

A-7

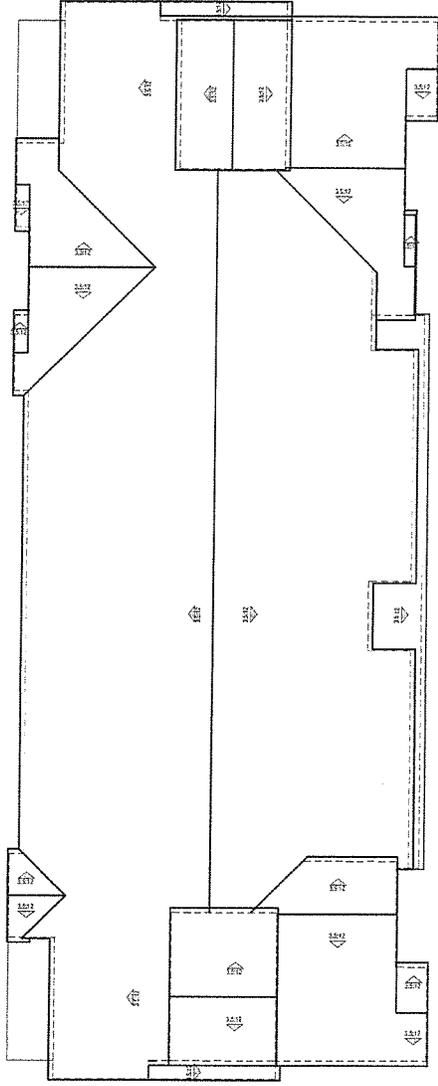


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ARCHITECTS INC.

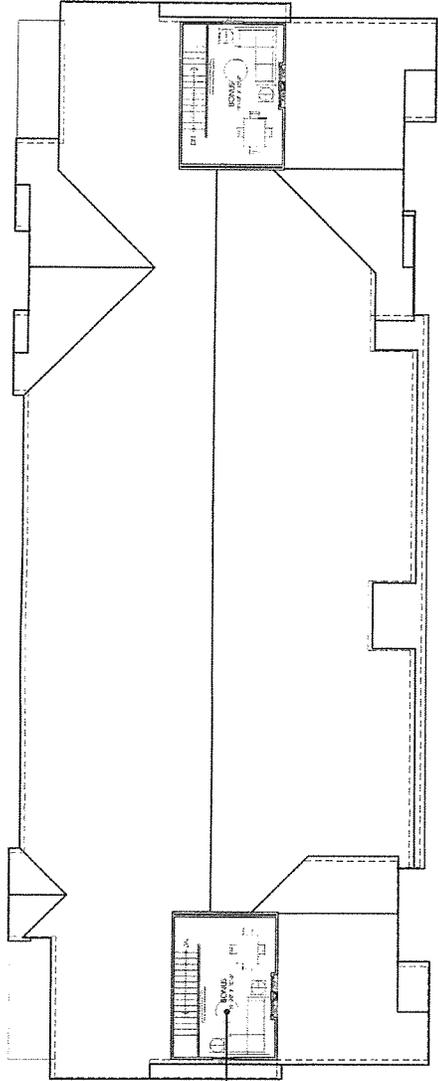


City Ventures

TM2014-1/DR2014-5, City Ventures Santee 50



Roof



Plan 2

Third Floor
ROW TOWNHOME 7-PLEX BUILDING FLOOR/ROOF PLANS



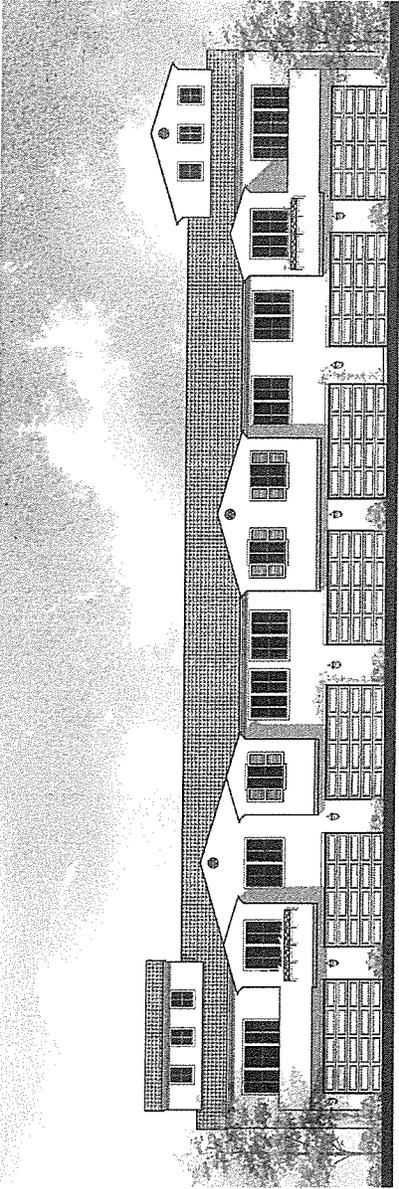
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SANTEE 50
Santee, California

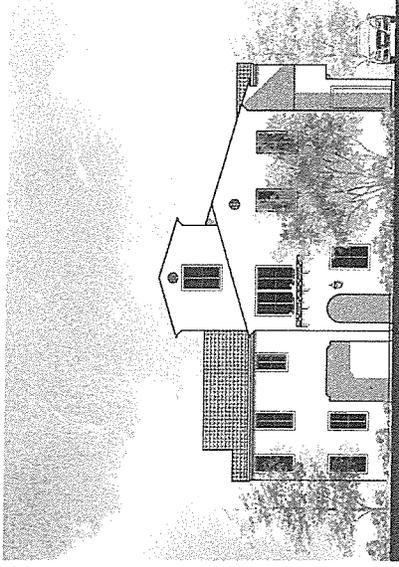


09.23.14
A-8
WILLIAM HEZMALCHALCH
ARCHITECTS INC. 2014.119

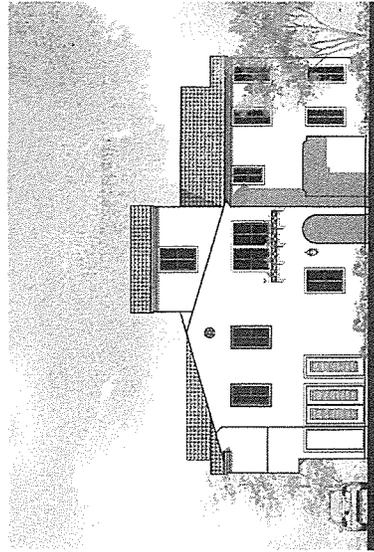
TM2014-1/DR2014-5, City Ventures Santee 50



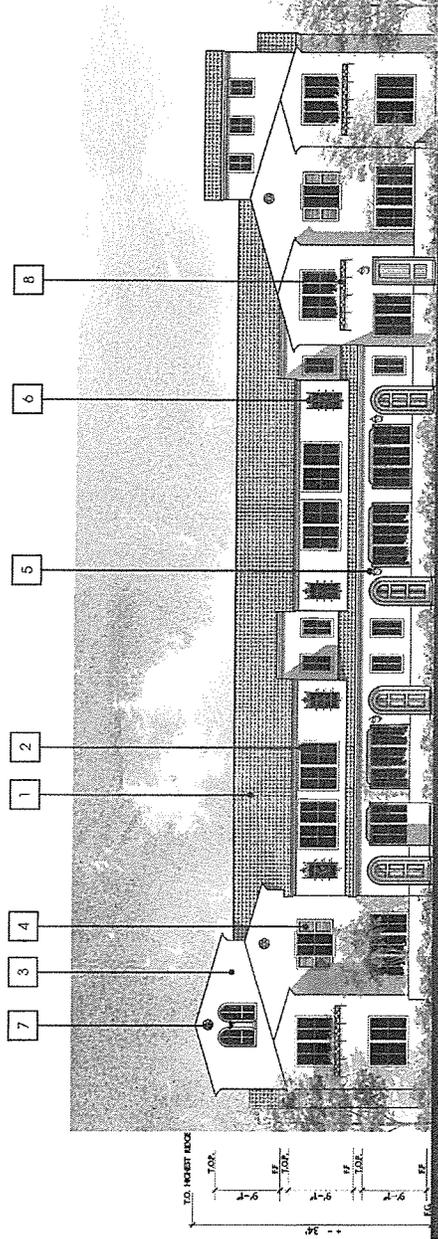
Rear



Right



Left

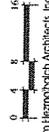


Front

Material Legend

1. Concrete S-Tile Roof
2. Vinyl Window
3. Stucco
4. Decorative Shutter
5. Light Fixture
6. Metal Grill
7. Decorative Medallion
8. Metal Pot Shelf

ROW TOWNHOME 7-PLEX BUILDING ELEVATIONS

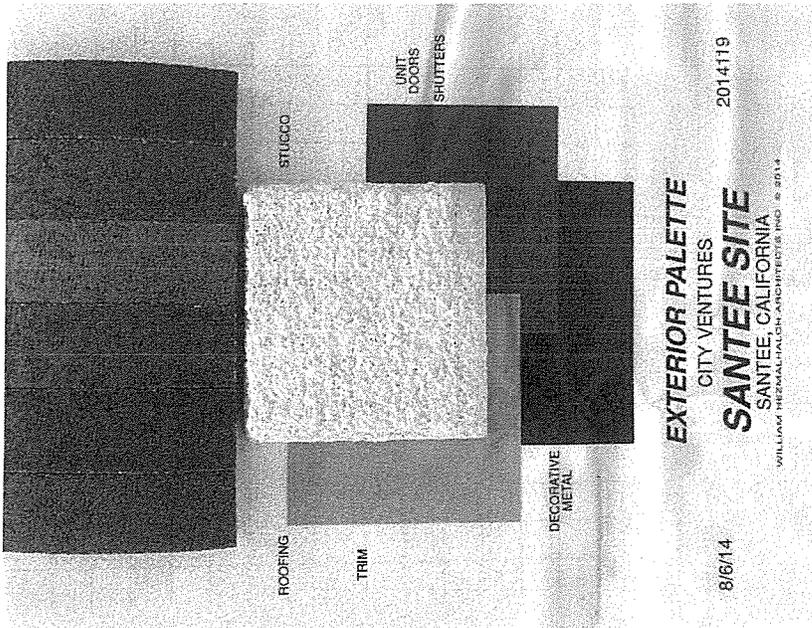


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SANTEE 50
Santee, California

09.23.14





WILLIAM HEZMALHALCH
ARCHITECTS INC.

August 6, 2014
CITY VENTURES
SANTÉE SITE
Santee, California

Project #2014119

EXTERIOR PALETTE

MATERIAL	COLOR	MANUFACTURER
ROOFING Concrete S Tile	3645 SUNRISE BLEND	EAGLE
METAL BIRD STOP @ S TILE (factory finish)	TERRA COTTA	EAGLE
1/2 ROUND GUTTERS & ROUND DOWNSPOUTS (factory finish)	MUSKET	CUSTOM-BILT METALS
VINYL WINDOWS (factory finish)	TAN	TBD
STUCCO (16/20 Sand Finish)	430	OMEGA
TRIM COLOR (applied to): Columns Decorative Medallion Garage Man Doors Mechanical Doors Trim Window Recesses	Match Sherwin Williams SW 7038 TONY TAUPE	FRAZEE
ACCENT COLOR Unit Doors Shutters	CL 3036A PETAL PLUCKER	FRAZEE
DECORATIVE METAL	CL 287N DIESEL	FRAZEE
GARAGE DOORS (factory finish)	BROWN	WAYNE DALTON

Color Designer: Donna Alstich
WILLIAM HEZMALHALCH ARCHITECTS INC. © 2014

EXTERIOR COLOR AND MATERIALS

SANTÉE 50
Santee, California



City Ventures



WILLIAM HEZMALHALCH
ARCHITECTS INC.

09-23-14

A-10
2014119

FINAL MITIGATED NEGATIVE DECLARATION

1. Name or description of project:	Santee 50. The proposed project would develop a 3.1-acre site in the westernmost limits of the City of Santee. The proposed project would include a Tentative Map (TM 2014-1) for a townhome subdivision for 50 multi-family residential dwelling units on one common lot, and a Development Review Permit (DR 2014-5) to construct 50 multi-family townhomes
2. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):	Corner of Bushy Hill Drive and Simeon Drive (APNs: 383-021-03, -04, and -07)
3. Entity or Person undertaking project:	
A. Entity	City Ventures
(1) Name:	Andrew Gerber
(2) Address:	3121 Michelson Drive, Suite 150, Irvine CA, 92612
B. Other (Private)	
(1) Name:	
(2) Address:	
<p>This Mitigated Negative Declaration and all supporting documents were available for public review and comment from December 19, 2014 to January 20, 2015. One comment was received. The letter and response are included as Appendix G to this document. In addition, Mitigation Measure Cultural Resources 1 on page 14 of the Initial Study has been changed, with changes shown in double-underlined text.</p> <p>The Lead Agency, having reviewed the Initial Study of this proposed project, having reviewed the written comments received prior to the public meeting of the Lead Agency, and having reviewed the recommendation of the Lead Agency's Staff, does hereby find and declare that the proposed project will not have a significant effect on the environment with mitigation.</p> <p>The Lead Agency hereby finds that the Mitigated Negative Declaration reflects its independent judgment. A copy of the Initial Study is attached.</p>	
<p>The location and custodian of the documents and any other material which constitute the record of proceedings upon which the Lead Agency based its decision to adopt this Mitigated Negative Declaration are as follows:</p> <p>City of Santee Development Services Department 10601 North Magnolia Avenue Santee, CA 92071</p>	
Phone No.:	(619) 258-4100 ext. 167


 Staff

INITIAL STUDY

(TM 2014-1, DR 2014-5)

Project Number and Name: **Santee 50 (TM 2014-1/DR 2014-5)**
Land Use Designation: **R-14 – Medium-High Density Residential**
Zoning: **R-14 – Medium-High Density Residential**

All reports and documents references in this Initial Study are on file with the City of Santee, Department of Developmental Services, 10601 Magnolia Avenue, Santee, CA 92071 and a digital copy is available from the City Website at <http://www.cityofsanteeca.gov/Index.aspx?page=210>. Telephone Number (619) 258-4100, ext. 167.

PROJECT DESCRIPTION:

Santee 50 is a proposed 50-unit residential townhome complex on a 3.1-acre site in the western portion of the City of Santee (City; Figure 1, *Regional Location Map*; Figure 2, *Project Vicinity*; and Figure 3, *Site Plan*). The 50 townhomes would be divided into nine buildings, containing a combination of three-plex, five-plex, six-plex, or seven-plex of townhomes (see Figures 5 through 8 for conceptual designs of each complex). The proposed buildings would range from two- to three-stories with a maximum height of 45 feet and, depending on the floor plan, the units would contain 1,745, 1,751, or 1,882 square feet of living space. Each unit would have three bedrooms (with some units containing an additional loft area). The proposed project would include a Tentative Map (TM 2014-1) for a townhome subdivision of 50 multi-family residential dwelling units.

The City's Land Use and Zoning Maps both designate the project site as R-14, Medium-High Density Residential. This land use designation and zone classification allow for residential uses with a density of between 14 and 22 dwelling units per acre. The proposed project's density would be 16.1 dwelling units per acre.

Project design features include:

- Internal access driveways leading to covered parking in 2-car garages (100 spaces total) and open parking (13 spaces); see Figure 3, *Site Plan*
- Common outdoor recreational area (approximately 4,050 square feet) consisting of a tot lot and grass play area
- Drainage improvements, such as the construction of curbs, gutters, and a bioretention area (approximately 4,000 square feet)
- Street frontage improvements along Bushy Hill Drive and Simeon Drive, including trees such as California sycamores, ornamental pears, white crape myrtles, and fruitless olives; see Figure 4, *Landscape Plan*
- Perimeter block and/or stucco walls and fencing
- Lighting, including landscape uplighting, trellis and structure downlighting, and pole lights

- The construction fleet will be required to use any combination of diesel catalytic converters, diesel oxidation catalysts, diesel particulate filters, and utilize California Air Resources Board (CARB)/U.S. Environmental Protection Agency (EPA) Engine Certification Tier 2, or other equivalent methods approved by CARB.
- Reducing the noise from construction equipment by:
 - Repairing heavy equipment at sites as far as practical from nearby residences.
 - Maintaining construction equipment, including vehicles, generators and compressors, in proper operating condition and equipping them with manufacturers' standard noise control devices or better (e.g., mufflers, acoustical lagging, and/or engine enclosures).
 - Limiting construction work, including on-site equipment maintenance and repair, to the hours specified in the City's noise ordinance.
 - Supplying electrical power from commercial power supply, wherever feasible, in order to avoid or minimize the use of engine-driven generators.
 - Locating staging areas for construction equipment as far as practicable from residences.

Demolition and Grading: Existing on-site structures would be demolished prior to grading. Waste material generated by demolition of the on-site facilities would be recycled to the extent practical, with the balance transported to a receiving landfill. The area proposed for development would be graded to developed level pads for each townhome complex. The project anticipates minor grading with 3,000 cubic yards (cy) to be cut and 12,000 cy to be filled, for a total import of 9,000 cy.

PROJECT ANALYSIS:

Site Conditions and Location: The project site is located near the westernmost limits of the City. It is located at the southwest corner of Bushy Hill Drive and Simeon Drive, and is in close proximity to Mission Trails Regional Park, Father Junipero Serra Drive (which leads into Mission Trails Regional Park), Mission Gorge Road, the San Diego River corridor. The project site currently contains three single-family residences and several appurtenant structures. On-site topography generally slopes downwards from the southeast to the northwest, with elevations ranging from approximately 360 feet above mean sea level (amsl) to 330 feet amsl.

Surrounding Properties Description: The existing land uses directly north of the project site includes Kumeyaay Lake and Campground and open space within Mission Trails Regional Park. Existing land uses to the direct west, south, and east are multi-family residential apartments except for a single-family residential parcel that is surrounded by the project on three sides. Further north lies the San Diego River corridor, at an approximate distance of 0.2 mile from the project site; across the river is State Route (SR) 52, approximately 0.6 mile from the project site.

Environmental Factors Potentially Affected: The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact." The environmental factors unchecked below were not determined to be potentially affected by the project:

	Aesthetics		Agriculture Resources		Air Quality
	Biological Resources		Cultural Resources		Geology/Soils
	Hazards & Hazardous Materials		Hydrology/Water Quality		Land Use/Planning
	Mineral Resources		Noise		Population/Housing
	Public Services		Recreation		Transportation/Traffic
	Utilities/Services Systems		Greenhouse Gas Emissions		Mandatory Findings of Significance

REASONS TO SUPPORT FINDINGS OF MITIGATED NEGATIVE DECLARATION:

1. The proposed project for a 50 townhome complex as designed and conditioned would not result in a significant impact upon the environment because, pursuant to CEQA Guidelines Section 15063.d.3 and 15063.f., the Initial Study checklist considered the potential for adverse effects to each question in Sections I through XVII of the referenced checklist. In addition to evaluation of potential project specific effects, this evaluation considered the project's potential for incremental effects that may be cumulatively considerable. As a result of this evaluation, there is no substantial evidence that there are cumulatively considerable effects associated with this project.
2. The project is consistent with the City's land use and zoning designation of R-14, Medium-High Density Residential, for the site. The project would integrate with the visual and community character of surrounding multi-family land uses.
3. The project would not have a significant impact on public services, such as fire and police services, or utilities and service systems, such as potable water and sewer, as the system's capacities have been developed by the City and Padre Dam Municipal Water District to accommodate buildout of the proposed project.
4. The project is not expected to have a significant climate change impact nor work to frustrate the intent of state policy direction and the regional 2050 RTP Sustainable Community Strategy to reduce greenhouse gas effects, as the project is consistent with sustainable community strategies of encouraging high density residential use and the incorporating project design features that could further reduce CO₂ emissions.
5. The project would not prejudice the adoption of the Multiple Species Conservation Program because, as analyzed under Section IV of the Environmental Checklist Form, the project would not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites.
6. The project would be consistent with the buildout vision of the City General Plan, and would continue the City's growth in a manner consistent with the General Plan Housing and Land Use Elements.

ATTACHED FIGURES:

- Figure 1: Regional Location Map
- Figure 2: Project Vicinity Map
- Figure 3: Site Plan
- Figure 4: Landscape Plan
- Figure 5: Row Townhome 3-Plex Building Elevations
- Figure 6: Row Townhome 5-Plex Building Elevations
- Figure 7: Row Townhome 6-Plex Building Elevations
- Figure 8: Row Townhome 7-Plex Building Elevations

LIST OF APPENDICES:

- Appendix A: Air Quality Calculations
- Appendix B: Preliminary Hydrology Study
- Appendix C: Preliminary Stormwater Management Plan
- Appendix D: Geotechnical Investigation
- Appendix E: Phase I Environmental Site Assessment
- Appendix F: Phase II Environmental Site Assessment
- Appendix G: Public Comments and Responses

INITIAL STUDY REFERENCES:

The following sources were references in preparing the Initial Study and Environmental Checklist:

Airport Land Use Commission

2010. Gillespie Field Airport Land Use Compatibility Plan. December 20.

City of Santee (City)

2014. City of Santee Municipal Code. Last updated July 11.

2013a. City of Santee Zoning Map. December.

2013b. City of Santee Housing Element 2013-2021. April 10.

2011. City of Santee SUSMP. January 12.

2008. City of Santee Land Use Map. January.

2003. City of Santee General Plan 2020. August 27.

City of San Diego

2010. Environmental Analysis Section Memorandum Addressing Greenhouse Gas Emissions from Projects Subject to CEQA. August 18.

1998. Final Multiple Species Conservation Program Plan. August.

City Ventures

2014a. Santee 50 Schematic Landscape Plan. September 25.

2014b. Santee 50 Formal Planning Submittal. September 23.

County of San Diego

2012. County of San Diego Guidelines for Determining Significance, Greenhouse Gas Emissions.

2005. San Diego County Integrated Waste Management Plan Siting Element. Final Year 5 Revision.

Department of Conservation

2013. San Diego County Important Farmland 2010, Sheet 1 of 2.

Federal Emergency Management Agency (FEMA)

2012. Flood Insurance Rate Map, Map Number 06073C1633G.

Leighton and Associates, Inc.

2014. Geotechnical Investigation, Santee 50. September 19.

Padre Dam Municipal Water District (PDMWD)

2014. City of Santee Project Facility Availability Form. August 29.

Pasco Laret Suiter & Associates

2014a. Tentative Map, Santee 50. September 25.

2014b. Preliminary Stormwater Management Plan (Major SWMP) for Santee 50. October 23.

2014c. Preliminary Hydrology Study for Santee 50. September 26.

Santee 50
Initial Study
TM 2014-1/DR 2014-5
Page 6

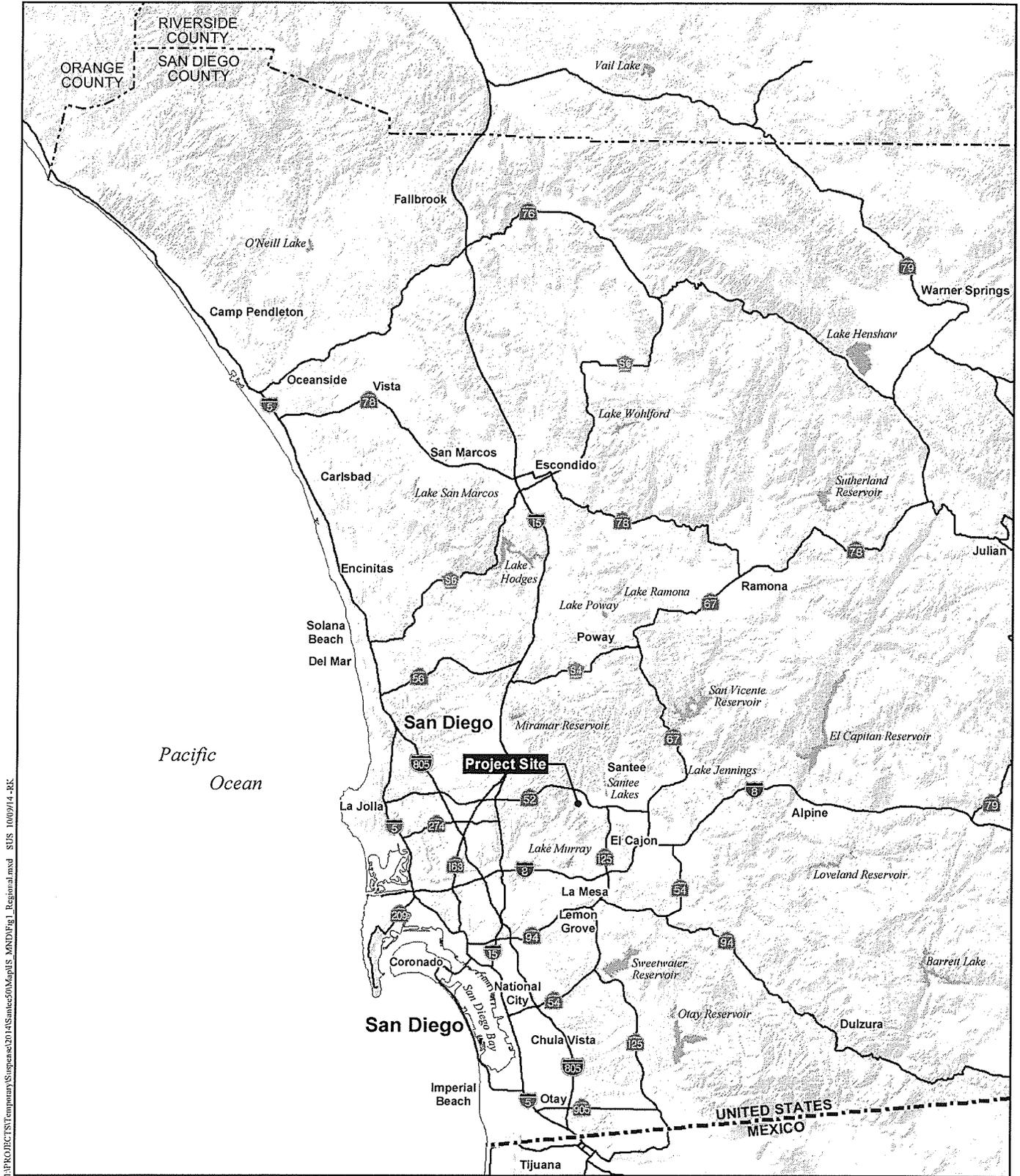
San Diego Air Pollution Control District (SDAPCD)
2014. Current Rules and Regulations. June.

San Diego Association of Government (SANDAG)
2014. 2050 Regional Transportation Plan/Sustainable Communities Strategy Progress Report. January.
2013. Profile Warehouse. Available at: <http://profilewarehouse.sandag.org/>
2011. Average Weekday Traffic Volumes. Available at: http://www.sandag.org/resources/demographics_and_other_data/transportation/adtv/index.asp
2008. Final 2008 Congestion Management Program Update.
2002. Brief Guide to Vehicular Traffic Generation Rates for the San Diego Region. April.

Santee Fire Department
2014. Inter-office Memo from Richard Smith, Fire Marshall, to Travis Cleveland, Planning Division. December 14.

Stantec
2014a. Phase I Environmental Site Assessment. March 31.
2014b. Phase II Environmental Site Assessment. March 31.

State Water Resources Control Board
2014. Construction Storm Water Program.

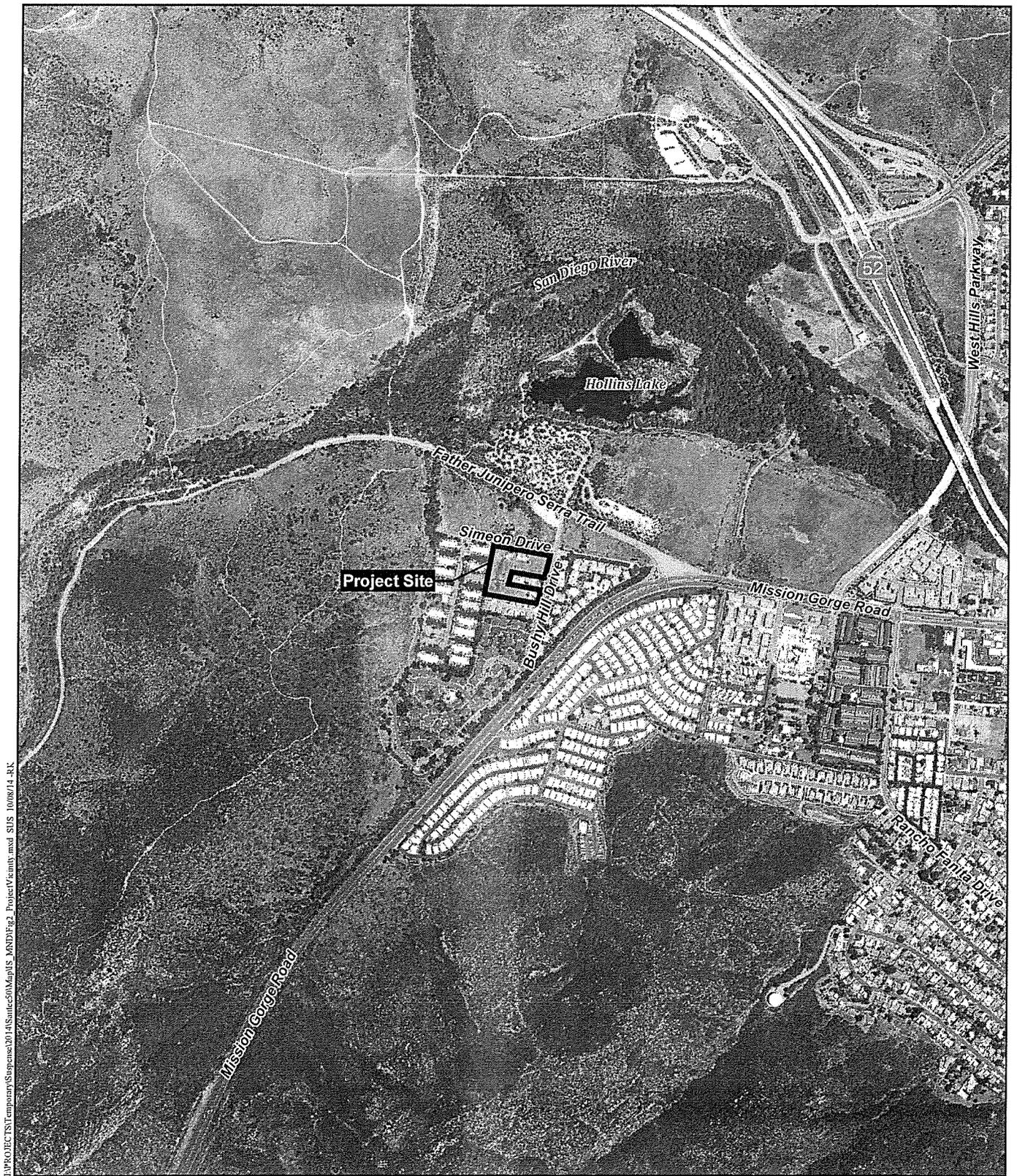


I:\PROJECTS\Temporary\SanDiego\2014\SanDiego\Map\GIS_MAND\Fig_1_Regional.mxd SIFS 10/09/14-RK

Regional Location Map

SANTEE 50

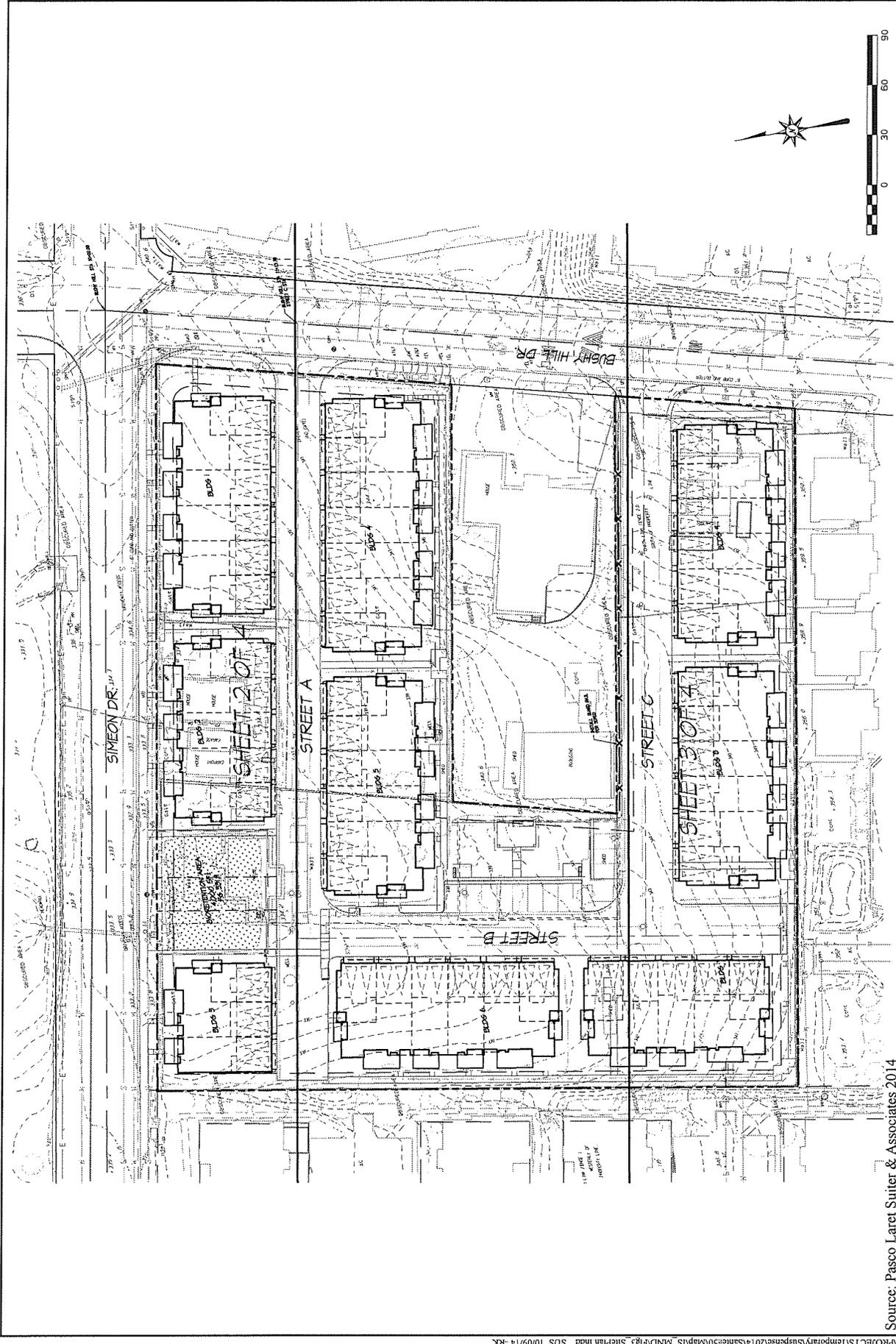
Figure 1



I:\PROJECTS\Company\Suspecta\301AIS\Site\60Map\IS_MND\Fig.2_ProjectVicinity.mxd SIS 10/08/14 RK

Project Vicinity Map

SANTEE 50



Source: Pasco Laret Suiter & Associates 2014

Site Plan

SANTEE 50

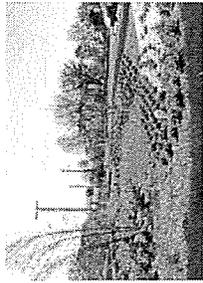
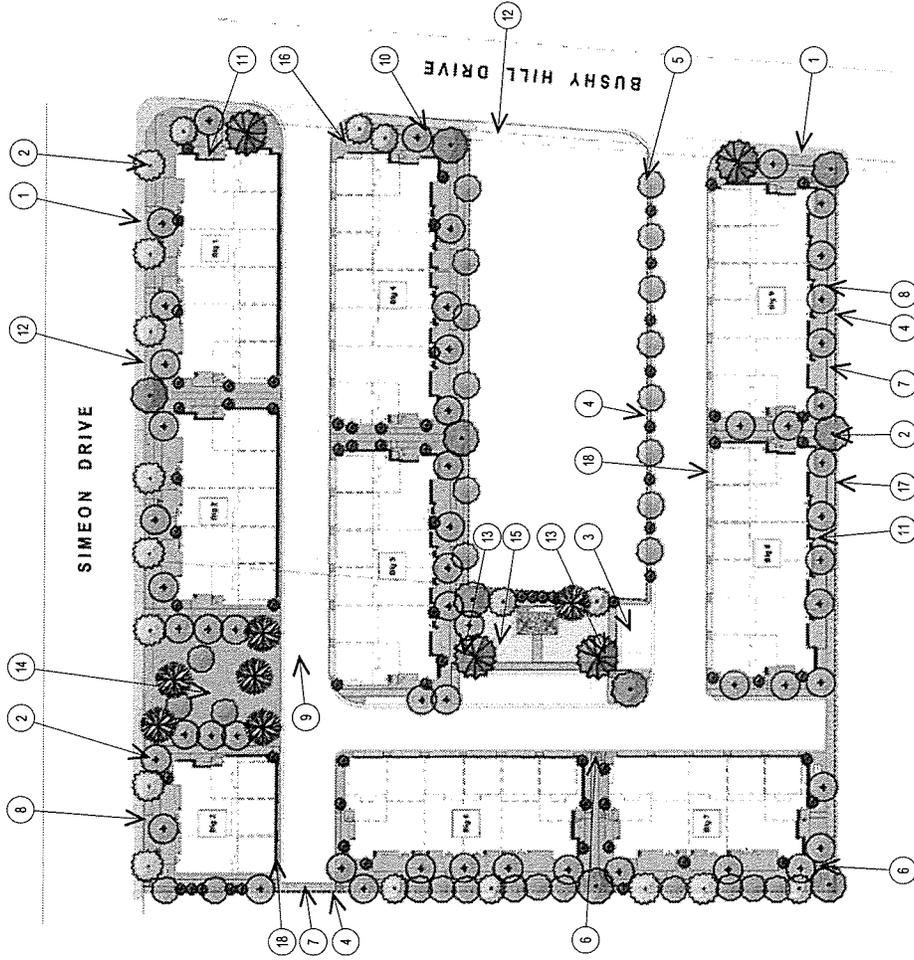
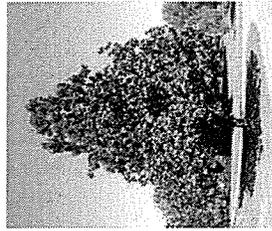
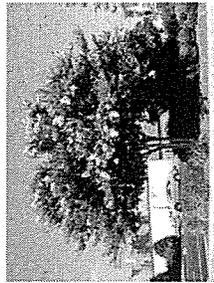
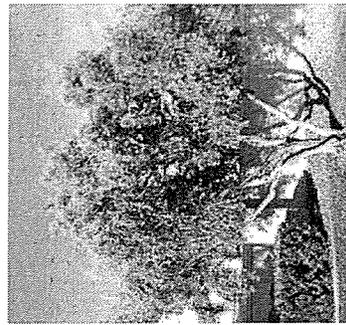
Figure 3

LEGEND

1. Street sidewalk, per Civil Engineer.
2. Proposed tree, per Planting Plan on L-3.
3. Proposed parking stall, per Civil Engineer.
4. Proposed wall, per Wall & Fence plan on L-2.
5. Proposed pilaster, per Wall & Fence plan on L-2.
6. Enhanced colored concrete paving or pavers.

7. 4 FT wide walkway, natural color concrete with medium top-cast finish and sawcut joints.
8. 3FT wide unit walks, natural color concrete with medium top-cast finish and sawcut joints.
9. Internal street, asphalt or concrete paving, per Civil Engineer.
10. Existing street utility to remain and protect in place.
11. Private porch / patio, per Architect's plans. Natural colored concrete paving with finish to match adjacent walks.
12. R.O.W. per Civil Engineer's plans.
13. Mailbox CBU units, surface mounted to concrete pads.

14. Bio-retention area, per Civil Engineer's plans.
15. Passive open space area with event lawn and trees for community events and gatherings.
16. Proposed transformer, final locations to be determined by others. Landscape CDs to show screening of above ground utilities.
17. Property line, per Civil Engineer's plans.
18. Natural color concrete driveways with medium top-cast finish and sawcut joints.

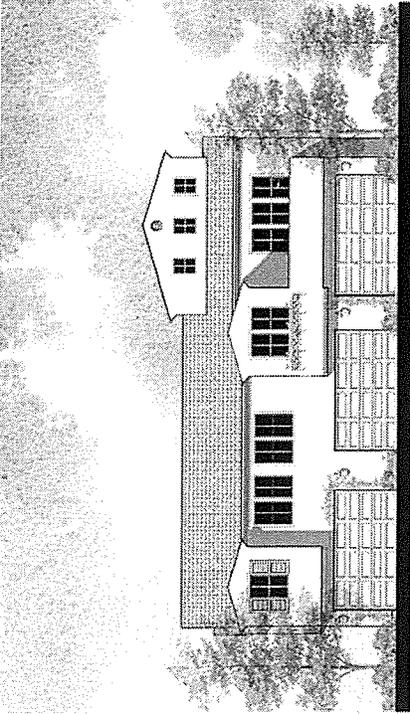


Source: City Ventures 2014

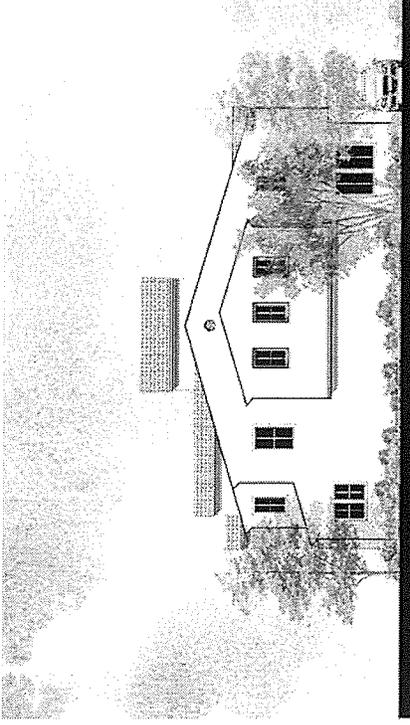
Landscape Plan

SANTEE 50

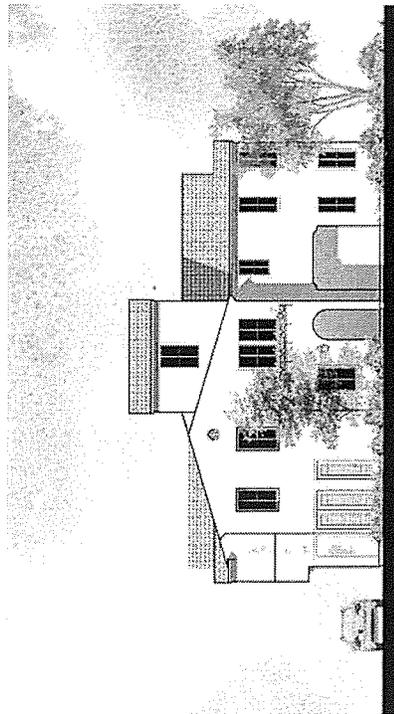
Figure 4



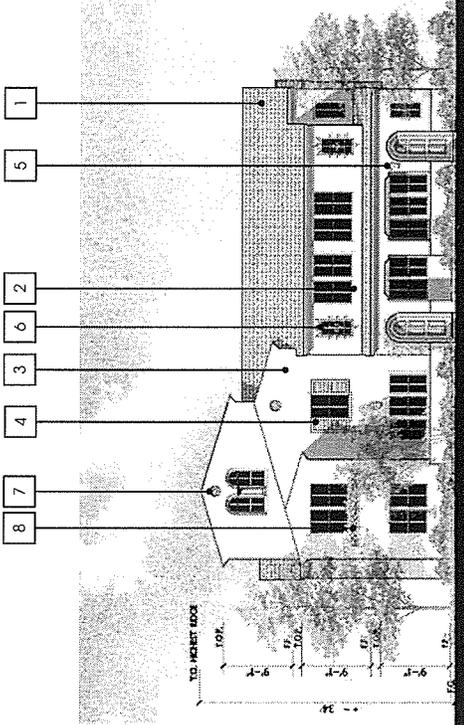
Rear



Right



Left



Front

Material Legend

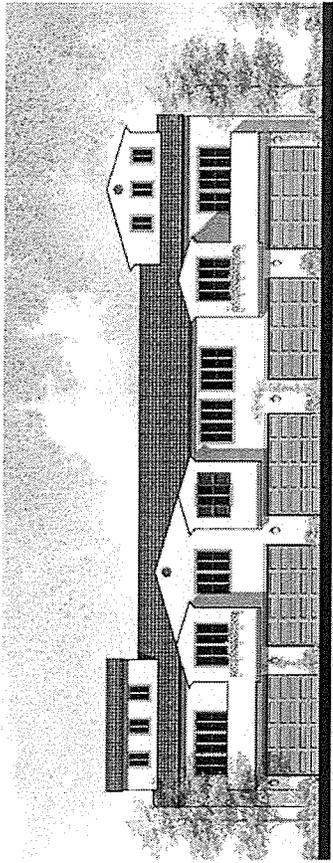
- 1. Concrete S-Tile Roof
- 2. Vinyl Window
- 3. Stucco
- 4. Decorative Shutter
- 5. Light Fixture
- 6. Metal Grill
- 7. Decorative Medallion
- 8. Metal Pot Shelf

Source: City Ventures 2014

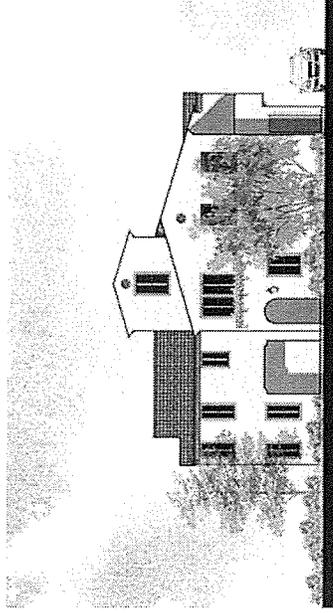
Row Townhome 3-Plex Building Elevations

SANTEE 50

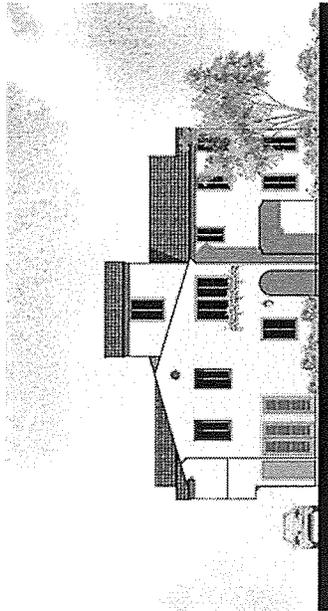
Figure 5



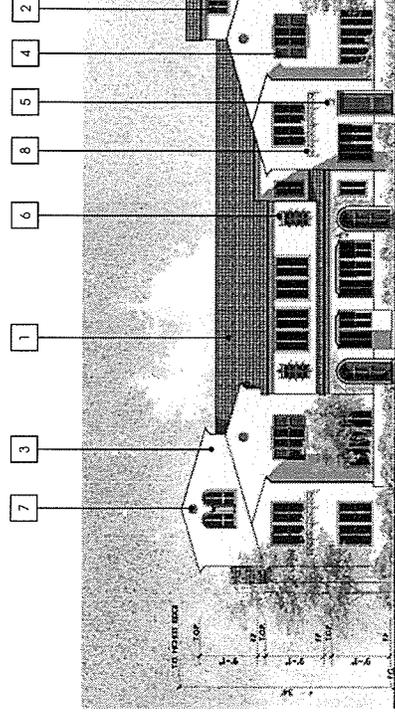
Rear



Right



Left



Front

Material Legend

1. Concrete S-Tile Roof
2. Vinyl Window
3. Stucco
4. Decorative Shutter
5. Light Picture
6. Bead Board
7. Decorative Medallion
8. Metal Post Shell

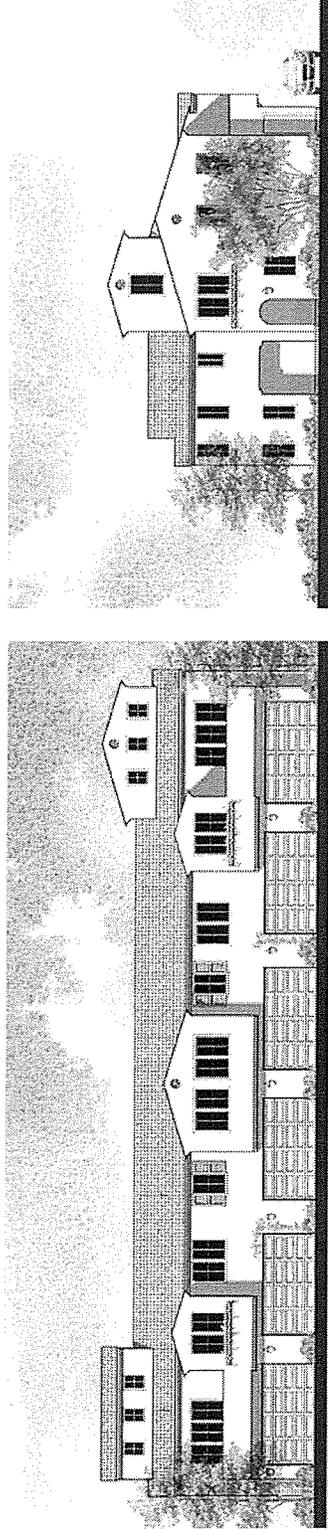
Source: City Ventures 2014

Row Townhome 5-Plex Building Elevations

SANTEE 50

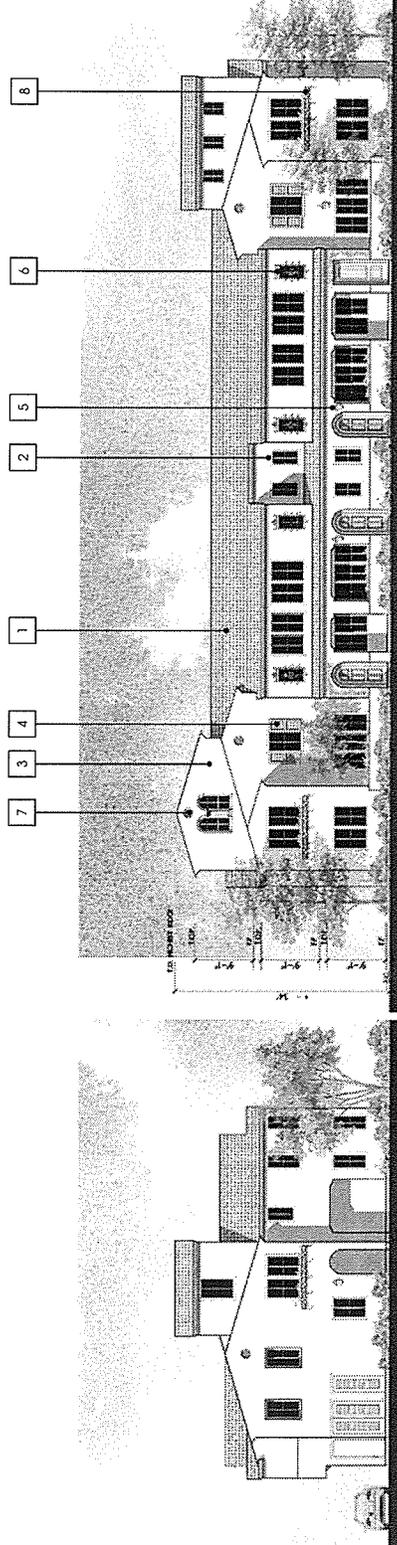
Figure 6

Source: City Ventures 2014



Rear

Right



Left

Front

Material Legend

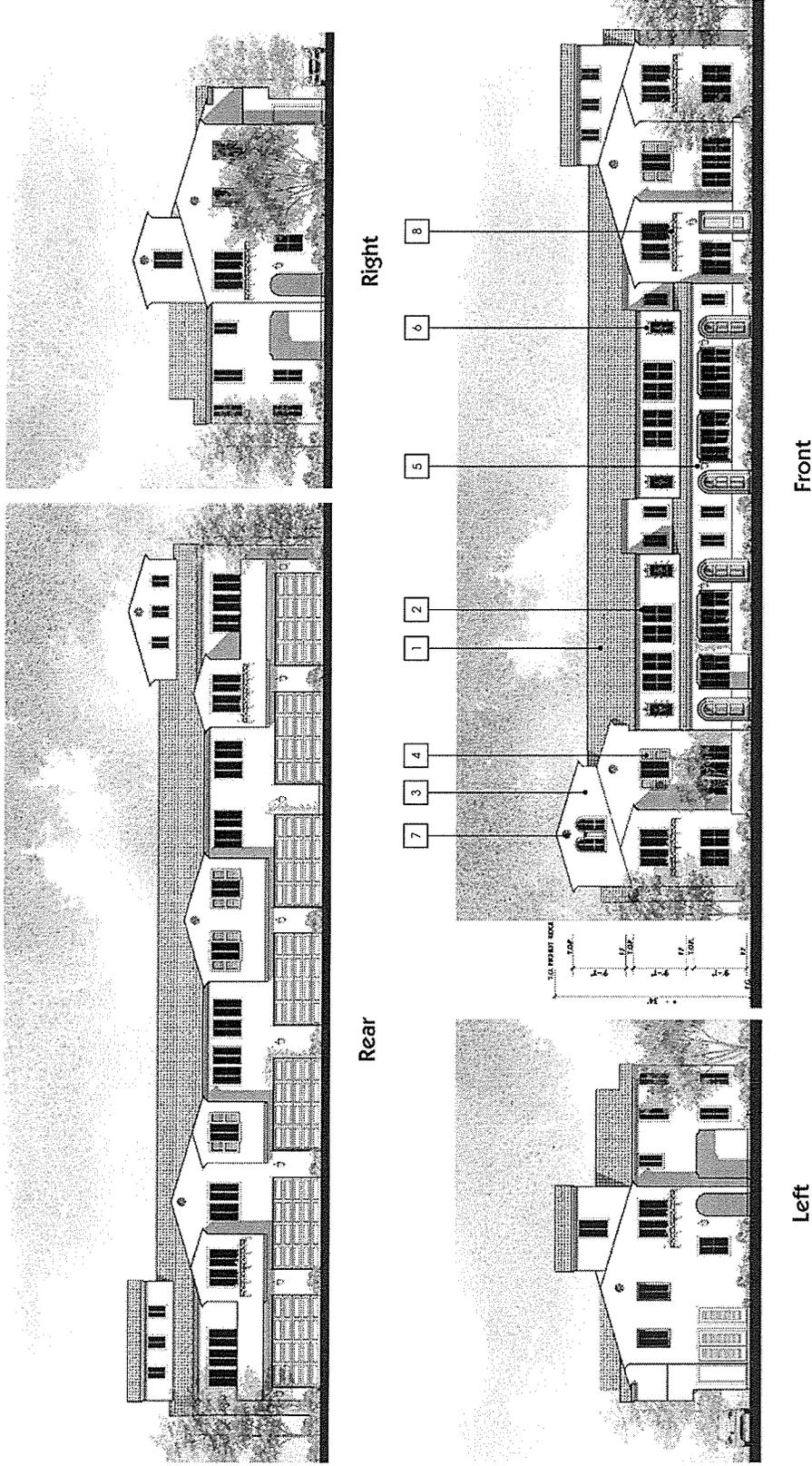
- 1. Concrete S-Tile Roof
- 2. Vinyl Window
- 3. Stucco
- 4. Decorative Shutter
- 5. Light Fixture
- 6. Metal Grill
- 7. Decorative Medallion
- 8. Metal Pot Shelf

Row Townhome 6-Plex Building Elevations

SANTEE 50

Figure 7

Source: City Ventures 2014



Row Townhome 7-Plex Building Elevations

SANTEE 50

Figure 8

CITY OF SANTEE
ENVIRONMENTAL CHECKLIST FORM

1. **Project Title:** Santee 50 Project -
Tentative Map (TM 2014-1)
Development Review Permit (DR 2014-5)
2. **Lead Agency Name and Address:** City of Santee
Department of Development Services
10601 Magnolia Avenue
Santee, CA 92071
3. **Contact Person and Phone Number:** Travis Cleveland, (619) 258-4100 ext. 160
4. **Project Location:** Bushy Hill Drive and Simeon Drive
(APNs 383-021-03, -04, -07)
5. **Project Sponsor's Name and Address:** City Ventures
Attn: Andy Gerber
3121 Michelson Drive, Suite 150
Irvine, CA 92612
6. **General Plan Designation:** R-14 - Medium-High Density Residential
7. **Zoning:** R-14 - Medium-High Density Residential
8. **Description of Project:**

Santee 50 is a proposed 50-unit residential townhome complex on a 3.1-acre site in the western portion of the City of Santee (City; Figure 1, *Regional Location Map*; Figure 2, *Project Vicinity*; and Figure 3, *Site Plan*). The 50 townhomes would be divided into nine buildings, containing a combination of three-plex, five-plex, six-plex, or seven-plex of townhomes (see Figures 5 through 8 for conceptual designs of each complex). The proposed buildings would range from two- to three-stories with a maximum height of 45 feet and, depending on the floor plan, the units would contain 1,745, 1,751, or 1,882 square feet of living space. Each unit would have three bedrooms (with some units containing an additional loft area). The proposed project would include a Tentative Map (TM 2014-1) for a townhome subdivision of 50 multi-family residential dwelling units.

The City's Land Use and Zoning Maps both designate the project site as R-14, Medium-High Density Residential. This land use designation and zone classification allow for residential uses with a density of between 14 and 22 dwelling units per acre. The proposed project's density would be 16.1 dwelling units per acre.

Project design features include:

- Internal access driveways leading to covered parking in 2-car garages (100 spaces total) and open parking (13 spaces); see Figure 3, *Site Plan*

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 2

- Common outdoor recreational area (approximately 4,050 square feet) consisting of a tot lot and grass play area
- Drainage improvements, such as the construction of curbs, gutters, and a bioretention area (approximately 4,000 square feet)
- Street frontage improvements along Bushy Hill Drive and Simeon Drive, including trees such as California sycamores, ornamental pears, white crape myrtles, and fruitless olives (see Figure 4, *Landscape Plan*)
- Perimeter block and/or stucco walls and fencing
- Lighting, including landscape uplighting, trellis and structure downlighting, and pole lights
- The construction fleet will be required to use any combination of diesel catalytic converters, diesel oxidation catalysts, diesel particulate filters, and utilize California Air Resources Board (CARB)/U.S. Environmental Protection Agency (EPA) Engine Certification Tier 2, or other equivalent methods approved by CARB.
- Reducing the noise from construction equipment by:
 - Repairing heavy equipment at sites as far as practical from nearby residences.
 - Maintaining construction equipment, including vehicles, generators and compressors, in proper operating condition and equipping them with manufacturers' standard noise control devices or better (e.g., mufflers, acoustical lagging, and/or engine enclosures).
 - Limiting construction work, including on-site equipment maintenance and repair, to the hours specified in the City's noise ordinance.
 - Supplying electrical power from commercial power supply, wherever feasible, in order to avoid or minimize the use of engine-driven generators.
 - Locating staging areas for construction equipment as far as practicable from residences.

Demolition and Grading: Existing on-site structures would be demolished prior to grading. Waste material generated by demolition of the on-site facilities would be recycled to the extent practical, with the balance transported to a receiving landfill. The area proposed for development would be graded to developed level pads for each townhome complex. The project anticipates minor grading with 3,000 cubic yards (cy) to be cut and 12,000 cy to be filled, for a total import of 9,000 cy.

9. PROJECT ANALYSIS

Site Conditions and Location: The project site is located near the westernmost limits of the City. It is located off Bushy Hill Drive and Simeon Drive, and is in close proximity to Mission Trails Regional Park, Father Junipero Serra Drive (which leads into Mission Trails Regional Park), Mission Gorge Road, the San Diego River corridor. The project site currently contains three single-family residences and several appurtenant structures. On-site topography generally slopes downwards from the southeast to the northwest, with elevations ranging from approximately 360 feet above mean sea level (amsl) to 330 feet amsl.

Surrounding Properties Description: The existing land uses directly north of the project site includes Kumeyaay Lake and Campground and open space within Mission Trails Regional Park. Existing land uses to the direct west, south, and east are multi-family

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 3

residential apartments except for a single-family residential parcel that is surrounded by the project on three sides. Further north lies the San Diego River corridor, at an approximate distance of 0.2 mile from the project site; across the river is State Route (SR) 52, approximately 0.6 mile from the project site.

10. Environmental Factors Potentially Affected: The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact." The environmental factors unchecked below were not determined to be potentially affected by the project:

	Aesthetics		Agriculture Resources		Air Quality
	Biological Resources		Cultural Resources		Geology/Soils
	Hazards & Hazardous Materials		Hydrology/Water Quality		Land Use/Planning
	Mineral Resources		Noise		Population/Housing
	Public Services		Recreation		Transportation/Traffic
	Utilities/Services Systems		Greenhouse Gas Emissions		Mandatory Findings of Significance

11. Determination – On the basis of this initial evaluation:*

I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.	
I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on an attached sheet have been added to the project. A MITIGATED NEGATIVE DECLARATION will be prepared.	X
I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.	
I find that the proposed project MAY have a significant effect(s) on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets, if the effect is a "potentially significant impact" or "potentially significant unless mitigated." An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.	
I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION , including revisions or mitigation measures that are imposed upon the proposed project, and nothing further is required.	

*(To be completed by the lead agency)

Signature

Date

Printed Name and Title

City of Santee
For

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 4

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>I. AESTHETICS. Would the project:</p>				
<p>a) Have a substantial adverse effect on a scenic vista?</p> <p>Source(s): Community Enhancement Element of the General Plan, City 2003</p> <p><u>No designated scenic vistas are located on site or in the vicinity. The project site is located approximately 0.2 mile south of the San Diego River corridor. Although the corridor is not designated as a scenic vista, the City of Santee General Plan 2020 (General Plan) recommends maintenance and enhancement of the existing scenic resources of the corridor. In addition, the site is located near the SR 52 and Mission Gorge Road western entries into the City; the General Plan Community Enhancement Element Policy 10.1 has an objective to preserve this high quality scenic view. The proposed residential buildings would be very similar in size and scale to surrounding residential buildings and would not substantially block views of the San Diego River corridor from public vantage points off Mission Gorge Road, nor conflict with the views of open space from SR 52. Impacts to scenic vistas would be less than significant.</u></p>			X	
<p>b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?</p> <p>Source(s): Caltrans 2011; City Ventures 2014a</p> <p><u>Views of the project site may be provided from SR 52, which is identified as an Eligible Scenic State Highway – Not Designated (Caltrans 2011). There are no scenic resources on the project site such as large stands of trees, rock outcroppings, and historic buildings, nor would the project site affect such resources. Project implementation would remove some on-site trees, but the comprehensive landscaping plan prepared for the project would result in a net increase in trees. Accordingly, the proposed project would have a less than significant impact on scenic resources.</u></p>			X	
<p>c) Substantially degrade the existing visual character or quality of the site and its surroundings?</p> <p>Source(s): Community Enhancement Element of the General Plan, City 2003; Pasco Laret Suiter & Associates 2014a; City Ventures 2014a</p> <p><u>The project site is located in a developed area and currently contains three single-family homes and other outbuildings on large lots characteristic of rural residential use; however, it is surrounded by multi-family developments consisting of two- to three-story buildings, painted in tones of brown, tan, and white. The proposed buildings would be visually compatible with these surrounding buildings in terms of form and color. The project would also promote General Plan objectives and</u></p>			X	

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 5

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p><u>policies contained in the Community Enhancement Element pertaining to visual and community character. Specifically, Objective 2.0 and Policy 2.1 call to strengthen neighborhood identity by providing landscape treatments and signage in residential areas. Objective 3.0 is to improve the diversity and quality of housing in the City, and Objective 4.0 is to promote the integration of new residential development with the existing community. The project would provide new multi-family housing with a unified landscape treatment and project signage compatible with existing surrounding residential uses. Impacts to visual character and quality would be less than significant.</u></p>				
<p>d) Create light or glare?</p> <p>Source(s): Community Enhancement Element of the General Plan, City 2003</p> <p><u>Demolition and construction activities would occur during daylight hours; however, the site could be illuminated at night during the demolition and construction phases of the project for security purposes. Upon buildout, the project would include lighting for landscaping and security. Nighttime lighting would be in compliance with City Municipal Code Section 17.30.030 (the City Zoning Ordinance Development Standards), which requires that all lighting be designed and adjusted to reflect light away from adjacent properties, and be shielded or directed so as to not cause glare on adjacent properties. In addition, proposed building materials would not exhibit highly reflective characteristics that would create glare. Therefore, the project would not emit substantial light or glare that would affect views of the area during project construction and operation, and associated impacts would be less than significant.</u></p>			X	
<p>II. AGRICULTURAL AND FOREST RESOURCES. In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and City Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agricultural and farmland. Would the project:</p>				
<p>a) Convert prime farmland, unique farmland, or farmland of statewide importance (farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?</p> <p>Source(s): Land Use Element of the General Plan, City 2003; City 2008; City 2013a; Department of Conservation 2013</p> <p><u>The proposed project site is not designated as farmland (Prime, Unique, Important, or otherwise), and therefore the project would not convert any farmland to non-agricultural uses. The project site is designated and</u></p>				X

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 6

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p><u>zoned for residential uses and currently developed with residential uses. In addition, the site is surrounded by residential development and open space areas. There would be no impacts to farmland.</u></p>				
<p>b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?</p> <p>Source(s): City 2013a; Department of Conservation 2013</p> <p><u>The proposed project would not convert any farmlands, including land zoned for agricultural use or farmlands currently under Williamson Act Land Conservation Contracts, to non-agricultural uses. The project site is zoned R-14, Medium-High Density Residential. Accordingly, no impact would occur.</u></p>				X
<p>c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?</p> <p>Source(s): City 2013a</p> <p><u>The site is not zoned as forest land, timberland, or Timberland Production, and is not in close proximity to land designated as such (also refer to II(a) above); no impacts would occur.</u></p>				X
<p>d) Result in the loss of forest land or conversion of forest land to non-forest use?</p> <p>Source(s): City 2013a</p> <p><u>Refer to II(c) above. The site does not contain forest land and is not in close proximity to forest land, and no impacts would occur to forest land from the proposed project.</u></p>				X
<p>e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of farmland to non-agricultural use or conversion of forest land to non-forest land use?</p> <p>Source(s): City 2013a; Stantec 2014</p> <p><u>Based upon aerial photographs, the site contained a small orchard prior to 1964. However, the land has been not been used for agriculture since that time and instead has been used for housing. In addition, the project site is not zoned for agriculture and no agricultural uses occur in the vicinity. Because the project site and its surrounding area are neither</u></p>				X

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 7

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>currently used for agriculture nor available for future agricultural use, the proposed project would not result in any adverse impacts to agricultural resources.</p>				
<p>III. AIR QUALITY. Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:</p>				
<p>a) Conflict with or obstruct implementation of the applicable air quality plan?</p> <p>Source(s): SDAPCD (2014)</p> <p><u>The San Diego Air Pollution Control District (SDAPCD) is the government agency that regulates sources of air pollution within San Diego County. Currently, the San Diego Air Basin (SDAB) is in "non-attainment" status for criteria pollutants Ozone (O₃), 10-micrometer or less particulate matter (PM₁₀), and 2.5-micrometer or less particulate matter (PM_{2.5}). The SDAPCD developed a Regional Air Quality Strategy (RAQS), the applicable air quality plan, to provide control measures to achieve attainment status for these criteria pollutants. The RAQS relies on information from the California Air Resources Board (CARB) and the San Diego Association of Governments (SANDAG), including mobile and area source emissions and information regarding projecting growth in the County, to project future emissions and then determine strategies necessary for the reduction of emissions through regulatory controls. The CARB mobile source emission projections and SANDAG growth projections are based on population and vehicle trends and land use plans developed by the cities and the County. Projects that propose development that are consistent with the growth anticipated by the general plans are therefore consistent with the RAQS. The proposed project is consistent with the General Plan in terms of land use and density and therefore, would be consistent with the RAQS. No impact would occur.</u></p>				X
<p>b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?</p> <p>Source(s): SDAPCD (2014); Appendix A</p> <p><u>Air quality is defined by ambient air concentrations of six specific pollutants identified by the U.S. Environmental Protection Agency (USEPA) to be of concern with respect to health and welfare of the general public. These pollutants include ozone (O₃), carbon monoxide (CO), nitrogen dioxide (NO₂), particulate matter (including both particulate matter of 10 microns or less in diameter [PM₁₀] and particulate matter 2.5 microns or less in diameter [PM_{2.5}]), and sulfur dioxide (SO₂). In addition, reactive organic gases (ROG) are ozone precursors and are also regulated by USEPA. The project has the potential to emit pollutants during the construction and operational stages of the proposed project.</u></p>			X	

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 8

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<p>Temporary emissions would be generated by construction equipment during the demolition, site preparation, and building phases of the project. Construction emissions were calculated using the South Coast Air Quality Control District's California Emissions Estimator Model (CalEEMod) emissions inventory model. Detailed construction emissions assumptions and CalEEMod inputs and outputs are provided in Appendix A.</p> <p>Table 1, <i>Estimated Maximum Daily Construction Emissions</i>, provides a summary of the daily construction emission estimates by construction phase. The City has not established significance thresholds for air emissions impacts. Therefore, screening thresholds established by the San Diego Air Pollution Control District (SDAPCD) have been used based on SDAPCD Rules 20.2 and 20.3 Air Quality Impact Analysis (AQIA) trigger levels for new or modified stationary sources. According to Rules 20.2 and 20.3, if these incremental levels are exceeded, an AQIA must be conducted to demonstrate that the project would not cause or contribute to a violation of an air quality standard. For CEQA purposes, these screening-level thresholds can be used to demonstrate that a project's emissions would not result in a significant impact to air quality. Because the AQIA thresholds do not address ROG, the screening-level for ROG used in this analysis has been adopted from the City of San Diego's Significance Determination Thresholds. For PM_{2.5}, the USEPA's "Final Clean Air Rule to Implement the Fine Particle National Ambient Air Quality Standards" recommends a significance threshold of 10 tons per year, which equates to 55 pounds per day (lbs/day). The screening level thresholds are included in Table 1.</p>																																																																																															
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="7" style="text-align: center;">Table 1</th> </tr> <tr> <th colspan="7" style="text-align: center;">ESTIMATED MAXIMUM DAILY CONSTRUCTION EMISSIONS</th> </tr> <tr> <th colspan="7" style="text-align: center;">(pounds/day)</th> </tr> <tr> <th style="text-align: left;">Emission Source</th> <th style="text-align: center;">ROG</th> <th style="text-align: center;">NO_x</th> <th style="text-align: center;">CO</th> <th style="text-align: center;">SO_x</th> <th style="text-align: center;">PM₁₀</th> <th style="text-align: center;">PM_{2.5}</th> </tr> </thead> <tbody> <tr> <td>Demolition</td> <td style="text-align: center;">5</td> <td style="text-align: center;">49</td> <td style="text-align: center;">37</td> <td style="text-align: center;"><1</td> <td style="text-align: center;">3</td> <td style="text-align: center;">2</td> </tr> <tr> <td>Site Preparation</td> <td style="text-align: center;">5</td> <td style="text-align: center;">57</td> <td style="text-align: center;">44</td> <td style="text-align: center;"><1</td> <td style="text-align: center;">11</td> <td style="text-align: center;">7</td> </tr> <tr> <td>Grading</td> <td style="text-align: center;">7</td> <td style="text-align: center;">88</td> <td style="text-align: center;">67</td> <td style="text-align: center;"><1</td> <td style="text-align: center;">9</td> <td style="text-align: center;">5</td> </tr> <tr> <td>Paving</td> <td style="text-align: center;">2</td> <td style="text-align: center;">20</td> <td style="text-align: center;">14</td> <td style="text-align: center;"><1</td> <td style="text-align: center;">1</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Building Construction</td> <td style="text-align: center;">4</td> <td style="text-align: center;">31</td> <td style="text-align: center;">21</td> <td style="text-align: center;"><1</td> <td style="text-align: center;">2</td> <td style="text-align: center;">2</td> </tr> <tr> <td>Architectural Coatings</td> <td style="text-align: center;">18</td> <td style="text-align: center;">2</td> <td style="text-align: center;">2</td> <td style="text-align: center;"><1</td> <td style="text-align: center;"><1</td> <td style="text-align: center;"><1</td> </tr> <tr> <td>Maximum Daily Emissions</td> <td style="text-align: center;">18</td> <td style="text-align: center;">88</td> <td style="text-align: center;">67</td> <td style="text-align: center;"><1</td> <td style="text-align: center;">11</td> <td style="text-align: center;">7</td> </tr> <tr> <td>Screening Level Threshold</td> <td style="text-align: center;">137</td> <td style="text-align: center;">250</td> <td style="text-align: center;">550</td> <td style="text-align: center;">250</td> <td style="text-align: center;">100</td> <td style="text-align: center;">55</td> </tr> <tr> <td>Exceeds Threshold?</td> <td style="text-align: center;">No</td> </tr> </tbody> </table>	Table 1							ESTIMATED MAXIMUM DAILY CONSTRUCTION EMISSIONS							(pounds/day)							Emission Source	ROG	NO_x	CO	SO_x	PM₁₀	PM_{2.5}	Demolition	5	49	37	<1	3	2	Site Preparation	5	57	44	<1	11	7	Grading	7	88	67	<1	9	5	Paving	2	20	14	<1	1	1	Building Construction	4	31	21	<1	2	2	Architectural Coatings	18	2	2	<1	<1	<1	Maximum Daily Emissions	18	88	67	<1	11	7	Screening Level Threshold	137	250	550	250	100	55	Exceeds Threshold?	No	No	No	No	No	No				
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<p>As shown, all criteria pollutant emissions would not exceed the respective screening thresholds. Thus, construction-related air quality impacts would be less than significant.</p>																																																																																															

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 9

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact																																																																						
<p><u>Operational emissions of criteria pollutants were calculated for natural gas use, vehicle operations, landscape maintenance equipment, consumer product use, and maintenance of architectural coatings. According to SANDAG trip generation rates for multi-family residential land uses, the project would generate 400 daily trips. The results of the CalEEMod calculations for project operations are shown in Table 2, <i>Estimated Maximum Daily Operational Emissions.</i></u></p> <table border="1" data-bbox="240 674 1062 1081"> <thead> <tr> <th colspan="7" style="text-align: center;">Table 2</th> </tr> <tr> <th colspan="7" style="text-align: center;">ESTIMATED MAXIMUM DAILY OPERATIONAL EMISSIONS</th> </tr> <tr> <th colspan="7" style="text-align: center;">(pounds/day)</th> </tr> <tr> <th>Emission Source</th> <th>ROG</th> <th>NO_x</th> <th>CO</th> <th>SO_x</th> <th>PM₁₀</th> <th>PM_{2.5}</th> </tr> </thead> <tbody> <tr> <td><u>Area</u></td> <td>1</td> <td><1</td> <td>4</td> <td><1</td> <td><1</td> <td><1</td> </tr> <tr> <td><u>Energy</u></td> <td><1</td> <td><1</td> <td><1</td> <td><1</td> <td><1</td> <td><1</td> </tr> <tr> <td><u>Mobile</u></td> <td>2</td> <td>4</td> <td>17</td> <td><1</td> <td>2</td> <td>1</td> </tr> <tr> <td><u>Total Daily Emissions</u></td> <td>3</td> <td>4</td> <td>21</td> <td><1</td> <td>3</td> <td>1</td> </tr> <tr> <td><u>Screening Level Threshold</u></td> <td>137</td> <td>250</td> <td>550</td> <td>250</td> <td>100</td> <td>55</td> </tr> <tr> <td><u>Exceeds Threshold?</u></td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> <td>No</td> </tr> </tbody> </table> <p><u>As shown in Table 2, maximum daily operational emissions generated by the project would be below the screening level thresholds for criteria pollutants. Therefore, operational-related air quality impacts would be less than significant.</u></p>	Table 2							ESTIMATED MAXIMUM DAILY OPERATIONAL EMISSIONS							(pounds/day)							Emission Source	ROG	NO_x	CO	SO_x	PM₁₀	PM_{2.5}	<u>Area</u>	1	<1	4	<1	<1	<1	<u>Energy</u>	<1	<1	<1	<1	<1	<1	<u>Mobile</u>	2	4	17	<1	2	1	<u>Total Daily Emissions</u>	3	4	21	<1	3	1	<u>Screening Level Threshold</u>	137	250	550	250	100	55	<u>Exceeds Threshold?</u>	No	No	No	No	No	No				
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<p>c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions, which exceed quantitative thresholds for ozone precursors)?</p> <p>Source(s): SDAPCD (2014)</p> <p><u>As stated in III(a), the proposed project is located within the SDAB, which is currently in attainment for all national and state Ambient Air Quality Standards except for criteria pollutants O₃, PM₁₀, and PM_{2.5}. For the reasons described above in III(a) and III(b), the proposed project would not result in a cumulatively considerable net increase in any of these criteria pollutants. Impacts would be less than significant.</u></p>			X																																																																							

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 10

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<p>d) Expose sensitive receptors to substantial pollutant concentrations?</p> <p>Source(s): SDAPCD (2014)</p> <p><u>Sensitive receptors in the project vicinity include a single-family residence that is surrounded on three sides by the project site, multi-family residences to the east, west, and south, and Mission Trails Regional Park to the north and west. As discussed above in III(b), the project would not generate substantial concentrations of criteria pollutants. Diesel exhaust particulate matter would be emitted from heavy equipment used in the construction process during project demolition and construction. Diesel exhaust particulate matter in California is known to contain carcinogenic compounds. The risks associated with carcinogenic effects are typically evaluated based on a lifetime of chronic exposure (i.e., 24 hours per day, 365 days per year for 70 years). Because emissions of diesel exhaust would be temporary and short-term, the demolition and construction phases of the project would not result in long-term chronic lifetime exposure to diesel exhaust from heavy equipment. In addition, diesel emissions control measures would be implemented during project construction as project design features that would require the construction fleet to use any combination of diesel catalytic converters, diesel oxidation catalysts, diesel particulate filters and utilize CARB/USEPA Engine Certification Tier 2, or other equivalent methods approved by CARB. Therefore, air quality impacts related to the exposure of sensitive receptors to substantial pollutant concentrations would be less than significant.</u></p>			X	
<p>e) Create objectionable odors affecting a substantial number of people?</p> <p>Source(s): SDAPCD (2014)</p> <p><u>The proposed project would consist of a residential development, a use that is not likely to generate nuisance odors. Diesel exhaust from demolition and construction vehicles may create odors noticeable at residences adjacent to the project site; however, the diesel exhaust odors would be temporary, occurring for relatively short periods of time. In addition, as described above, to minimize pollutant emissions from diesel exhaust, as project design features the construction fleet will be required to use any combination of diesel catalytic converters, diesel oxidation catalysts, diesel particulate filters and utilize CARB/USEPA Engine Certification Tier 2, or other equivalent methods approved by CARB. Associated impacts would be considered less than significant.</u></p>			X	

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>IV. BIOLOGICAL RESOURCES. Would the project:</p>				
<p>a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?</p> <p>Source(s): Conservation Element of the General Plan, City 2003</p> <p><u>A HELIX Environmental Planning, Inc. (HELIX) qualified biologist conducted a visual survey of the project site on December 15, 2014 to characterize existing site conditions with respect to biological resources. The survey included visual inspection of the site and immediate vicinity from public locations (i.e., sidewalks and roadways). Based on the survey, the project site is developed and contains ornamental vegetation and open fields with some grasses. Scattered ornamental trees occur on the site and along the site perimeter. No sensitive natural communities, sensitive plant or animal species, potential jurisdictional waters and wetlands, or other sensitive biological resources were observed.</u></p> <p><u>In addition, the City's General Plan Conservation Element (Figure 6-3) designates the project area as "Urban/Developed". However, given the existence of on-site trees, the potential exists for nesting raptors to occur on site. Migratory birds are protected under the Migratory Bird Treaty Act (MBTA). These species use trees to nest and lay eggs; therefore, the removal of trees during the raptor breeding season (February 1 through September 15) has the potential to adversely impact nesting migratory birds. Implementation of Mitigation Measure Biological Resources 1 would reduce impacts to below a level of significance.</u></p> <p><u>Biological Resources 1</u></p> <p><u>If project construction activities cannot feasibly avoid the typical bird breeding season (February 1 through September 15), pre-construction surveys shall be conducted by a qualified biologist no more than seven days prior to the commencement of construction. If no breeding/nesting birds are observed, construction activities may begin. If an active nest is found, construction activities shall remain a minimum of 500 feet from the active nest until a qualified biologist determines that the nest is no longer active.</u></p>		X		

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 12

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<p>b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?</p> <p>Source(s): Conservation Element of the General Plan, City 2003</p> <p><u>Refer to IV(a). The project site is developed and contains ornamental vegetation and open fields with some grasses. No sensitive natural communities, sensitive plant or animal species, potential jurisdictional waters and wetlands, or other sensitive biological resources were observed. The proposed project would be constructed on developed land. In addition, the biological resources map contained in the Conservation Element of the General Plan (Figure 6-3) identifies the project site as Urban/Developed. Therefore, there would be no substantial adverse effect to sensitive habitats.</u></p>				X
<p>c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?</p> <p>Source(s): Conservation Element of the General Plan, City 2003</p> <p><u>Refer to IV(a). The proposed project would be constructed on developed land and does not contain any federally protected wetlands. No drainages or other features that could indicate the existence of wetlands were observed on the project site. Therefore, there would be no substantial adverse effect to wetlands.</u></p>				X
<p>d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?</p> <p>Source(s): Conservation Element of the General Plan, City 2003</p> <p><u>The project site is located in a developed area surrounded by existing development. Mission Trails Regional Park and the San Diego River corridor are located to the north, but the site does not connect to these open space areas. The San Diego River corridor (approximately 1,100 feet north of the project site) functions as a regional wildlife corridor that connects the habitats east of the City with the Mission Trails Regional Park to the west. The project site, however, is not within or adjacent to the San Diego River corridor or any other identified wildlife corridor. It does not enhance the San Diego River wildlife corridor due to existing development and topographic separation, as well as existing surrounding development to the west, east, and south. Accordingly, no impact to wildlife movement would occur.</u></p>				X

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 13

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<p>e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?</p> <p>Source(s): Conservation Element of the General Plan, City 2003</p> <p><u>A review of the City's General Plan Conservation Element and Municipal Code indicates that the proposed project does not conflict with any local policies or ordinances protecting biological resources.</u></p>				X
<p>f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional or state habitat conservation plan?</p> <p>Source(s): Conservation Element of the General Plan, City 2003; City of San Diego 1998</p> <p><u>The project site is located in the Santee Subarea of the Multiple Species Conservation Plan (MSCP) but is not within the Draft Santee Subarea Plan Preserve. As stated above, the project site is developed and contains no sensitive biological resources. The project would not conflict with the MSCP or Draft Santee Subarea Plan.</u></p>				X
<p>V. CULTURAL RESOURCES. Would the project:</p>				
<p>a) Cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5?</p> <p>Source(s): Community Enhancement Element of the General Plan, City 2003; Stantec 2014</p> <p><u>Based on a review of aerial photographs, the existing houses on site were constructed sometime between 1963 and 1974. Neither of these houses has been identified as a historic structure in the City's General Plan. Therefore, the project is not anticipated to impact historical resources.</u></p>				X
<p>b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?</p> <p>Source(s): Conservation Element of the General Plan, City 2003</p> <p><u>Due to the development and the disturbed nature of the project site, the potential for undiscovered archaeological resources is low. In addition, the Conservation Element of the General Plan does not identify the project site as having moderate potential for archaeological sites. However, the potential to encounter unknown subsurface archaeological resources still exists given the project site's proximity to the San Diego River corridor. Therefore, impacts to unknown subsurface archaeological</u></p>		X		

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p><u>resources could occur. With the implementation of Mitigation Measure Cultural Resources 1, impacts to archaeological resources would be reduced to below a level of significance.</u></p> <p><u>Cultural Resources 1</u></p> <p><u>Prior to commencement of grading activities, the project applicant or construction contractor shall implement an archaeological monitoring and recovery program consisting of the following:</u></p> <ul style="list-style-type: none"> - <u>The project applicant or construction contractor shall retain the services of a qualified archaeologist prior to commencement of grading/ excavation to implement an archaeological monitoring and recovery program as a condition of the project construction contract. A letter shall be submitted to the City at least fifteen days prior to the pre-construction meeting and shall include the names of persons involved in the archaeological monitoring of the project.</u> - <u>At the pre-construction meeting, the archaeologist will be provided a copy of the site/grading plan that identifies the southern portion of the site to be monitored. The archaeologist shall submit a schedule indicating when monitoring is to occur. The archaeologist shall notify the City at the start and end of monitoring. The archaeologist shall be prepared to introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.</u> - <u>The qualified archaeologist shall be present half-time during grading/excavation at the beginning of project grading and/or excavation and monitoring will be increased or decreased depending on initial results (per direction from the project archaeologist). All visits shall be documented on a monthly basis to the City.</u> - <u>In the event of discovery, the archaeologist will have the authority to temporarily halt or redirect construction activities in the area of discovery to allow for preliminary evaluation of potentially significant archaeological resources. The significance of the discovery shall be determined by the archaeologist in consultation with the City and the Native American Community, if applicable. For significant resources, a recovery program shall be prepared and carried out to mitigate impacts before ground disturbing activities in the area of discovery are resumed. All collected artifacts shall be deposited at an institution with permanent curatorial facilities with accompanying catalog to current repository standards.</u> - <u>A report summarizing the results, analysis and conclusions of the monitoring program shall be submitted to the City of Santee within three months following termination of monitoring activities.</u> 				

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 15

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?</p> <p>Source(s): Conservation Element of the General Plan, City 2003</p> <p><u>The site is not identified as having a known paleontological or significant geologic feature on site. In addition, the site has been subject to previous grading and development; however, the potential to directly or indirectly destroy a unique paleontological resource or site or unique geologic feature still exists given the required extent of grading. With the implementation of Mitigation Measure Cultural Resources 2, impacts to paleontological resources would be reduced to below a level of significance.</u></p> <p><u>Cultural Resources 2</u></p> <p><u>Prior to commencement of grading activities, the project applicant or project contractor shall implement a paleontological monitoring and recovery program consisting of the following:</u></p> <ul style="list-style-type: none"> - <u>The project applicant or construction contractor shall be required to retain the services of a qualified paleontologist to implement a paleontological monitoring and recovery program as a condition of the project construction contract. A qualified paleontologist is defined as an individual with an M.S. or Ph.D. degree in paleontology or geology, and who is a recognized expert in the identification of fossil materials and the application of paleontological recovery procedures and techniques.</u> - <u>The qualified paleontologist will attend the project pre-construction meeting to discuss the grading plan with the grading and excavation contractors(s). If the qualified paleontologist determines that excavation activities will likely cut into previously undisturbed portions of Quaternary terrace deposits, then monitoring will be conducted as described below.</u> - <u>The paleontologist or a paleontological monitor will be on site during original cutting of previously undisturbed portions of the above noted geologic units. A paleontological monitor is defined as an individual who has experience in the collection and salvage of fossil materials and who is working under the direction of a qualified paleontologist. Monitoring will be at least half-time at the beginning of project excavation, and will be increased or decreased depending on initial results (per direction from the project paleontologist).</u> - <u>In the event that well-preserved fossils are discovered, the project paleontologist will have the authority to temporarily halt or redirect construction activities in the area of discovery to allow recovery in</u> 		X		

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 16

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p><u>a timely manner (generally on the order of one hour to two days). All collected fossil remains will be cleaned, sorted, catalogued, and deposited in an appropriate scientific institution such as the San Diego Museum of Natural History.</u></p> <p>- <u>A report (with a map showing site locations) summarizing the results, analysis and conclusions of the above described monitoring program will be submitted to the City of Santee within three months following termination of monitoring activities.</u></p>				
<p>d) Disturb any human remains, including those interred outside of formal cemeteries?</p> <p>Source(s): Conservation Element of the General Plan, City 2003</p> <p><u>Due to the development and the disturbed nature of the project site, the potential to encounter undiscovered human remains is low. In addition, the Conservation Element of the General Plan does not identify the project site as having moderate potential for buried archaeological sites. However, the potential to disturb human remains still exists given the project site's proximity to the San Diego River corridor. The project would comply with State CEQA Guidelines Section 15064.5 upon the discovery of any human remains. With the implementation of Mitigation Measure Cultural Resources 1 (described above in V[b]) and required compliance with State CEQA Guidelines Section 15064.5, impacts to human remains would be less than significant with mitigation.</u></p>		X		
<p>VI. GEOLOGY AND SOILS. Would the project:</p>				
<p>a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:</p>				
<p>i. Rupture of a known earthquake fault as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a know fault? Refer to Division of Mines and Geology Special Publication 42.</p> <p>Source(s): Safety Element of the General Plan, City 2003; Leighton and Associates, Inc. 2014</p> <p><u>Although the project site is located within a seismically active region, no active or potentially active fault is known to exist at the site. In addition, the project site is not located within an Alquist-Priolo Earthquake Fault Zone. The nearest active fault, Rose Canyon Fault, is located approximately 10.4 miles west of the site. According to the project's Geotechnical Investigation performed by Leighton and Associates, Inc., the potential for surface rupture at the site is low. Therefore, project impacts related to fault rupture would be less than significant.</u></p>			X	

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 17

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>ii. Strong seismic ground shaking?</p> <p>Source(s): Safety Element of the General Plan, City 2003; Leighton and Associates, Inc. 2014</p> <p><u>As mentioned above, the nearest active fault is the Rose Canyon Fault, located approximately 10.4 miles from the project site. This fault is estimated to have a maximum earthquake magnitude of 6.9. A large earthquake on this fault could have the potential for strong seismic ground shaking in the area. However, the project would be required to comply with all seismic standards of the California Building Code, and project impacts related to strong seismic shaking would be less than significant.</u></p>			X	
<p>iii. Seismic-related ground failure, including liquefaction?</p> <p>Source(s): Conservation and Safety Elements of the General Plan, City 2003; Leighton and Associates, Inc. 2014</p> <p><u>The project area is not listed as being susceptible to liquefaction and landslides by the Conservation Element of the General Plan. The area is assigned a relative landslide susceptibility of "least susceptible," a liquefaction hazard of "nominal," and an expansion condition of "very low." The Geotechnical Investigation states that the potential for liquefaction and seismic-related settlement is "nil" as the site is underlain by dense granitic rock. In addition, the project would be required to comply with all seismic standards of the California Building Code that would minimize the impacts from liquefaction, landslides, and slope instability. Accordingly, impacts to liquefaction and landslides would be less than significant.</u></p>			X	
<p>iv. Landslides?</p> <p>Source(s): Conservation and Safety Elements of the General Plan, City 2003; Leighton and Associates, Inc. 2014</p> <p><u>Refer to VI(a)iii. Impacts would be less than significant.</u></p>			X	
<p>b) Result in substantial soil erosion or the loss of topsoil?</p> <p>Source(s): City Municipal Code; Pasco Laret Suiter & Associates 2014a; SWRCB 2014; Leighton and Associates, Inc. 2014</p> <p><u>Erosion potential within the project site is considered low to moderate, due to the relatively level nature of existing and proposed on-site topography. Potential erosion impacts related to the proposed project are primarily associated with short-term grading and construction activities. The project applicant would be required to obtain a National Pollutant</u></p>			X	

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 18

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p><u>Discharge Elimination System (NPDES) General Construction Storm Water Permit, prior to project development. This permit is required for applicable sites exceeding one acre, pursuant to the State Water Resources Control Board (SWRCB) Order 2009-0009-DWQ. The SWPPP contains various BMPs to control erosion and the loss of topsoil. The project also would be required to comply with Section 15.58.140 (Erosion Control Plans) of the City of Santee Municipal Code.</u></p> <p><u>No significant long-term erosion impacts are anticipated, because the areas proposed for development or disturbance would either be covered by structures, pavement, or landscaping. The project design includes a number of erosion control measures that would reduce potential erosion and sedimentation impacts, including planting vegetation throughout the proposed development and installing a bioretention area.</u></p> <p><u>The required implementation of an approved General Construction Storm Water Permit and SWPPP, together with the above described project design measures and municipal code requirements, would avoid or reduce potential erosion and sedimentation impacts to less than significant levels.</u></p>				
<p>c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?</p> <p>Source(s): Conservation and Safety Elements of the General Plan, City 2003; Leighton and Associates, Inc. 2014</p> <p><u>The Conservation Element of the General Plan does not list the project area as being susceptible to slope instability. Refer to VI(a)iii for further discussion on liquefaction and landslides. The Geotechnical Investigation states that the site is not considered to be susceptible to earthquake-induced lateral spreading. In addition, the project would be required to comply with all design standards of the California Building Code that would minimize the possibility of landslides, lateral spreading, subsidence, liquefaction, and collapse. Impacts would be less than significant.</u></p>			X	
<p>d) Be located on expansive soil, as defined in Table 18-1-B of the current Uniform Building Code, creating substantial risks to life or property?</p> <p>Source(s): Conservation and Safety Elements of the General Plan, City 2003; Leighton and Associates, Inc. 2014</p> <p><u>The Safety Element of the General Plan rates the project area's expansion condition as "very low," and the Geotechnical Investigation for the report identified the on-site material as having a "very low to low" expansion potential. In addition, the project would be required to comply</u></p>			X	

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 19

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p><u>with all design standards of the California Building Code that would minimize impacts from soil expansion, and impacts would be less than significant.</u></p>				
<p>e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?</p> <p>Source(s): Pasco Laret Suiter & Associates 2014a</p> <p><u>No wastewater disposal systems involving the use of septic tanks or alternative sewage disposal systems that depend upon appropriate soil regimes are currently or would be in use at the project site. The proposed project would connect with the existing municipal sewer service. Therefore, no associated impacts would occur.</u></p>				X
<p>VII. HAZARDS AND HAZARDOUS MATERIALS. Would the project:</p>				
<p>a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?</p> <p>Source(s): Safety Element of the General Plan, City 2003; Stantec 2014a; Stantec 2014b</p> <p><u>Construction of the proposed project would require the use of construction-related hazardous materials (i.e., fuels), which could potentially result in significant environmental impacts through accidental discharges associated with storage, vehicle operations (i.e., refueling), or maintenance. These potential impacts would be associated primarily with water quality effects on downstream receiving waters, specifically the San Diego River. Through implementation of standard construction operating procedures and SWPPP BMPs (as required by the NPDES General Construction Storm Water Permit), potential impacts associated with the use of hazardous substances during project construction would be avoided or reduced to below a level of significance. The project consists of a residential development and would not involve the routine use, storage, disposal, and/or transport of hazardous substances. The use of chemical pesticides and fertilizers required to maintain proposed landscaping would be minimal and any storage, use, and handling of such substances would comply with applicable regulatory standards. Potential impacts associated with use of hazardous substances would be less than significant.</u></p>			X	

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 20

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>b) Create a significant hazard to the public or the environment through reasonable foreseeable upset and accident conditions involving the release of hazardous materials into the environment?</p> <p>Source(s): Safety Element of the General Plan, City 2003; Stantec 2014a; Stantec 2014b</p> <p><u>Implementation of the proposed project would require demolition of the existing on site structures, which were constructed sometime between 1963 and 1974. Due to the age of these structures, asbestos-containing materials and lead-based paints may be present on site. The presence of these substances would have the potential to adversely affect human health and safety during the demolition phase of project construction. Proper precautions are required during the removal and disposal of these hazardous substances throughout demolition activities in accordance with all applicable laws, including Occupational Safety and Health Administration (OSHA) guidelines, to ensure that no hazards to the demolition crew, adjacent residents, or others are created by exposure to hazardous materials. For asbestos containing-materials, the Phase I Environmental Site Assessment for the project recommends a comprehensive, pre-demolition survey in accordance with the sampling protocol of the Asbestos Hazard Emergency Response Act (AHERA), and the proper removal and disposal if the materials are discovered. Compliance with these regulatory requirements would avoid potentially significant hazards impacts.</u></p> <p><u>In addition, construction of the project could potentially result in accidental discharges of construction-related hazardous materials (i.e., fuels), as discussed above in response to VII(a). Implementation of standard construction operating procedures and SWPPP BMPs would prevent the use of these materials from causing a significant hazard to the public or natural environment.</u></p>			X	
<p>c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?</p> <p>Source(s): Safety Element of the General Plan, City 2003; Stantec 2014a; Stantec 2014b</p> <p><u>The nearest school, Chet F. Harritt Elementary School, is approximately 5,000 feet southeast of the project site. Therefore, the project site is not located within one-quarter mile of an existing school or known proposed school. In addition, as stated above in response to VII(a) and (b), the project would not involve the routine use, storage, disposal, and/or transport of hazardous materials, and potential on site hazardous materials, such as asbestos and lead-based paint, would be properly handled and disposed of per applicable standards. Accordingly, no health and hazard impacts to students and staff of nearby schools would occur.</u></p>				X

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 21

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>d) Be located on a site that is included on a list of hazardous material sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?</p> <p>Source(s): Stantec 2014a</p> <p><u>The project site is not identified on a hazardous waste and/or substances site list; therefore, no associated impacts would occur.</u></p>				X
<p>e) For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?</p> <p>Source(s): ALUC 2010</p> <p><u>The closest airport is Gillespie Field, which is located approximately three miles to the northwest. The project site is not within the airport influence area of Gillespie Field as identified in the Gillespie Airport Land Use Compatibility Plan. No safety hazard impacts would occur.</u></p>				X
<p>f) For a project in the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?</p> <p>Source(s) Safety Element of the General Plan, City 2003</p> <p><u>The project site is not located near a private airstrip; therefore, no associated impacts would occur.</u></p>				X
<p>g) Impair implementation of, or physically interfere with, an adopted emergency response plan or emergency evacuation plan?</p> <p>Source(s) Safety Element of the General Plan, City 2003</p> <p><u>Construction and operation of the proposed project would not impair or physically interfere with the City's Emergency Operations Plan. Adequate emergency access would be provided to the site and additional measures required by the City Fire Department as part of project approval, such as signage or painted curbs, would further ensure that safety issues for the proposed project have been addressed. No associated hazards impacts would occur.</u></p>				X

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 22

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?</p> <p>Source(s) Safety Element of the General Plan, City 2003; City Municipal Code</p> <p><u>The project site is developed and is mostly surrounded by urban development. Mission Trails Regional Park, which contains large areas of undeveloped land, is located to the north and west. The project would be required to comply with fire standards and regulations contained in the Uniform Fire Code and the City Municipal Code with respect to setbacks, access, building material and design, building occupancy, adequate fire flows, hydrants, fire sprinklers, and brush management/weed abatement. Project implementation, therefore, would not increase fire hazard potential. Impacts would be less than significant.</u></p>			X	
VIII. HYDROLOGY AND WATER QUALITY. Would the project:				
<p>a) Violate any water quality standards or waste discharge requirements?</p> <p>Source(s): Safety Element of the General Plan, City 2003; City Standard Urban Storm Water Mitigation Plan (SUSMP) 2010; Pasco Laret Suiter & Associates 2014b</p> <p><u>Potential water quality impacts associated with the proposed project include short-term construction-related and long-term operational discharges. As discussed in response to VI(b), short-term water quality impacts related to erosion/sedimentation would be less than significant based on conformance with existing regulatory requirements (i.e., acquisition of a NPDES General Construction Storm Water Permit and implementation of a SWPPP).</u></p> <p><u>In addition, both short-term and long-term water quality impacts would be addressed through compliance with the City's Standard Urban Stormwater Mitigation Plan (SUSMP) and the project's Stormwater Management Plan (SWMP). The SUSMP and SWMP are designed to minimize impacts of urban development on receiving waters. The SWMP identifies temporary construction BMPs, such as silt fences, fiber rolls, stockpile management, storm drain inlet protection, stabilized construction entrance and exit, and spill prevention and control. The SUSMP identifies specific requirements related to post-construction urban runoff resulting from new development, including: (1) use of volume- or flow-based structural BMPs to mitigate runoff from a design storm event or intensity; and (2) reduction of (to the maximum extent practicable) post-development runoff containing pollutant loads that cause or contribute to an exceedance of receiving water quality objectives. The proposed on-site bioretention basin would retain peak</u></p>			X	

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 23

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p><u>runoff as well as assist with the reduction of pollutant loads. The SWMP identifies additional post-construction source control BMPs, such as maintaining landscape with minimal pesticide use and refuse area maintenance. Through compliance with the requirements in the SUSMP and SWMP, impacts would be less than significant.</u></p>				
<p>b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level, which would not support existing land uses or planned uses for which permits have been granted)?</p> <p>Source(s): Housing Element of the General Plan, City 2013b; Pasco Laret Suiter & Associates 2014b</p> <p><u>The proposed project would not involve any long-term use of groundwater, and would obtain its water supply from the Padre Dam Municipal Water District (PDMWD), which obtains its water from surface reservoirs and imported sources.</u></p> <p><u>The project would construct additional impervious surfaces. This has the potential to reduce groundwater recharge. However, runoff from the proposed impervious surfaces of the project would flow into an on-site bioretention basin, where it would be eventually conveyed to an area where it could infiltrate into the local groundwater basin. Therefore, the project would have a less than significant impact on groundwater supply and recharge.</u></p>			X	
<p>c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner, which would result in substantial erosion or siltation on-or off-site?</p> <p>Source(s): Conservation Element of the General Plan, City 2003; City Standard Urban Storm Water Mitigation Plan (SUSMP) 2010; Pasco Laret Suiter & Associates 2014b; Pasco Laret Suiter & Associates 2014c</p> <p><u>The proposed project would not substantially alter the existing on-site drainage patterns. Existing runoff generated on-site drains to the north. The proposed project would convey drainage to a bioretention area in the northwest end of the project site, where it would enter existing drainage facilities on Simeon Drive. The bioretention facility would accommodate potentially increased runoff due to the increase in impervious surface from the project through features such as a 29,935 cubic foot vault for peak runoff detention and a bioswale. In addition, as mentioned in VIII(a), the project would implement a SWPPP, City SUSMP, and SWMP, which contain various BMPs aimed at reducing erosion or siltation issues. Therefore, the project's alterations to the existing drainage pattern of the</u></p>			X	

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 24

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p><u>site would be similar to the existing conditions, and would result in a less than significant impact to erosion or siltation.</u></p>				
<p>d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate of amount of surface runoff in a manner which would result in flooding on-or off-site?</p> <p>Source(s): Conservation Element of the General Plan, City 2003; City Standard Urban Storm Water Mitigation Plan (SUSMP) 2010; Pasco Laret Suiter & Associates 2014b; Pasco Laret Suiter & Associates 2014c</p> <p><u>As described above in response to VIII(c), the existing drainage pattern of the site would not be substantially altered, as the project would convey runoff to an on-site bioretention facility. Additionally, the project's SWPPP and City SUSMP would include various BMPs to address runoff. Therefore, runoff would not be substantially increased in a manner that would result in flooding on- or off-site.</u></p>			X	
<p>e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?</p> <p>Source(s): Conservation Element of the General Plan, City 2003; City Standard Urban Storm Water Mitigation Plan (SUSMP) 2010; Pasco Laret Suiter & Associates 2014b; Pasco Laret Suiter & Associates 2014c</p> <p><u>As discussed in response to VIII(d) and VIII(e) above, proposed storm drain facilities have been designed to accommodate anticipated flows. Thus, runoff volumes associated with the proposed project would not exceed the capacity of proposed drainage facilities.</u></p> <p><u>As described in response to VIII(a), the project could result in polluted runoff; however, required compliance with a number of regulatory requirements related to water quality and proposed BMPs would minimize associated impacts. Based on these conditions, impacts related to water quality would be less than significant.</u></p>			X	
<p>f) Otherwise substantially degrade water quality?</p> <p>Source(s): Conservation and Safety Elements of the General Plan, City 2003; City Standard Urban Storm Water Mitigation Plan (SUSMP) 2010; Pasco Laret Suiter & Associates 2014b; Pasco Laret Suiter & Associates 2014c</p> <p><u>No additional water quality impacts are anticipated beyond those described above in responses to VIII(a) through VIII(e).</u></p>			X	

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 25

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>g) Place housing within a 100-year flood hazard area as a mapped on a federal Flood Hazard boundary or Flood Insurance Rate Map or other flood hazard delineation map?</p> <p>Source(s): Federal Emergency Management Agency (FEMA) 2012</p> <p><u>The project site is identified as Zone X on FEMA's Flood Insurance Rate Map, which includes areas outside the 500- and 100-year floodplains. Therefore, no flood-related impacts to housing are anticipated.</u></p>				X
<p>h) Place, within a 100-year flood hazard area, structures which would impede or redirect flood flows?</p> <p>Source(s): Federal Emergency Management Agency (FEMA) 2012</p> <p><u>Refer to VIII(h). No impacts would occur.</u></p>				X
<p>i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?</p> <p>Source(s): Safety Element of the City General Plan, City 2003; Federal Emergency Management Agency (FEMA) 2012</p> <p><u>As noted above in VIII(h), the project site is not subject to the 500- and 100-year floods from the San Diego River. The project site could potentially be subject to flooding hazards associated with failure of the San Vicente Dam. The San Vicente Dam is a concrete structure located approximately 3.5 miles northeast of Santee. Figure 8-2 of the City's Safety Element in the Safety Plan demonstrates that the outer boundary of the dam's inundation area crosses through the project site. The potential for a dam failure is considered very low to non-existent, as dam structures are subject to extensive design and maintenance requirements of the California Division of Safety of Dams. Accordingly, flooding impacts related to dam failure would be less than significant.</u></p>			X	
<p>j) Expose people or structures to inundation by seiche, tsunami, or mudflow?</p> <p>Source(s): Safety Element of the City General Plan, City 2003; Leighton and Associates, Inc. 2014</p> <p><u>The project site is approximately 15 miles inland from the Pacific Ocean and, therefore, would not be subject to inundation impacts related to tsunamis. The project site would not be subject to significant impacts related to seiche or inundation by mudflow based on the topography in the project area. Therefore, implementation of the proposed project would not result in impacts related to inundation by seiche, tsunami, or mudflow.</u></p>				X

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 26

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
IX. LAND USE AND PLANNING. Would the project:				
a) Physically divide an established community? Source(s): Land Use Element of the General Plan, City 2003 <u>The proposed project would consist of the construction of nine two- to three-story multi-family residential buildings with a total of 50 dwelling units. The project site is currently developed with three single-family homes and associated outbuildings, and is surrounded to the east, west and south by a single-family building and multi-family buildings. The project would not divide the community. No associated impacts would occur.</u>				X
b) Conflict with applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? Source(s): Land Use Element of the General Plan, City 2003; City 2008; City 2013a; City Municipal Code; <u>The proposed project consists of residential uses that are consistent with the City of Santee General Plan. The project site has a General Plan Land Use designation and zone classification of R-14, Medium-High Density Residential. This land use designation and zone classification allow for residential uses with a density between 14 to 22 dwelling units per acre. Consistent with the density ranges of the R-14 designation, the proposed project's density would be 16.1 dwelling units per acre. The project would also be consistent with applicable Zoning Ordinance development standards and would promote General Plan policies. Specifically, Objective 2.0 in the Land Use Element is "Allow for the development of wide range of housing types in the City", and Objective 3.0 in the Community Enhancement Element is "Improve the diversity and quality of housing in the City." The proposed project would implement these polices by providing new medium-high density residential housing to the existing mix of housing stock within the City. Additionally, Objective 4.0 in the Community Enhancement Element is to "Promote the integration of new residential development with the existing community." Consistent with this policy, the project would provide new multi-family housing compatible with existing surrounding residential uses in terms of type, bulk and scale, and character. No land use impacts would occur.</u>				X

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 27

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>c) Conflict with any applicable habitat conservation plan or natural community conservation plan?</p> <p>Source(s): Conservation Element of the General Plan, City 2003; City of San Diego 1998</p> <p><u>The project site is located in the Santee Subarea of the MSCP but is not within a preserve area identified in the Draft Santee Subarea Plan. The project would not conflict with the MSCP or Draft Santee Subarea Plan.</u></p>				X
<p>X. MINERAL RESOURCES. Would the project:</p>				
<p>a) Result in the loss of availability of a known mineral resource that would be of future value to the region and the residents of the State?</p> <p>Source(s): Conservation Element of the General Plan, City 2003</p> <p><u>The project site is not located within an area of known mineral resources that would be of future value. In addition, the site is not currently used for mineral resource extraction, nor would it be practical to conduct mineral extraction operations at the site due to its developed location and residential use. Mineral extraction is not an allowed use in the land use designation or zoning for the site. The site is currently developed with residential housing and therefore would not be available for mineral resource extraction regardless of whether the proposed project is constructed; no impacts to known mineral resources would occur.</u></p>				X
<p>b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?</p> <p>Source(s): Conservation Element of the General Plan, City 2003</p> <p><u>Refer to response X(a). The project site is currently developed and is not being used for mineral resource extraction. Additionally, neither the site nor its vicinity is designated in the General Plan or other applicable land use plans as a locally-important mineral resource recovery site.</u></p>				X

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 28

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>XI. NOISE. Would the project result in:</p>				
<p>a) Exposure of persons to or generation of, noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?</p> <p>Source(s): Noise Element of the General Plan, City 2003; City Municipal Code</p> <p><u>Construction-noise impacts from the project could include noise generated from construction equipment involved with minor grading, demolition of the on-site structures, and building of the project structures. Construction activities would comply with Section 8.12.290 of the Municipal Code, which restricts construction on Sundays and holidays and prohibits construction noise levels to in excess of 75 decibels (dBA) for more than 8 hours during a 24-hour period at the property line of a residential use. Typical noise levels from the equipment include: 82 dBA to 95 dBA for a bulldozer; 72 dBA to 88 dBA for a concrete mixer; and 82 dBA to 84 dBA for a concrete pumper. Noise from this equipment could temporarily increase ambient noise levels in the project vicinity. However, the project would implement noise control measures during construction (as project design features) to reduce the noise from this equipment to levels below the applicable noise regulations. These features include:</u></p> <ul style="list-style-type: none"> • <u>Heavy equipment will be repaired at sites as far as practical from nearby residences.</u> • <u>Construction equipment, including vehicles, generators, and compressors, will be maintained in proper operating condition and will be equipped with manufacturers' standard noise control devices or better (e.g., mufflers, acoustical lagging, and/or engine enclosures).</u> • <u>Construction work, including on-site equipment maintenance and repair, will be limited to the hours specified in the City's noise ordinance.</u> • <u>Electrical power will be supplied from commercial power supply, wherever feasible, in order to avoid or minimize the use of engine-driven generators.</u> • <u>Staging areas for construction equipment will be located as far as practicable from residences.</u> <p><u>The City's noise level goals for residential uses are 65 dBA day-night average sound level (Ldn) at outdoor usable space and 45 dBA Ldn for interior noise. In addition, the project would comply with all applicable noise regulations in Chapter 8.12, "Noise Abatement and Control," of the City's Municipal Code. Section 8.12.040 species the applicable one-hour average sound level limits at various land uses and within specified timeframes. For most residential zones, these property line noise limits include 50 dBA between 7 AM and 7 PM, 45 dBA between 7 PM and 10 PM, and 40 dBA between 10 PM and 7 AM.</u></p>			X	

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 29

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p><u>Operational noise impacts to the project include traffic on nearby roadways. Figures 7-1 and 7-2 of the General Plan's Noise Element shows that existing and future noise levels at the project site would not exceed 65 dBA Ldn. With exterior noise levels below 65 dBA Ldn, standard architectural materials would be expected to attenuate interior noise levels below 45 dBA Ldn. The project is a residential development that would not include stationary sources that typically generate loud nuisance noise at adjacent and nearby residential uses.</u></p> <p><u>Therefore, the project would not expose persons to noise in excess of general plan or noise ordinance standards, and impacts would be less than significant.</u></p>				
<p>b) Exposure of persons to or generation of excessive ground borne vibration or ground borne noise levels?</p> <p>Source(s): Noise Element of the General Plan, City 2003; City Municipal Code</p> <p><u>Construction noise impacts from the project could include noise generated from construction equipment involving minor grading, demolition of the onsite structures, and building of the project structures. Some of this equipment may cause minor ground-borne vibrations or noise levels. These noises are regulated under Chapter 8.12 of the City's Municipal Code. The project would comply with all applicable noise regulations to minimize exposure of persons to ground borne impacts. Therefore, impacts would be less than significant.</u></p>			X	
<p>c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?</p> <p>Source(s): Noise Element of the General Plan, City 2003; City Municipal Code</p> <p><u>Refer to XI(a) above. The General Plan Noise Element indicates that the project site is not within the existing and future 65 dBA Ldn noise contours. The project land uses would be consistent with the General Plan land use and zoning designations, and would not be reasonably expected to generate excessive levels of noise. Therefore, the project would not expose persons to nor generate noise in excess of the established standards.</u></p>			X	

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 30

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>d) A substantial <u>temporary</u> or periodic increase in ambient noise levels in the <u>project vicinity</u> above levels existing without the project?</p> <p>Source(s): Noise Element of the General Plan, City 2003; City Municipal Code</p> <p><u>Refer to XI(a) above. The project would comply with applicable noise regulations and utilize construction noise control measures as project design features to minimize temporary or periodic increases in ambient noise levels due to construction. There would be no substantial temporary or periodic increase in ambient noise from project operation. Therefore, impacts would be less than significant.</u></p>			X	
<p>e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project <u>expose</u> people residing or working in the project area to excessive noise levels?</p> <p>Source(s): Safety Element of the General Plan, City 2003; ALUC 2010</p> <p><u>The closest airport to the project site is Gillespie Field. The project is located approximately three miles to the northwest of the airport and is outside of the 60 dB(A) CNEL contour lines. The project would not be adversely affected by aircraft noise related to Gillespie Field. Therefore, associated noise impacts would not occur as a result of project implementation.</u></p>				X
<p>f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?</p> <p>Source(s): Safety Element of the General Plan, City 2003</p> <p><u>The project site is not within the vicinity of a private airstrip. Therefore, no associated noise impacts would occur as a result of project implementation.</u></p>				X

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 31

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>XII. POPULATION AND HOUSING. Would the project:</p>				
<p>a) Induce substantial growth in an area either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?</p> <p>Source(s): Land Use Element of the General Plan, City 2003; City 2008; SANDAG 2013</p> <p><u>The proposed project would directly add to the population of the City of Santee, as it would provide additional housing within the City. The proposed project would increase the number of dwelling units within the City by 47. According to SANDAG's current (2013) population and housing estimates, the average household size in Santee is 2.73 people. Applying this rate, an additional 50 units could result in a population increase of approximately 137 people.</u></p> <p><u>However, construction of 50 dwelling units would not result in substantial growth inducement because: (1) no obstacles to population growth would be removed, such as provision of an essential public service or access to a previously inaccessible area, (2) the project would not induce further growth through the expansion or extension of existing services, utilities, or infrastructure, and (3) this type of growth has been anticipated in the City's General Plan as the project is consistent with the land use designation and corresponding density allocation. The project site is within a developed area largely surrounded by existing residential development, and served by existing infrastructure. Growth inducing impacts resulting from project implementation would be less than significant.</u></p>			X	
<p>b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?</p> <p>Source(s): Land Use Element of the General Plan, City 2003; City 2008</p> <p><u>Implementation of the proposed project would displace three existing single-family houses. The loss of these residences would not be considered a substantial displacement of housing, nor would it necessitate the construction of replacement housing. Furthermore, the loss of these units would be replaced by 50 new dwelling units. Therefore, associated impacts to housing would be less than significant.</u></p>			X	

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 32

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?</p> <p>Source(s): Land Use Element of the General Plan, City 2003; City 2008; SANDAG 2013</p> <p><u>Refer to response to XII(b). Implementation of the proposed project would displace the occupants of three single-family houses. Based on the 2013 persons per household rate estimates, approximately nine people would be displaced by the demolition of the three houses. According to SANDAG's most current (2013) population and housing estimates, the City has approximately 460 vacant dwelling units. The residents displaced by the proposed project should therefore be able to relocate elsewhere in the City, if they desire. The residents also could relocate elsewhere in the San Diego region, as there nearly 64,000 vacant units in San Diego County according to SANDAG. The proposed project also would contribute to the housing stock in the City and County. Therefore, associated impacts would be less than significant.</u></p>			X	
<p>XIII. PUBLIC SERVICES. Would the project:</p>				
<p>a) Would the project result in substantial adverse physical impacts associated with the <u>provision</u> of new or physically altered governmental facilities, <u>need</u> for new or physically altered governmental facilities, <u>the construction of which</u> could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:</p>				
<p>i. Fire protection?</p> <p>Source(s): Safety Element of the General Plan, City 2003; Santee Fire Department 2014</p> <p><u>The Santee Fire Department provides fire protection and emergency medical services to the City, including the project site. The Fire Department operates out of two stations, one located at 9130 Carlton Oaks Drive (approximately 2.1 miles [driving distance] east of the project site) and one at 8950 Cottonwood Avenue (approximately 3.9 miles [driving distance] east of the project site). Fire response times can vary within the City. As stated in the General Plan, the current goal is an average maximum initial fire response time of six minutes and an average maximum response time of no more than ten minutes for supporting paramedic transport units 90 percent of the time. Existing fire facilities currently serve the project site's existing development. The Fire Department issued a December 2014 memo (Santee Fire Department 2014) listing its conditions of approval. Therefore, associated project impacts would be less than significant.</u></p>			X	

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 33

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>ii. Police protection?</p> <p>Source(s): Safety Element of the General Plan, City 2003</p> <p><u>Police protection services for the City are provided by the County Sheriff's Department, which operates out of the Santee Substation at 8811 Cuyamaca Street (approximately 3.3 miles [driving distance] from the site). The ratio of officers to population in Santee is 1.42:12,000. The proposed project would result in the addition of an estimated 137 people to the City's population. The project would therefore result in a negligible increase in demand for police protection. The average priority call response time for general law enforcement within the City is 8.2 minutes and the average for traffic law enforcement is 7.5 minutes. The Sheriff's Department does not have response rate standards, as the goal is to respond as quickly as possible. Current police services to the project site's existing development are adequate and also would be adequate to serve the proposed project. Associated project impacts would be less than significant.</u></p>			X	
<p>iii. Schools?</p> <p>Source(s): Housing Element of the General Plan, City 2013b</p> <p><u>The site is currently served by the Santee Elementary School District and the Grossmont Union High School District. Both districts have indicated that existing schools have the ability to serve the project. Payment of school impact fees would be required as part of project development to help school districts offset the cost of accommodating new students. Therefore, associated project impacts to schools would be less than significant.</u></p>			X	
<p>iv. Parks?</p> <p>Source(s): Recreation Element of the General Plan, City 2003</p> <p><u>The project would incrementally increase the demand for park space and could increase usage at existing City parks. However, new development is assessed a park-in-lieu fee to offset demands for service. Therefore, associated project impacts to parks would be less than significant.</u></p>			X	
<p>v. Other public facilities?</p> <p>Source(s): Housing, Recreation, and Land Use Elements of the General Plan, City 2003/2013b; SANDAG 2013</p> <p><u>The construction of 50 residential units would add an estimated 137 people to the City's population. The effects of this small increase in population would result in negligible impacts to other public facilities</u></p>			X	

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 34

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p><u>(i.e., libraries, childcare centers) within the City. Payment of applicable impact fees would be required to offset any associated impacts. Accordingly, associated project impacts are assessed as less than significant.</u></p>				
<p>XIV. RECREATION. Would the project:</p>				
<p>a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?</p> <p>Source(s): Recreation Element of the General Plan, City 2003</p> <p><u>The project would incrementally increase the demand for park space and would increase usage at existing City parks. However, new development is assessed a park-in-lieu fee to offset demands for service. The project's impact to substantial physical deterioration of park and recreational facilities is less than significant.</u></p>			X	
<p>b) Does the project include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?</p> <p>Source(s): Recreation Element of the General Plan, City 2003</p> <p><u>The project proposes recreational areas, including a tot lot and a grass play area. The environmental effects of these proposed recreational facilities are addressed in this IS Checklist. Impacts associated with the project's recreational facilities would be less than significant. As discussed in XIV(a) above, impacts associated with population-based parks and recreational facilities would be less than significant.</u></p>			X	
<p>XV. TRANSPORTATION/TRAFFIC. Would the project:</p>				
<p>a) Conflict with an applicable plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections), taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?</p> <p>Source(s): Circulation Element of the General Plan, City 2003; SANDAG 2002; SANDAG 2011</p> <p><u>The proposed project would increase the amount of vehicular traffic in the project vicinity. The City uses SANDAG trip generation rates and</u></p>			X	

Environmental Checklist Form

TM 2014-1/DR 2014-5

Page 35

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p><u>Congestion Management Plan (CMP) traffic study standards as its significance threshold for traffic generation. The SANDAG traffic generation rate for residential condominiums of 8 trips per dwelling unit was used to estimate the traffic generated by the project. This would result in the project generating 400 average daily trips (ADT), which falls below the SANDAG threshold of 1,000 trips for conducting a traffic study.</u></p> <p><u>Intersection level of service (LOS) is generally not calculated outside of a traffic study; however, the City does maintain annual traffic counts on Circulation Element streets. The nearest Circulation Element street is Mission Gorge Road, which traffic from the project site would likely use as the outlet from the project neighborhood. Mission Gorge Road, from West Hills Parkway to Father Junipero Serra Trails, currently operates at LOS A with a 2013 ADT of 14,300. The 400 additional trips from the project would increase the ADT to 14,700; with this increase, Mission Gorge Road would remain at LOS A.</u></p> <p><u>City Development Impact Fees for traffic and traffic signals are collected for all City projects. In addition, a Regional Transportation Congestion Improvement Program (RTCIP) fee is collected from residential projects in the City, which are used to ensure future development contributes its proportional share of the funding needed to pay for the Regional Arterial System and related regional transportation facility improvements.</u></p> <p><u>The closest bus stop, MTS Route 834, is located at an approximate one-half mile walk from the project site. The nearby Mission Gorge Road contains a Class II bike path, and to the west are various trails for both pedestrians and bicyclists within Mission Trails Regional Park. Sidewalks line the front of the property on both Bushy Hill Drive and Simeon Drive. The project would not impact the effectiveness of the performance of these systems, as the sidewalks would remain in place and the increase in users of the transit systems (if any) due to the project would not be substantial due to the size of the project, similar to vehicular traffic.</u></p> <p><u>Given that the project would not decrease the LOS of Circulation Element streets, would contribute to associated fees, and would not impact pedestrian and bicycle travel, impacts associated with the effectiveness of the circulation system would be less than significant.</u></p>				
<p>b) Conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?</p> <p>Source(s): SANDAG 2008</p> <p><u>The latest CMP Update was adopted in 2008 by the SANDAG Board, and is intended to directly link land use, transportation, and air quality through LOS performance. Local agencies are required by statute to conform to</u></p>				X

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 36

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p><u>the CMP. The CMP requires an Enhanced CEQA Review for all projects that are expected to generate more than 2,400 ADT or more than 200 peak hour trips. Using the SANDAG peak hour trip percentages (8% and 10% in the AM and PM peak hours, respectively) and the 400 estimated ADTs from the project, there would be an estimated 32 trips in the AM peak hour and 40 trips in the PM peak hour. Because the proposed project would generate less than 2,400 ADT and 200 peak hour trips, it is not subject to the CMP guidelines and additional CMP analysis is not required. Therefore, no significant impacts to CMP Arterials would occur and no further analysis is required.</u></p>				
<p>c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?</p> <p>Source(s): Safety Element of the General Plan, City 2003: ALUC 2010</p> <p><u>The proposed project is not within an airport influence area and does not have the potential to affect air traffic patterns or locations. No associated air traffic impacts would occur.</u></p>				X
<p>d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?</p> <p>Source(s): Pasco Laret Suiter & Associates 2014a</p> <p><u>The project does not propose a design feature or incompatible uses that could substantially increase hazards. The project's driveways have been designed to allow safe ingress and egress. Therefore, no impact would occur.</u></p>				X
<p>e) Result in inadequate emergency access?</p> <p>Source(s): Pasco Laret Suiter & Associates 2014a</p> <p><u>Temporary construction activities would not hinder access by emergency vehicles. The project also would not have adverse long-term effects on emergency access, as existing intersections in the project area would not be substantially affected by project-generated traffic. Adequate emergency access within the project would be provided to the site via proposed internal Streets A, B, and C. Moreover, the width and design of proposed roadways is subject to approval by the Santee Fire Department. Therefore, no impacts related to provision of emergency access would occur.</u></p>				X

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 37

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>f) Result in inadequate parking capacity?</p> <p>Source(s): City Ventures 2014b</p> <p><u>Per Section 17.24.040 of the City Municipal Code, clustered residential developments require two off-street parking spaces (one of which is covered) per dwelling unit with two or more bedrooms, and one off-street visitor parking space for each four dwelling units. Given the proposed project's 50 dwelling units, the required amount of off-street parking would be 112.5 spaces, with 50 covered spaces. The project proposes 113 spaces to meet this requirement, with 100 of them covered. Therefore, the project would not result in inadequate parking capacity, and there would be no impacts.</u></p>				X
<p>g) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?</p> <p>Source(s): Circulation Element of the General Plan, City 2003</p> <p><u>The closest bus stop, MTS Route 834, is located at an approximate one-half mile walk from the project site. The nearby Mission Gorge Road contains a Class II bike path, and to the west are various trails for both pedestrians and bicyclists within Mission Trails Regional Park. Sidewalks line the front of the property on both Bushy Hill Drive and Simeon Drive. The project would not adversely affect the City's transit operations, which are promoted by numerous goals and policies within the Circulation Element of the General Plan. The existing bus stops, sidewalks, and bicycle paths would continue to be available both during and after project construction. Therefore, no traffic impacts that conflict with adopted policies, plans, or programs supporting public transit, bicycle, or pedestrian facilities would occur.</u></p>				X
<p>XVI. UTILITIES AND SERVICE SYSTEMS. Would the project:</p>				
<p>a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?</p> <p>Source(s): PDMWD 2014</p> <p><u>The PDMWD provides wastewater services to the project site. PDMWD has verified through a Project Facility Availability Form that off-site facilities for wastewater treatment are available to serve the proposed project. Associated project impacts would be less than significant.</u></p>			X	

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 38

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?</p> <p>Source(s): PDMWD 2014; Pasco Laret Suiter & Associates 2014a</p> <p><u>The project site is located within a developed area currently served by existing utilities and utility infrastructure. Water and sewer lines are located either within or immediately adjacent to the project site. Existing potable water and sewer pipelines are located within Bushy Hill Drive and Simeon Drive. New water and sewer lines would extend from these existing pipelines along the proposed private roadways. PDMWD, which provides water and sewer services to the project site, has verified that its facilities are adequate to serve the proposed project. A reclaimed water pipe would be extended 300 feet west on Simeon Drive to serve the project site. Other existing pipelines and facilities would not need to be upgraded to accommodate anticipated water and sewer demands of the proposed project. Accordingly, project impacts to water and wastewater services that could result in significant environmental impacts would be less than significant.</u></p>			X	
<p>c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?</p> <p>Source(s): Land Use Element of the General Plan, City 2003; Pasco Laret Suiter & Associates 2014a</p> <p><u>The project would result in the construction of new storm water drainage facilities on site. These drainage facilities would include a bioretention basin. The project's Stormwater Management Plan indicates that this basin would not cause significant environmental effects, and would minimize the project impacts to runoff and water quality degradation to a less than significant level by capturing and treating runoff on site. Off-site stormwater facilities would not need to be constructed or modified, as the existing system was constructed with buildout of the project site anticipated, and it would be able to accommodate a potential increase in runoff from the proposed project. Therefore, significant environmental effects caused by the construction of new storm water facilities would be less than significant.</u></p>			X	

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 39

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?</p> <p>Source(s): PDMWD 2014; Pasco Laret Suiter & Associates 2014a</p> <p><u>Refer to XVI(b) above. The project proposes the construction of a residential complex of 50 townhomes, and therefore does not require a water supply assessment or water supply verification pursuant to Section 10910 et seq. of the California Water Code. Impacts would be less than significant.</u></p>			X	
<p>e) Result in the determination by the wastewater treatment provider that serves or may serve the project that it has adequate capacity to serve project's projected demand in addition to the provider's existing commitments?</p> <p>Source(s): PDMWD 2014</p> <p><u>Refer to XVI(a) above. PDMWD indicated that it has adequate capacity to serve the project's projected demand. Associated project impacts would be less than significant.</u></p>			X	
<p>f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?</p> <p>Source(s): City Municipal Code; County of San Diego 2005</p> <p><u>Waste generated in the City is deposited into landfills throughout the County of San Diego, which currently has five active, permitted landfills with remaining capacity. The County's 2005 Integrated Waste Management Plan (IWMP) Siting Element identified a remaining capacity of 62.9 tons, available to accommodate county needs through 2016. The IWMP also incorporates two projects that will provide added capacity in excess of county requirements through 2020. In addition, the City requires that all construction projects, to the extent possible, recycle construction debris. Therefore, there is sufficient existing permitted solid waste capacity to accommodate the project's solid waste disposal.</u></p>			X	
<p>g) Comply with federal, state and local statutes and regulations related to solid waste?</p> <p>Source(s): City Municipal Code</p> <p><u>The City's Solid Waste Ordinance # 339-A follows California regulations for solid waste and recycling, and governs project development and ongoing site management; therefore, the proposed project would comply with applicable solid waste regulations. No impacts would occur.</u></p>				X

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 40

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>XVII. GREENHOUSE GAS EMISSIONS. Would the Project:</p>				
<p>a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?</p> <p>Source(s): County of San Diego Guidelines for Determining Significance 2012; Appendix A</p> <p><u>The California Climate Solutions Act of 2006 (AB32) expressed the view that global warming is the result of greenhouse gases (GHGs), with the most significant GHG being carbon dioxide (CO₂). CO₂ emissions stem primarily from the burning of fossil fuels, which are most common from transportation (e.g., automobiles) and energy consumption (e.g., coal or natural gas power plants).</u></p> <p><u>The City of Santee is currently preparing a plan in accordance with Section 15183.5 of the CEQA Guidelines that provides a framework for programmatic GHG emissions reduction plans. However, this plan has not been adopted, and does not establish a quantitative level, based on substantial evidence, below which the contribution to GHG emissions from activities covered by the plan would not be cumulatively considerable. In absence of adopted state, City, or SDAPCD thresholds, the interim screening threshold currently being used by the City of San Diego in its memorandum "Addressing GHG Emissions from Projects Subject to CEQA" (City of San Diego 2010) has been utilized in this analysis to determine whether the GHG emissions from the proposed project may have a significant impact. The 900 metric tons of CO₂e per year screening threshold was developed by analyzing the capture of 90 percent or more of future discretionary development for residential and commercial projects and is based on guidance in the California Air Pollution Control Officers Association (CAPCOA) report CEQA & Climate Change. The CAPCOA report references a 900-MT guideline as a conservative threshold for requiring further analysis and is based on the amount of vehicle trips, electricity generation, natural gas consumption/combustion, water usage, and solid waste generation associated with a project. Although these interim thresholds are being utilized, a good faith effort has been made to evaluate whether GHG impacts from the project are potentially significant, taking into account the type and location of the proposed development, the best available scientific data regarding GHG emissions, and the current statewide goals and strategies for the reduction of GHG emissions. It is important to note that the SDAPCD has not provided any guidance on the quantification of GHG emissions or emissions thresholds for the San Diego region.</u></p> <p><u>Modeling was conducted that showed project GHG emissions would not exceed this screening threshold, using the South Coast Air Quality District's California Emissions Estimator Model (CalEEMod). Detailed construction emissions assumptions and CalEEMod inputs and outputs are provided in Appendix A. Table 3, <i>Estimated GHG Emissions</i>, provides a summary of the total annual GHG emissions generated by the project.</u></p>			X	

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact														
<p style="text-align: center;">Table 3 ESTIMATED GHG EMISSIONS</p> <table border="1" data-bbox="245 436 954 779"> <thead> <tr> <th data-bbox="245 537 602 569">Emission Source</th> <th data-bbox="602 537 954 569">Emissions (MT CO₂e)</th> </tr> </thead> <tbody> <tr> <td data-bbox="245 569 602 604">Area</td> <td data-bbox="602 569 954 604">36</td> </tr> <tr> <td data-bbox="245 604 602 640">Energy</td> <td data-bbox="602 604 954 640">100</td> </tr> <tr> <td data-bbox="245 640 602 676">Mobile</td> <td data-bbox="602 640 954 676">494</td> </tr> <tr> <td data-bbox="245 676 602 711">Waste</td> <td data-bbox="602 676 954 711">10</td> </tr> <tr> <td data-bbox="245 711 602 747">Water</td> <td data-bbox="602 711 954 747">25</td> </tr> <tr> <td data-bbox="245 747 602 779">TOTAL</td> <td data-bbox="602 747 954 779">666</td> </tr> </tbody> </table> <p>As shown in Table 3, the total annual GHG emissions generated by the project would be 666 MT CO₂e, which is below the screening threshold of 900 MT CO₂e per year. Impacts would be less than significant.</p> <p>In addition, the project incorporates design features that would reduce its GHG emissions:</p> <ul style="list-style-type: none"> • <u>Compliance with Title 24 energy efficiency standards</u> • <u>Low voltage outdoor lighting for landscaping, buildings, and poles</u> • <u>Low voltage transformers</u> 	Emission Source	Emissions (MT CO ₂ e)	Area	36	Energy	100	Mobile	494	Waste	10	Water	25	TOTAL	666				
Emission Source	Emissions (MT CO ₂ e)																	
Area	36																	
Energy	100																	
Mobile	494																	
Waste	10																	
Water	25																	
TOTAL	666																	
<p>b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?</p> <p>Source(s): 2050 Regional Transportation Plan (RTP) / Sustainable Communities Strategy</p> <p><u>The project would not result in significant GHG impacts, and would not conflict with an applicable plan, policy or regulation adopted for the purpose of reducing GHG emissions, such as the 2050 RTP Sustainable Communities Strategy.</u></p>				X														

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 42

Issues & Supporting Information	Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
XVIII. MANDATORY FINDINGS OF SIGNIFICANCE				
<p>a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?</p> <p><u>The project has the potential to degrade the quality of the environment, notably with respect to biological resources (nesting birds in existing on-site trees) and cultural resources (unknown subsurface archaeological and/or paleontological resources). Mitigation measures have been incorporated to reduce potential impacts to less than significant.</u></p>			X	
<p>b) Does the project have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals?</p> <p><u>As shown in this document, the project is consistent with the goals and objectives assigned to short-term environmental goals. In meeting all other requirements of CEQA and other applicable plans and policies, it will promote long-term environmental goals. The project is consistent with the General Plan for the City of Santee and is not known to conflict with any long-term goals for the City of Santee or the San Diego region. Therefore, the project would have less than significant impacts on short-term and long-term environmental goals.</u></p>			X	
<p>c) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulative considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?</p> <p><u>Table 4, Cumulative Projects, identifies relevant past, present, and probable future development projects in the City that were considered in the cumulative analysis. The proposed project could contribute to cumulative impacts from these projects associated with air quality, water quality, noise, and traffic. These potential impacts would not be cumulatively considerable due to their incremental and/or short-term nature, the distance to the projects from the proposed project (with the closest cumulative project being over one mile away), and the relatively small size of the projects.</u></p> <p><u>In addition, the proposed project and other projects in the area would comply with applicable air quality regulations during construction. Required regulatory compliance with water quality regulations would result in less than significant cumulative water quality impacts. The</u></p>			X	

Environmental Checklist Form
TM 2014-1/DR 2014-5
Page 43

Issues & Supporting Information			Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
<p>project would not be subject to nor generate noise in excess of applicable standards in the General Plan and Municipal Code. Project traffic would result in a minor increase compared to existing traffic conditions. Therefore, the project's contribution to cumulative impacts would be less than significant.</p>						
<p>Table 4 CUMULATIVE PROJECTS</p>						
<u>Project</u>	<u>Description</u>	<u>Approximate Distance from Project Site (miles)</u>				
<u>Parc One</u>	172 multi-family residential units on a 6.8-acre site.	3.5				
<u>Pryor Drive Residences</u>	2 single-family residences on two vacant parcels.	2.5				
<u>Plaza de Cuyamaca Expansion</u>	2,493 square foot addition to retail center.	2.8				
<u>Magnolia Townhomes</u>	Demolition of 4 homes and construction of 10 new homes.	3.8				
<u>Cameron Commercial</u>	3 commercial buildings and restaurant on a 2.35-acre site.	4.0				
<u>Creekside Court</u>	2single-family residences on a 2.8-acre site.	4.8				
<u>Mission Gorge Retail</u>	4,873 square foot commercial building.	2.3				
<u>Christian College Apartments</u>	128 residential units on a 5.8-acre site.	3.0				
<u>Wal-Mart Expansion</u>	49,000 square foot expansion on existing store.	2.5				
<u>Las Brisas Living</u>	28 residential units.	3.5				
<u>Carlton Oaks/East Heaney Circle</u>	10 townhomes.	2.1				
<u>Ing Subdivision</u>	4-lot single-family subdivision on 1.39-acre site.	5.2				
<u>Santee View Estates</u>	27-lot subdivision on 17.82-acre site.	3.9				
<u>Conejo Road Subdivision</u>	5-lot subdivision on 1.01-acre site; 2 houses to remain and 3 new houses to be constructed.	3.5				
<u>Rancho Fanita Villa</u>	24 condominiums.	1.5				
<u>Las Olivitas</u>	18 condominiums	2.6				

Issues & Supporting Information			Potentially Significant Impact	Less than Significant with Mitigation	Less than Significant Impact	No Impact
Table 4 <u>CUMULATIVE PROJECTS (cont.)</u>						
<u>Project</u>	<u>Description</u>	<u>Approximate Distance from Project Site (miles)</u>				
<u>D’Lazio</u>	20 condominiums on a 2.05-acre site.	2.0				
<u>Lantern Crest</u>	Senior care facility	4.4				
<u>Santee Carwash Plaza</u>	4,000 square foot car wash, 3,200 square foot restaurant, 5,000 square feet of retail space, 3,800 square feet of office space.	3.3				
<u>Woodside Properties Industrial Park</u>	67,251 square feet of industrial space in 5 buildings.	5.0				
d) Does the project have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly? <u>The proposed project could potentially cause adverse environmental effects on humans. Project development would require demolition of existing on-site structures, which could contain hazardous substances such as asbestos and lead-based paint. Compliance with regulatory requirements for removal and disposal of these substances (should they be encountered) would ensure that adverse environmental effects on humans would not occur. For this and other impact areas, the proposed project adequately addresses public health and safety objectives identified in the City’s General Plan and Municipal Code. Therefore, environmental impacts to human beings would be less than significant.</u>					X	



San Diego County Archaeological Society, Inc.
Environmental Review Committee

10 January 2015

JAN 14 2015

Dept. of Development Services
City Of Santee

To: Mr. Travis Cleveland, Associate Planner
Development Services Department
City of Santee
10601 Magnolia Avenue
Santee, California 92071

Subject: Draft Mitigated Negative Declaration
Santee 50
TM 2014-1/DR 2014-5

RECEIVED

Dear Mr. Cleveland:

I have reviewed the subject DMND on behalf of this committee of the San Diego County Archaeological Society.

Based on the information contained in the Initial Study and DMND, we have the following comments:

1. Section 10, Environmental Factors Potentially Affected, of the Environmental Checklist Form, on page 3, shows none of the boxes checked. However, as pages 13-16 of the document indicate, there are mitigation measures (Cultural Resources 1 and 2) to be implemented under the DMND. The Cultural Resources box in the table needs to be checked, to ensure that the mitigation measures are not overlooked.
2. On page 14, in mitigation measure Cultural Resources 1, The paragraph beginning "In the event of discovery" needs to include the requirement to curate any archaeological material recovered. We note that a comment acknowledging curation for paleontological material is included in mitigation measure Cultural Resources 2. A similar requirement is essential for archaeological collections. Also, please note the Register of Professional Archaeologists' Standards of Research Performance (see <http://rpanel.org/?page=CodesandStandards#Storage>) requires that "Specimens and research records resulting from a project must be deposited at an institution with permanent curatorial facilities, unless otherwise required by law."
3. Other than the above, we concur with the mitigation measures included in the Initial Study and DMND.

P.O. Box 81106 San Diego, CA 92138-1106 (658) 538-0535

1. None of the environmental factors are checked because in the Initial Study Checklist, no project impacts are identified as resulting in a "Potentially Significant Impact," as indicated in the first column of the Initial Study Checklist. Potential impacts have been identified, but would be reduced to less than significant with implementation of the identified mitigation measures. Where potential impacts are identified, the column "Less than Significant with Mitigation" is checked. The Mitigation Monitoring and Reporting Program (MMRP) that is a component of this Final Mitigated Negative Declaration (MND) would ensure that the mitigation measures are implemented in accordance with Section 15097 of the State CEQA Guidelines. The MMRP would be enforced by the City of Santee, as the CEQA Lead Agency.

2. Mitigation Measure Cultural Resources 1 has been revised as follows to include the curation of any recovered archaeological resources (revisions are indicated by underlined text). The revisions do not constitute a "substantial revision," as defined in Section 15073.5(b) of the State CEQA Guidelines and do not require recirculation of the Draft MND.

APPENDIX G: Comment Letter from San Diego Archaeological Society

Cultural Resources 1

Prior to commencement of grading activities, the project applicant or construction contractor shall implement an archaeological monitoring and recovery program consisting of the following:

- The project applicant or construction contractor shall retain the services of a qualified archaeologist prior to commencement of grading/ excavation to implement an archaeological monitoring and recovery program as a condition of the project construction contract. A letter shall be submitted to the City at least fifteen days prior to the pre-construction meeting and shall include the names of persons involved in the archaeological monitoring of the project.
 - At the pre-construction meeting, the archaeologist will be provided a copy of the site/grading plan that identifies the southern portion of the site to be monitored. The archaeologist shall submit a schedule indicating when monitoring is to occur. The archaeologist shall notify the City at the start and end of monitoring. The archaeologist shall be prepared to introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
 - The qualified archaeologist shall be present half-time during grading/excavation at the beginning of project grading and/or excavation and monitoring will be increased or decreased depending on initial results (per direction from the project archaeologist). All visits shall be documented on a monthly basis to the City.
 - In the event of discovery, the archaeologist will have the authority to temporarily halt or redirect construction activities in the area of discovery to allow for preliminary evaluation of potentially significant archaeological resources. The significance of the discovery shall be determined by the archaeologist in consultation with the City and the Native American Community, if applicable. For significant resources, a recovery program shall be prepared and carried out to mitigate impacts before ground disturbing activities in the area of discovery are resumed. All collected artifacts shall be deposited at an institution with permanent curatorial facilities with accompanying catalog to current repository standards.
 - A report summarizing the results, analysis and conclusions of the monitoring program shall be submitted to the City of Santee within three months following termination of monitoring activities.
3. Concurrence with the mitigation measures is noted. No response is required.

Thank you for including SDCAS in the public review of this project's environmental documents.

Sincerely,


James W. Royle, Jr., Chairperson
Environmental Review Committee

cc: Helix Environmental Planning
SDCAS President
File

City of Santee
COUNCIL AGENDA STATEMENT

4A

MEETING DATE: January 28, 2015

AGENDA ITEM NO.

ITEM TITLE **ANNUAL PRESENTATION OF LOCAL APPOINTMENTS LIST —
BOARDS, COMMISSIONS & COMMITTEES**

DIRECTOR/DEPARTMENT Patsy Bell, CMC, City Clerk *PB*

SUMMARY

At its December 10, 2014 City Council meeting, the City Council received the annual listing of all appointed Boards, Commissions and Committees, known as the Local Appointments List, in accordance with Government Code 54970 et seq., commonly known as the Maddy Act. Per Santee Legislative Policy Memorandum 84-1, the City Council directed this matter be returned to this meeting for annual review; however, because of the anticipated absence of two Council Members at this meeting, Council may wish to continue this item to the next Council meeting.

jm
FINANCIAL STATEMENT N/A

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *go for POD*
Continue this item to the February 11, 2015 City Council meeting.

ATTACHMENTS (Listed Below)
Local Appointments List

CITY OF SANTEE
LOCAL APPOINTMENTS LIST
BOARDS, COMMISSIONS, AND COMMITTEES

Revised By:
The City Clerk's Office
December 2014

PART ONE:

The following Boards, Commissions, and Committees exist and function as a part of the City of Santee's internal municipal structure.

CITY COUNCIL & SANTEE ELEMENTARY SCHOOL DISTRICT CONFERENCE COMMITTEE

Established: 3/27/85 [City Council Minutes]. Established by City Council to meet with School Board Members to discuss selected items.

Qualifications: Member of City Council or School Board

Term: Annual

Representatives: Rob McNelis, Council Member
John Minto, Council Member

School District: Dustin Burns, President [Appointed 12/17/13]
Barbara Ryan, Vice President [Appointed 12/16/14]

Appointed: 1/12/11 [McNelis]

Reappointed: 1/25/12, 1/23/13

Appointed: 1/25/12 [Minto]

Reappointed: 1/23/13

Phone: (619) 258-2304

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

COMMUNITY ORIENTED POLICING COMMITTEE

Established: 8/14/96 [Resolution 129-96]. The purpose of the Committee is to make recommendations regarding the City's Community Oriented Policing Program. These may include recommendations regarding crime prevention, drug awareness, education programs, neighborhood watch programs, law enforcement staffing, and other issues regarding the City's overall policing effort. Committee recommendations may be forwarded to the Council for final action.

Qualifications: Members are set forth by Council and include a City Council Member, City Manager, Santee Sheriff's Station Commander, representatives from the Santee School District, Grossmont Union High School District, Chamber of Commerce, Santee Collaborative [1/23/08 City Council Minutes], Institute for Public Strategies [1/28/09 City Council Minutes], and a Citizen at Large to be appointed by the Mayor, with the approval of the City Council. Human Relations Representatives added [9/8/10 City Council Minutes].

Term: At the pleasure of the legislative body.

Representatives: John Minto, Council Member
Pedro Orso-Delgado, Acting City Manager
Captain James Bovet, Santee Sheriff's Station Commander
Martha Miramontes, Crime Prev. Specialist, Santee Sheriff Station
John Schweller, Santee School District
Tim Schwuchow, Principal, Santana High School
Larry Oedewaldt, Vice Principal, Santana High School
Paul Dautremont, Principal, West Hills High School
Mary Nishikawa, Assistant Principal, West Hills High School
Meredith Riffel, Santee Collaborative
John Olsen, Executive Director, Santee Chamber of Commerce
Joyce Moore, Institute for Public Strategies
Thomas Carr, Human Relations Representative
Tawni Jochens, Human Relations Representative

Citizen at Large: Warren Savage

Appointed: 1/25/12

Reappointed: 1/23/13

Meetings: Meetings are held on the 2nd Monday of each month at 2:00 p.m.; City Hall, 10601 N. Magnolia Avenue, Council Chambers Conference Room.

Staff Assistance: Sue Richardson, Recreation Services Manager, Community Services Department

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

LIBRARY COMMITTEE

Established: 1/22/97 [City Council Minutes]. The purpose of the Committee is to act in an advisory capacity to the City Council on matters pertaining to library services in the City of Santee.

Qualifications: Two City Council Members, three representatives from the Friends of the Library, two from the Grossmont High School District, one from the County Library, one from the Santee School District, one from the Santee School District PTA, one from the Santee Historical Society, one from SMOAC, one from the Chamber of Commerce, one from the Santee Ministerial Council, and four members at large.

Term: At the pleasure of the legislative body.

Meetings: As needed.

Staff Assistance: Ed Ruiz, Senior Management Analyst, Community Services Department

Council Rep.: John Ryan, Council Member [Appointed 1/12/11]

Council Rep.: Randy Voepel, Mayor [Appointed 1/24/11]

Library Committee Members:

County Library
Santee Branch

Santee Historical Society

Friends of the Library (3)

SMOAC

Grossmont Union HS District (2)

Santee Chamber of Commerce

Santee School District

Santee Ministerial Council

Santee School District PTA

Members at Large:

Kimberley Layton
Appointed: 5/10/00

VACANT
Appointed:

Karen Stackpole
Appointed: 1/26/05

Gabriel Pina
Appointed: 6/24/09

MANUFACTURED HOME FAIR PRACTICES COMMISSION

Established: 6/10/94 [by City Ordinance 324]. Amended 8/26/94 by Ordinance 329, 10/28/98 by Ordinance 381, and on 1/24/01 by Ordinance 412. The purpose of the Commission is to ensure that the provisions of the Santee Manufactured Home Fair Practices Ordinance are appropriately implemented in Santee.

Qualifications: The Commission consists of five regular members. All members must be resident electors and are appointed by the Mayor, with the approval of the City Council. No member shall be:

- (a) a manufactured home owner or resident;
- (b) an owner, operator or manager of a manufactured home park;
- (c) any person owning or possessing any interest in, or operating or managing, any other rental property totaling four (4) or more dwelling units, whether such four (4) units are located on one parcel or lot, or are spread among several parcels or lots. As used in this section, "dwelling unit" shall mean an apartment unit, a condominium unit, or a single family residence.
- (d) a person with an identifiable economic or professional interest in the rights of park owners or residents.

Term: Each regular member shall be appointed to serve a two-year term. Each regular member shall hold office until a new member has been duly appointed.

Meetings: Meetings are held quarterly on the 3rd Thursday of March, June, September, and the 2nd Thursday of December at City Hall Council Chambers, 10601 Magnolia Avenue.

Staff Assistance: Tom Romstad, Senior Management Analyst, Development Services Department

Commission Members:
(next page)

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

Commission Members:

Lee E. Wilson

Appointed: 1/25/95

Reappointed: 1/22/97, 1/27/99, 1/24/01, 2/12/03, 1/26/05, 1/24/07, 1/28/09, 1/12/11,
1/23/13

Term Ends: 2015

Rusty Williams

Appointed: 9/24/03

Reappointed: 1/26/05, 1/24/07, 1/28/09, 1/12/11, 1/23/13

Term Ends: 2015

Frank Bathrick

Appointed: 2/10/10

Reappointed: 1/25/12, 1/22/14

Term Ends: 2016

Keshav Damoor

Appointed: 8/28/13

Reappointed: 1/22/14

Term Ends: 2016

Nick Bradley

Appointed: 11/12/14

Reappointed:

Term Ends: 2015

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

SALARY SETTING ADVISORY COMMITTEE

Established: 1/28/09 [City Council Minutes]. The purpose of the Committee is to make recommendations to the Council regarding the appropriate level of salary and benefits for the Mayor and the City Council.

Qualifications: Appointments are made by the Mayor, with the approval of the City Council.

Term: At the pleasure of the legislative body.

Meetings: On an as-needed basis at City Hall, 10601 Magnolia Avenue, Council Chambers Conference Room.

Staff Assistance: Kathy Valverde, Assistant to the City Manager

Committee Members:

Karen Bisignano	Appointed: 1/28/09
Bill Howell	Appointed: 1/28/09
Tom Lemmon	Appointed: 1/28/09
Marilynn Linn	Appointed: 1/28/09
James Montague	Appointed: 1/28/09
Warren Savage	Appointed: 1/28/09
Arnold Winston	Appointed: 1/28/09
Keshav Damoor	Appointed: 8/28/13

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

SANTEE PARK AND RECREATION COMMITTEE (SPARC)

Established: 9/28/81 [Resolution 75-81]. The purpose of the Committee is to act in an advisory capacity to the City Council on matters pertaining to municipal parks and recreation programs in the City of Santee. April 26, 1995, Council adopted revised bylaws [City Council Minutes].

Qualifications: Resident appointments to the Santee Park and Recreation Committee are made by the Mayor, with the approval of the City Council.

Term: At the pleasure of the legislative body.

Meetings: Meetings are on the first Thursday of each month at 6:30 p.m. at City Hall, 10601 Magnolia Avenue, Conference Room. in Bldg. 6, Community Services

Staff Assistance: Bill Maertz, Director of Community Services; and Heather Heckman, Administrative Secretary

Committee Members:

Anita Bautista Appointed: 10/11/95

Ken Fox, Chair Appointed: 4/28/99

Lisa Neely, Vice-Chair Appointed 6/13/01

Rusty Williams Appointed: 10/24/01

Charles Hattaway, Secretary Appointed: 6/11/03

James Dreisbach-Towle Appointed: 5/11/05

Arli Wolfson Appointed: 4/08/09

Heather Jones Appointed: 5/25/11

Alan Tuthill Appointed: 6/22/11

John Morley Appointed: 1/25/12

Alternate Member #1:

Laqueta Strawn Appointed: 1/25/12

Alternate Member #2:

Todd Tolson Appointed: 2/12/14

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

PART TWO

The following Boards, Commissions, and Committees, external to the City of Santee's internal governmental process, have appointed delegates to represent the City of Santee.

Unless otherwise stated, appointments are made by the Mayor, with the approval of the City Council.

JOINT AGENCIES

ABANDONED VEHICLE ABATEMENT SERVICE AUTHORITY

This Joint-Agency body studies matters related to the abatement, removal, and disposal of abandoned, wrecked, dismantled, or inoperative vehicles in order to protect the health and safety of citizens. [Resolution No. 170-91]

Qualifications: The Board of Directors of the San Diego Service Authority for Freeway Emergencies shall constitute the members of the Board of Directors of the San Diego Abandoned Vehicle Abatement Service Authority.

Term: Annual.

Representatives: Two members are selected by the Board of Supervisors and five members selected jointly by the City Councils of Cities within the County.

Appointed: 1/12/11 [Minto]

Reappointed: 1/25/12

Meetings: ***Currently, there are no meetings scheduled. The City will be contacted once and if this committee begins meeting again.***
Meetings are held bimonthly at the County Administration Center, 1600 Pacific Highway, Room 303, San Diego, CA 92104.

Contact Person: Marta Sullivan, Program Manager

Address: San Diego Police Department
1401 Broadway, MS 715
San Diego, CA 92101

Phone: (619) 531-2662

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

CITY SELECTION COMMITTEE (League of California Cities)

Established: Under the auspices of the League of California Cities, San Diego County Division, this committee makes appointments to LAFCO, the Service Authority for Freeway Emergencies, and the Abandoned Vehicle Abatement Service Authority.

Qualifications: Every City Mayor automatically is a representative.

Term: 2016 (Corresponds to the Mayor's term)

Meetings: This committee meets as needed.

Representative: Randy Voepel, Mayor

Contact Person: Gliceria Magpayo, Program Manager for County Clerk of the Board of Supervisors
County of San Diego
1600 Pacific Highway, Room 402
San Diego, CA 92101-2471

Phone: (619) 531-4870

COMMUNITY LEADERS FORUM MCAS MIRAMAR

Established: 4/28/99 [City Council Minutes]. Meetings to provide current information regarding ongoing activities at the base relating to helicopter flight patterns at MCAS Miramar.

Qualifications: Member of the City Council

Term: Annual

Representative: Randy Voepel, Mayor

Resident Co-Rep: James D. Panknin

Appointed: 6/9/04

Reappointed: 1/26/05, 1/25/06, 1/24/07, 1/23/08, 1/28/09, 1/27/10, 1/12/11, 1/25/12, 1/23/13, 1/22/14

Contact: Colonel Philip Parkhurst, AC-S

Address: Community Plans and Liaison Officer
Attn: Laura Thornton
P. O. Box 452001
San Diego, CA 92145-2001

Phone: (858) 577-6603

Meetings: Third Thursdays, monthly, at 5:30 p.m. at MCAS Miramar.

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

EAST COUNTY ECONOMIC DEVELOPMENT COUNCIL

Established: 12/12/84 [City Council Minutes].

Rejoin: 7/23/86 [City Council Minutes].

Qualifications: Position-specific; Mayor and Council Member.

Term: Annual

Meetings: Third Wednesday, monthly, 7:30 a.m. in the East County Economic Development Council's Board Room.

Representative: John Minto, Council Member

Alternate: Randy Voepel, Mayor

Deactivated: 11/18/92

Reactivated: 1/14/93

Appointed: 12/5/00 [Voepel] and 2/12/03 [Minto]

Reappointed: 1/24/01, 1/23/02, 2/12/03, 1/28/04, 1/26/05, 1/25/06, 1/24/07, 1/23/08, 1/28/09, 1/27/10, 1/12/11, 1/25/12, 1/23/13, 1/22/14

Address: East County Economic Development Council
1908 Friendship Drive; Suite A
El Cajon, CA 92020

Phone: (619) 258-3670

Contact Person: Jo Marie Diamond, President/Chief Executive Officer

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

GOODAN RANCH POLICY COMMITTEE

Established: In July, 1991, an agreement was signed by the State of California Department of Fish and Game, the County of San Diego, the City of Poway, and the City of Santee to jointly purchase Goodan Ranch. The Joint Powers Agreement, effective November 7, 1995, establishes the Goodan Ranch Policy Committee.

Qualifications: The Goodan Ranch Policy Committee is comprised of three elected representatives, appointed by the governing bodies of the County of San Diego, the City of Poway, and the City of Santee, and one representative from the State of California Department of Fish and Game. An alternate is also appointed by each of the Public Agencies.

Term: Annual.

Meetings: Once annually.

Representative: Rob McNelis, Council Member

Appointed: 1/12/11

Reappointed: 1/25/12, 1/23/13, 1/22/14

Alternate: Pedro Orso-Delgado, Acting City Manager, or designee.

Contact Person: Bill Maertz, Director of Community Services

Address: City of Santee
10601 Magnolia Avenue
Santee, CA 92071

Phone: (619) 258-4100, Extension 126

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

HEARTLAND COMMUNICATIONS FACILITY COMMISSION*

Established: 7/23/86 [Council Minutes]. The Governing body of Heartland Communications Facility Authority-Board of Chiefs. Each public agency which is a party to this Agreement, has one seat on the Commission. The cities of El Cajon, Lemon Grove, Santee, and La Mesa, and the Alpine, Bostonia, Lakeside, and San Miguel Fire Protection Districts jointly equip, maintain, operate, and staff a facility thereby providing emergency call receiving and dispatching services to said public agencies.

Qualifications: Member of governing body of Public Agency

Term: Per appointing public agency.

Meetings: Fourth Thursdays in January, April, July, and October at the Ronald Reagan Center in El Cajon, 4:00 p.m.

Representative: Randy Voepel, Mayor
Alternate: John Minto, Council Member

Appointed: 12/3/96 [Voepel] and 1/24/07 [Minto]
Reappointed: 1/22/97, 1/28/98, 1/27/99, 1/26/00, 1/24/01, 1/23/02, 2/12/03, 1/28/04, 1/26/05, 1/25/06, 1/24/07, 1/23/08, 1/28/09, 1/27/10, 1/12/11, 1/25/12, 1/23/13, 1/22/14

Contact: Valerie Nellis
Heartland Communications Facility Authority
100 East Lexington Ave.
El Cajon, CA 92020
Phone: (619) 441-1623

Diane McClarty, Communications Director
Heartland Communications Facility Authority
100 East Lexington Ave.
El Cajon, CA 92020-4517
(619) 441-1624
FAX: (619) 444-5982

**Stipend Received*

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

HEARTLAND FIRE TRAINING FACILITY AUTHORITY COMMISSION*

Parties involved have common powers to secure the construction and operation of a fire training facility for training personnel, etc., at the Owens Tower Fire Training Facility.

Established: 12/01/73

Qualifications: Agency member Heartland Fire Training Facility Authority

Term: Per appointing public agency.

Meetings: Second Thursdays in January, April, July, and October at Heartland Facility at 4:00 p.m.

Representative: Rob McNelis, Council Member [1/12/11; changed from alternate to representative 1/23/13]

Alternate: John Ryan, Council Member [1/12/11; changed from rep to alternate 1/23/13]

Appointed: 1/12/11

Reappointed: 1/25/12, 1/23/13, 1/22/14

Contact: Dave Miller
Heartland Communications Facility Authority
1301 N. Marshall Avenue
El Cajon, CA 92020

Phone: (619) 441-1693

**Stipend Received*

LEAGUE OF CALIFORNIA CITIES

Qualifications: Members of the City Council.

Term: Annual

Representative: John Minto, Council Member [1/26/05]

Alternate: Rob McNelis, Council Member [1/12/11]

Appointed: 1/26/05 [Minto] and 1/12/11 [McNelis]

Reappointed: 1/25/06, 1/24/07, 1/23/08, 1/28/09, 1/27/10, 1/12/11, 1/25/12, 1/23/13, 1/22/14

Address: League of California Cities
P.O. Box 82081
San Diego, CA 92138-2081

Phone: (916) 658-8200

Contact Person: Catherine Hill, Regional Representative

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

METROPOLITAN TRANSIT SERVICES (MTS) (formerly MTDB)*

Established: 1/31/85 [City Council Minutes].

Qualifications: Members of the City Council.

Term: Annual.

Meetings: Monthly at 9:00 a.m.

Representative: John Minto, Council Member [1/12/11]

Alternate: Rob McNelis, Council Member [1/12/11]

Appointed: 1/12/11

Reappointed: 1/25/12, 1/23/13, 1/22/14

Address: Metropolitan Transit Development Board
1255 Imperial Avenue, Suite 1000
San Diego, CA 92101-7490

Phone: (619) 557-4515

Contact Person: Julia Sansone, Executive Assistant to CEO Paul Jablonski and Clerk
of the Board

**Stipend Received*

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

MISSION TRAILS REGIONAL PARK TASK FORCE

This Committee, comprised of representatives of various cities and agencies, advises on matters pertaining to acquisition, development, operation, and maintenance of Mission Trails Regional Park.

Qualifications: Member of the City Council

Term: Annual

Membership: The Mission Trails Regional Park Task Force is comprised of two members from the San Diego City Council, one of whom shall be from the Council District in which the Regional Park is located, two members from the County Board of Supervisors, one of whom shall be from the Supervisorial District in which the Regional Park is located, one member from the Santee City Council, one member from the La Mesa City Council, and the Chairperson of the Mission Trails Regional Park Citizens Advisory Committee.

Meetings: Third Wednesday of odd numbered months at 12:15 p.m. at the San Diego City Administration Building, 202 C Street.

Representative: Rob McNelis, Council Member [1/12/11]

Alternate: John Ryan, Council Member [1/12/11]

Appointed: 1/12/11

Reappointed: 1/25/12, 1/23/13, 1/22/14

Contact Person: Steve Haupt, District Manager,

Address: 202 C Street, MS 35A

San Diego, CA 92101-3860

Phone: (619) 533-6733

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

Citizens Advisory Committee For Mission Trails Regional Park

Qualifications: City of Santee resident.

Term: Although the Mayor has term length discretion, representatives typically serve a term concurrent with the appointing Mayor. Appointment process requires each represented group nominate a member every two years in the odd numbered years, so that nomination can be considered at task force's January meeting. The group is an eleven (11) member group.

Representative: Frank Bathrick
Appointed: 12/11/13
Reappointed: 1/22/14

Alternates: Chair and Vice Chair of Santee Park and Recreation Committee (Alternates per Council meeting 03/13/91)

Meetings: Meetings are held at 7:00 p.m. on the first Tuesday of odd numbered months at the Mission Trails Regional Park Visitor and Interpretive Center.

Contact Person: David Monroe, District Manager, Northern Parks Division
202 C Street, MS 35A
San Diego, CA 92101-3860

Phone: (619) 525-8286

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

SAN DIEGO AIRPORT AUTHORITY BOARD

This Joint-Agency body, created January 1, 2003, convenes on matters connected to its state-mandated mission to effectively manage and operate San Diego International Airport and address the region's long-term air transportation needs.

Qualifications: A member of one of the East County City Councils or a resident of one of the East County cities.

Term: 3 years

Membership: The Airport Authority is governed by an appointed board of nine members who represent all areas of San Diego County and three ex-officio members.

Meetings: First Thursday of every month at 9:00 a.m. on the Third Floor of the Commuter Terminal at the San Diego International Airport.

Representative: Mary Sessom, Lemon Grove Mayor
Term Expires: January 31, 2016

Appointing Authority: East County area mayors

Appointed: 2/4/13

Contact Person: Tony Russell, Authority Clerk
Address: San Diego International Airport
Commuter Terminal, 3rd Floor - Board Conference Room
3225 N. Harbor Dr. - San Diego, CA 92101

Phone: (619) 400-2550

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

SAN DIEGO ASSOCIATION OF GOVERNMENTS (SANDAG) Board of Directors*

Qualifications: Members of the City Council

Term: Annual

Representative: Jack Dale, Council Member [1/26/05]

Alternate: John Minto, Council Member [1/12/11]

2nd Alternate: Rob McNelis, Council Member [1/12/11]

Appointed: 1/26/05

Reappointed: 1/25/06, 1/24/07, 1/23/08, 1/28/09, 1/27/10, 1/12/11, 1/25/12, 1/23/13,
1/22/14

Address: SANDAG
401 B Street, Suite 800
San Diego, CA 92101

Phone: (619) 699-1900

Contact Person: Tessa Lero, Clerk of the Board; (619) 699-1991

**Stipend Received*

COUNTY SERVICE AREA (CSA) 69 (PARAMEDICS)

County Service Area (CSA) 69 (Paramedics) provides input to the County of San Diego relative to paramedic services offered to the Santee/Lakeside area. The group advises on the level of such services, how services might be better provided, and on the funding and budgetary aspects of the program within this service district.

Qualifications: City of Santee resident representative and a Member of the Santee City Council.

Term: Although the Mayor has term length discretion, Resident Representatives typically serve a term concurrent with the appointing Mayor. Council Representatives have no specified term length.

Membership: Members are appointed by participating organizations: two at-large members from the City of Santee, one resident of the City and one City Council Member, both appointed by the Mayor with the approval of the City Council; one representative each from the Santee School District; Santee Chamber of Commerce; Lakeside Fire Protection District; Lakeside Planning Committee; Lakeside Chamber of Commerce; Lakeside Union School District, East County Fire Protection District, and Grossmont Hospital District.

Reference Dates: 11/22/82 [Council Minutes], 9/04/85 [Resolution 175-85] change in membership.

Representative: Randy Voepel, Mayor [12/3/96]
Alternate: John Minto, Council Member [1/26/05]

Resident: Warren H. Savage, Jr.
Appointed: 1/24/96

Reappointed: 1/24/96, 1/22/97, 1/28/98, 1/27/99, 1/26/00, 1/24/01, 1/23/02, 2/14/01, 2/12/03, 1/28/04, 1/26/05, 1/25/06, 1/24/07, 1/23/08, 1/28/09, 1/27/10, 1/12/11, 1/25/12, 1/23/13, 1/22/14

Contact Person: Adria Cavanaugh, CSA Administrator

Address: San Diego County Health and Human Services Agency
Emergency Medical Services
6255 Mission Gorge Road
San Diego, CA 92120-3599

Phone: (619) 285-6429

Meetings: Meetings are held on the second Thursday of the month quarterly or on an as-needed basis at the Lakeside Fire Protection District, 12216 Lakeside Avenue, Lakeside.

Staff Assistance: Fire Department

LOCAL APPOINTMENTS LIST, REVISED DECEMBER 2014

UNIFIED SAN DIEGO EMERGENCY SERVICES ORGANIZATION

Address: Office of Disaster Preparedness
5580 Overland Avenue, Suite 100
San Diego, CA 92123

Contact Person: Shirla Hueth

Phone: (858) 715-2211

Disaster Council

Qualifications: Position-specific

Term: Annual

Meetings: Every other month (February, April, June, August, October, and December) on the third Thursday at 9:00 a.m.

Representatives: Randy Voepel, Mayor, as Chairperson; Pedro Orso-Delgado, Acting City Manager, as Director of Emergency Services; and Richard Mattick, Deputy Fire Chief, as Assistant Director of Emergency Services.

Appointed: 10/26/81 [Council Minutes], 11/09/81 [Ordinance 35]

City of Santee
COUNCIL AGENDA STATEMENT

6A

MEETING DATE January 28, 2015

AGENDA ITEM NO.

ITEM TITLE RESOLUTION ADOPTING LEGISLATIVE POLICY MEMORANDUM
GOVERNING THE FLYING OF FLAGS AT CITY FACILITIES

DIRECTOR/DEPARTMENT Patsy Bell, City Clerk

PB

SUMMARY

This item request Council to adopt the attached Legislative Policy Memorandum (LPM) which will provide guidelines and procedures to ensure that the United States of America and State of California flags at all City of Santee facilities are displayed and flown in a consistent and appropriate manner pursuant to the United States Flag Code and in accordance with recognized customs or practices not inconsistent with law for the display of flags at half-staff. The City of Santee values the proper display of flags in its role as a public agency to promote patriotism and honor the institutions on which the United States of America is founded.

FINANCIAL STATEMENT N/A

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *✓*
Adopt the Legislative Policy Memorandum

ATTACHMENTS (Listed Below)

Resolution
Legislative Policy Memorandum

RESOLUTION NO.

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE,
CALIFORNIA, ADOPTING LEGISLATIVE POLICY MEMORANDA FOR
DISPLAY OF UNITED STATES OF AMERICA AND STATE OF
CALIFORNIA FLAGS**

WHEREAS, the City of Santee desires and values to properly display the United States of America, the State of California and the City of Santee flags at City facilities; and

WHEREAS, the flying of the flags demonstrates and fosters patriotism throughout the Santee community, and

WHEREAS, the City desires to have a formal policy to provide guidelines and procedures to ensure that the United States of America and State of California flags at all City of Santee facilities are displayed and flown in a consistent and appropriate manner pursuant to the United States Code Title 4, Chapter 1, commonly referred to as the United States Flag Code, and in accordance with recognized customs or practices not inconsistent with law for the display of flags at half-staff.

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Santee, California, as follows:

Section 1. The attached Legislative Policy Memorandum _____, regarding the Display of the United States of America and State of California flags is hereby adopted by the City Council of the City of Santee; and

Section 2. The City Manager is hereby authorized to make changes to the Legislative Policy Memorandum adopted by this Resolution as necessary to comply with United States Federal and California State laws and regulations.

ADOPTED by the City Council of the City of Santee, California, at a Regular Meeting thereof held this 14th day of January, 2015, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

APPROVED:

RANDY VOEPEL, MAYOR

ATTEST:

PATSY BELL, CMC, CITY CLERK

Attachments: Legislative Policy Memorandum_____

LEGISLATIVE POLICY MEMORANDUM

NUMBER: LPM#

DATE: January 28, 2015

APPROVED BY CITY MANAGER:

APPROVED BY CITY ATTORNEY:

ADOPTED BY CITY COUNCIL: January 28, 2015

INITIATED BY: Patsy Bell, City Clerk

SUBJECT: LEGISLATIVE POLICY FOR DISPLAY OF UNITED STATES OF AMERICA AND STATE OF CALIFORNIA FLAGS

PURPOSE

This Policy aims to provide guidelines and procedures to ensure that the United States of America and State of California flags at all City of Santee facilities are displayed and flown in a consistent and appropriate manner pursuant to the United States Code Title 4, Chapter 1, commonly referred to as the United States Flag Code, and in accordance with recognized customs or practices not inconsistent with law for the display of flags at half-staff. The City of Santee values the proper display of flags in its role as a public agency to promote patriotism and honor the institutions on which the United States of America is founded.

POLICY

The City of Santee observes the following protocol with respect to the display of flags at all City of Santee facilities:

Section 1. Flags will be displayed only from sunrise to sunset unless properly illuminated. Flags may be displayed 24 hours per day if properly illuminated.

Section 2. Flags will be hoisted briskly and lowered ceremoniously.

Section 3. Flags will not be displayed on days when the weather is inclement, except when an all-weather flag is displayed.

Section 4. Flags should be displayed daily on weekdays at or near every City of Santee facility with a flag pole or other relevant equipment for the display of flags.

Section 5. The Mayor is authorized to display flags at half-staff in accordance with the rules set forth in the United States Flag Code and provided in pertinent part below, and at such times as the President of the United States or the Governor of the State of California may proclaim or order.

- a) By order of the President, the flag shall be flown at half-staff upon the death of principal figures of the United States Government, and the Governor of the State of California, as a mark of respect to their memory.
- b) In the event of the death of other officials or foreign dignitaries, the flag is to be displayed at half-staff according to Presidential instructions or orders, or in accordance with recognized customs or practices not inconsistent with law.
- c) In the event of the death of a present or former official of the government of the State of California or the death of a member of the Armed Forces from the State of California who dies while serving on active duty, the Governor of the State California may proclaim that the National flag shall be flown at half-staff.
- d) When the Governor of the State California issues a proclamation under the preceding sentence that the National flag be flown at half-staff in the State of California because of the death of a member of the Armed Forces, the National flag flown at any Federal installation or facility in the area covered by that proclamation shall be flown at half-staff consistent with that proclamation.
- e) The flag shall be flown at half-staff 30 days from the death of the President or a former President.
- f) The flag shall be flown at half-staff 10 days from the day of death of the Vice President, the Chief Justice or a retired Chief Justice of the United States, or the Speaker of the House of Representatives.
- g) The flag shall be flown at half-staff from the day of death until interment of an Associate Justice of the United States Supreme Court, a Secretary of an executive or military department, a former Vice President, or the Governor of a State, territory, or possession.
- h) The flag shall be flown at half-staff on the day of death and the following day for a Member of Congress.
- i) The flag shall be flown at half-staff on Peace Officers Memorial Day, unless that day is also Armed Forces Day.
- j) The flag shall be flown at half-staff upon proclamation of the President in remembrance of victims of certain events.

Section 6. In addition to the circumstances under which the flags of the United States of America and the State of California may be displayed at half-staff as set forth above, the City of Santee hereby establishes the following guidelines and procedures regarding the situations in which flags may be displayed at half-staff. The Mayor is authorized to display flags at half-staff in the event of the death of certain public officials and other persons as set forth below and only in accordance with recognized customs

or practices not inconsistent with law. The Mayor may direct flags to be flown at half-staff upon the death of:

- a) Any resident of the City of Santee or the greater San Diego community whose death resulted from participation in the operations of any branch of the United States military, including the National Guard.
- b) Any resident of the City of Santee or the greater San Diego community whose death resulted from participation in the operations of any branch of the Department of Homeland Security, including but not limited to the United States Coast Guard, United States Immigration and Customs Enforcement, and the United States Customs and Border Protection, while deployed abroad or acting in defense of the United States of America.
- c) Any law enforcement officer, firefighter, or emergency medical responder providing law enforcement, fire protection, or emergency medical services to the residents of the City of Santee whose death resulted from participation in the provision of such services.
- d) Any resident of the City of Santee or the greater San Diego community whose death resulted from direct participation in law enforcement, fire protection, or emergency medical services.
- e) Any current City of Santee employee killed in the line of duty or any current or former City of Santee employee to have served the City prominently during his or her lifetime.
- f) Any resident of the City of Santee to have attained prominence in the community, served as a community leader, or contributed greatly to the City of Santee during his or her lifetime.
- g) Any individual or group of individuals whose lives the City wishes to respect or remember and for whose communities the City wishes to express solidarity or compassion.

Section 7. The Mayor is further authorized to display flags at half-staff on the following recognized holidays: Armed Forces Day, National Peace Officers Memorial Day, Memorial Day, National Korean War Veterans Armistice Day, Patriot Day, POW/MIA Recognition Day, National Fallen Firefighters Memorial Day, Veterans Day, and National Pearl Harbor Remembrance Day.

Section 8. The term "half-staff" means the position of the flag when it is one-half the distance between the top and bottom of the staff. The flag, when flown at half-staff, should be first hoisted to the peak for an instant and then lowered to the half-staff position. The flag should be again raised to the peak before it is lowered for the day. On Memorial Day the flag should be displayed at half-staff until noon only, then raised to the top of the staff. Not including Fire Stations, which are staffed every day, if the occasion for a flag to be flown at half-staff falls on a day on which City of Santee facilities are closed, the flag will be placed in the half-staff position on the last working

day prior to the occasion. The flag will be returned to the peak on the first working day following the occasion.

Section 9. The lowering of the City of Santee's United States of America and State of California flags to half-staff to memorialize an individual or for other situations which are neither addressed under the United States Flag Code nor as a result of a Presidential or Gubernatorial proclamation shall be effectuated by the adoption of this Policy.

Section 10. The flag should be displayed on all days, especially on the following recognized holidays:

- a) New Year's Day, January 1
- b) Inauguration Day, January 20
- c) Martin Luther King Jr.'s birthday, third Monday in January
- d) Lincoln's Birthday, February 12
- e) Washington's Birthday, third Monday in February
- f) Easter Sunday, variable
- g) Mother's Day, second Sunday in May
- h) Armed Forces Day, third Saturday in May
- i) Memorial Day (half-staff until noon), the last Monday in May
- j) Flag Day, June 14
- k) Father's Day, third Sunday in June
- l) Independence Day, July 4
- m) National Korean War Veterans Armistice Day, July 27
- n) Labor Day, first Monday in September
- o) Admission Day of the State of California, September 9
- p) Patriot Day, September 11
- q) Constitution Day, September 17
- r) Columbus Day, second Monday in October
- s) Navy Day, October 27
- t) Veterans Day, November 11

- u) Thanksgiving Day, fourth Thursday in November
- v) Christmas Day, December 25
- w) Such other holidays as may be proclaimed by the President

Section 11. A flag that has become soiled may be washed or dry-cleaned by any method that will not harm the flag. A flag that has become stained, torn, frayed, tattered, faded, or damaged will be removed from service, retired, and replaced. A flag is retired by means of destruction in a dignified manner and burning in private.

Section 12. All other procedures and protocols regarding the display of the flags shall be in accordance with applicable laws and regulations, including the United States Flag Code. Except as set forth in the United States Flag Code or a Presidential or Gubernatorial proclamation, the Mayor, or his or her designee, shall have authority to determine the procedures and protocols for the time, place, and manner of displaying flags.

Section 13. This Policy shall be in effect as of the date of its adoption.

City of Santee
COUNCIL AGENDA STATEMENT

6B

MEETING DATE January 28, 2015

AGENDA ITEM NO.

ITEM TITLE AUTHORIZE EXPENDITURE OF 2014 STATE HOMELAND SECURITY GRANT FUNDS FOR FIRE DEPARTMENT COMPUTER AND RADIO EQUIPMENT IN ACCORDANCE WITH ALL PROGRAM REQUIREMENTS

DIRECTOR/DEPARTMENT Chief Richard Mattick, Fire Department *RTM*

SUMMARY

On October 30, 2014, the San Diego County Office of Emergency Services approved Santee's 2014 State Homeland Security Grant (SHSG) request for new computers and radio equipment costing \$38,678.

The SHSG funds will be utilized to replace two failing 6 year-old Panasonic Toughbook mobile data computers installed in front-line fire apparatus as well as five older Motorola XTS 3000 model portable radios used by the Fire Chiefs.

The deadline for reimbursement of the \$38,678 grant is December 31, 2015.

FINANCIAL STATEMENT *jm*

The grant reimburses the City 100% for pre-approved equipment expenditures up to \$38,678. No local matching funds are required.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *go for POTS*

Authorize expenditure of \$38,678 in reimbursable 2014 State Homeland Security Grant funds for Fire Department computer and radio equipment in accordance with all program requirements.

ATTACHMENTS

None