



City Council
 Mayor John W. Minto
 Vice Mayor Rob McNelis
 Council Member Ronn Hall
 Council Member Laura Koval
 Council Member Dustin Trotter

CITY OF SANTEE
 REGULAR MEETING AGENDA
 Santee City Council

City Manager | Marlene D. Best
 City Attorney | Shawn D. Hagerty
 City Clerk | Annette Fagan Ortiz

MEETING INFORMATION

Wednesday, April 28, 2021
6:30 p.m.
Council Chambers | Building 2 (Virtual Meeting)**
10601 Magnolia Ave • Santee, CA 92071

Staff
 Assistant to the City Manager | Kathy Valverde
 Community Services Director | Bill Maertz
 Development Services Director | Melanie Kush
 Finance Director/Treasurer | Tim McDermott
 Fire & Life Safety Director/Fire Chief | John Garlow
 Human Resources Director | Erica Hardy
 Law Enforcement | Captain Christina Bavencoff

GOVERNOR’S EXECUTIVE ORDER N-29-20
RE: CORONAVIRUS COVID-19

This meeting will be conducted pursuant to the provisions of the Governor’s Executive Order which suspends certain requirements of the Ralph M. Brown Act.

In an effort to protect public health and prevent the spread of COVID-19, the City Council meeting on Wednesday, April 28, 2021, will be conducted via webinar and telephonically.

VIRTUAL MEETING OPTIONS**

TO WATCH (via online)

<https://attendee.gotowebinar.com/register/8277836431908717325>

TO LISTEN (via telephone)

(619) 678-0714, a pin number will be required, please enter 690-558-400#.

LIVE PUBLIC COMMENT

Members of the public who wish to comment on matters on the City Council agenda or during Non-Agenda Public Comment may register for the webinar with the link above and email the City Clerk at CITYCLERK@CITYOFSANTEECA.GOV with the name that you registered with and the item(s) you wish to speak on. The City Clerk will call the name when it is time to speak.

NOTE: Public Comment will be limited to 3 minutes and will continue to be accepted until the item is voted on. The timer will begin when the participant begins speaking.



The City Council also sits as the Community Development Commission Successor Agency and the Santee Public Financing Authority. Any actions taken by these agencies are separate from the actions taken by City Council. For questions regarding this agenda, please contact the City Clerk’s Office at (619) 258-4100 x114

ROLL CALL: Mayor John W. Minto
Vice Mayor Rob McNelis
Council Members Ronn Hall, Laura Koval, and Dustin Trotter

LEGISLATIVE INVOCATION: Carlton Hills Evangelical Lutheran Church – Reverend Andreas Walker-Thode

PLEDGE OF ALLEGIANCE

CONSENT CALENDAR:

PLEASE NOTE: Consent Calendar items are considered routine and will be approved by one motion, with no separate discussion prior to voting. The public, staff or Council Members may request specific items be removed from the Consent Calendar for separate discussion or action. Speaker slips for this category must be presented to the City Clerk at the start of the meeting. Speakers are limited to 3 minutes.

- (1) **Approval of Reading by Title Only and Waiver of Reading in Full of Ordinances and Resolutions on the Agenda. (City Clerk – Ortiz)**
- (2) **Approval of Payment of Demands as Presented. (Finance – McDermott)**
- (3) **Approval of the Expenditure of \$50,913.07 for March 2021 Legal Services and Reimbursable Costs. (Finance – McDermott)**
- (4) **Adoption of a Resolution Initiating Proceedings and Ordering the Preparation of an Engineer’s Report for the FY 2021-22 Santee Landscape Maintenance District Annual Levy of Assessments. (Finance – McDermott)**
- (5) **Adoption of a Resolution Initiating Proceedings and Ordering the Preparation of an Engineer’s Report for the FY 2021-22 Town Center Landscape Maintenance District Annual Levy of Assessments. (Finance – McDermott)**
- (6) **Adoption of a Resolution Initiating Proceedings and Ordering the Preparation of an Engineer’s Report for the FY 2021-22 Santee Roadway Lighting District Annual Levy of Assessments. (Finance – McDermott)**
- (7) **Adoption of a Resolution Authorizing the Installation of a School Loading Zone on Jeremy Street for Hill Creek School. (Development Services – Kush)**
- (8) **Claim Against the City by Deborah Smith. (Human Resources – Hardy)**
- (9) **Approval of Sixth Amendment to Heartland Fire Training Authority Joint Powers Agreement (JPA). (Fire – Garlow)**



- (10) **Adoption of a Resolution Authorizing the Installation of All-Way Stop Control on Ironwood Avenue at the Intersection with Alphonse Street. (Development Services – Kush)**
- (11) **Consideration of Extension of the Exclusive Negotiation Agreement Between the City of Santee and Excel Acquisitions, LLC for Development of Real Property Known as Parcel 4 of Parcel Map 18857 Located in Trolley Square, and to Increase the Not to Exceed Amount of the Initial Deposit to \$40,000.00. (City Manager – Best)**

NON-AGENDA PUBLIC COMMENT (15 minutes):

Persons wishing to address the City Council regarding items not on the posted agenda may do so at this time. In accordance with State law, Council may not take action on an item not scheduled on the Agenda. If appropriate, the item will be referred to the City Manager or placed on a future agenda. This first Non-Agenda Public Comment period is limited to a total of 15 minutes. Additional Non-Agenda Public Comment is received prior to Council Reports.

PUBLIC HEARING:

- (12) **Public Hearing for a Conditional Use Permit (P2019-5) and a Mitigated Negative Declaration (AEIS2019-10) Prepared Pursuant to the California Environmental Quality Act (CEQA) for a Self-Storage and Recreational Vehicle (RV) Storage Facility, Truck Rentals and a Caretaker's Residence at 8708 Cottonwood Avenue (Applicant: All Right Storage, L.P.) Assessor's Parcel Number: 384-370-25. (Development Services – Kush)**

Recommendation:

1. Conduct and close the Public Hearing; and
2. Find that Conditional Use Permit P2019-5 will not have a significant effect on the environment with mitigation; approve the Mitigated Negative Declaration and the Mitigation Monitoring Reporting Program prepared in accordance with CEQA; authorize a filing of a Notice of Determination; and
3. Approve Conditional Use Permit P2019-5 per the Resolution.



- (13) A Public Hearing to Adopt a Resolution Approving the Program Year 2021 Annual Action Plan and Authorizing the City Manager to Submit a Grant Application for Community Development Block Grant (CDBG) Funds to the Department of Housing and Urban Development (HUD). (Development Services – Kush)**

Recommendation:

1. Conduct and close the Public Hearing; and
2. Adopt the Resolution approving the Program Year 2021 Annual Action Plan and authorizing the City Manager to submit the grant application to HUD.

NEW BUSINESS:

- (14) Workshop on Solid Waste and SB 1383 Implementation. (Community Services – Maertz)**

Recommendation:

Receive report and provide direction as needed.

- (15) Appropriation of Funds for SanteeTV Implementation Costs. (City Manager – Best)**

Recommendation:

Authorize the appropriation of \$15,150.00 to implement and launch SanteeTV prior to the end of the fiscal year.

- (16) Resolution Authorizing the Execution of a Professional Services Agreement with SDI Presence LLC for the Procurement of an Automated Land Management and Permitting System. (Development Services – Kush)**

Recommendation:

Adopt Resolution authorizing the execution of a Professional Services Agreement with SDI Presence LLC for the selection and procurement of an automated land management and permitting system.

(17) Authorize a Third Amendment to the Agreement for Professional Services Between the City of Santee and Fireworks & Stage FX America for an Amount Not to Exceed \$30,000.00. (Community Services – Maertz)

Recommendation:

Approve the Third Amendment to the Professional Services Agreement with Fireworks & Stage FX America to perform a fireworks aerial display on July 4, 2021 for an amount not to exceed \$30,000.00, and authorize the City Manager to execute the Amendment.

NON-AGENDA PUBLIC COMMENT (Continued):

All public comment not presented within the first Non-Agenda Public Comment period above will be heard at this time.

CITY COUNCIL REPORTS:

CITY MANAGER REPORTS:

CITY ATTORNEY REPORTS:

CLOSED SESSION:

ADJOURNMENT:



BOARDS, COMMISSIONS & COMMITTEES
APRIL & MAY MEETINGS

Apr	01	SPARC	Virtual/Telephonic
Apr	12	Community Oriented Policing Committee	Virtual/Telephonic
Apr	14	Council Meeting	Virtual/Telephonic
Apr	22	SMHFPC	Council Chamber
Apr	28	Council Meeting	Virtual/Telephonic
May	06	SPARC	TBD
May	10	Community Oriented Policing Committee	TBD
May	12	Council Meeting	TBD
May	26	Council Meeting	TBD

The Santee City Council welcomes you and encourages your continued interest and involvement in the City's decision-making process.

For your convenience, a complete Agenda Packet is available for public review at City Hall and on the City's website at www.CityofSanteeCA.gov.

The City of Santee complies with the Americans with Disabilities Act. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, as required by Section 12132 of the American with Disabilities Act of 1990 (42 USC § 12132). Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the City Clerk's Office at (619) 258-4100, ext. 112 at least 48 hours before the meeting, if possible.



MEETING DATE April 28, 2021

ITEM TITLE APPROVAL OF READING BY TITLE ONLY AND WAIVER OF READING IN FULL OF ORDINANCES AND RESOLUTIONS ON THE AGENDA.

DIRECTOR/DEPARTMENT Annette Ortiz, CMC, City Clerk

SUMMARY

This Item asks the City Council to waive the reading in full of all Ordinances on the Agenda (if any) and approve their reading by title only. The purpose of this Item is to help streamline the City Council meeting process, to avoid unnecessary delay and to allow more time for substantive discussion of Items on the agenda.

State law requires that all Ordinances be read in full either at the time of introduction or at the time of passage, unless a motion waiving further reading is adopted by a majority of the City Council. (Gov. Code, § 36934). This means that each word in each Ordinance would have to be read aloud unless such reading is waived. Such reading could substantially delay the meeting and limit the time available for discussion of substantive Items. Adoption of this waiver streamlines the procedure for adopting the Ordinances on tonight's Agenda (if any), because it allows the City Council to approve Ordinances by reading aloud only the title of the Ordinance instead of reading aloud every word of the Ordinance.

The procedures for adopting Resolutions are not as strict as the procedures for adopting Ordinances. For example, Resolutions do not require two readings for passage, need not be read in full or even by title, are effective immediately unless otherwise specified, do not need to be in any particular format unless expressly required, and, with the exception of fixing tax rates or revenue amounts, do not require publication. However, like Ordinances, all Resolutions require a recorded majority vote of the total membership of the City Council. (Gov. Code § 36936).

FINANCIAL STATEMENT

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION

It is recommended that the Council waive the reading of all Ordinances and Resolutions in their entirety and read by title only.

ATTACHMENT

None



MEETING DATE April 28, 2021

ITEM TITLE PAYMENT OF DEMANDS

DIRECTOR/DEPARTMENT Tim K. McDermott, Finance *tm*

SUMMARY

A listing of checks that have been disbursed since the last Council meeting is submitted herewith for approval by the City Council.

FINANCIAL STATEMENT *tm*

Adequate budgeted funds are available for the payment of demands per the attached listing.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *MSB*

Approve the payment of demands as presented.

ATTACHMENT

- 1) Summary of Payments Issued
- 2) Voucher Lists

Payment of Demands



Summary of Payments Issued

<u>Date</u>	<u>Description</u>	<u>Amount</u>
04/07/2021	Accounts Payable	\$ 270,077.72
04/08/2021	Payroll	381,172.49
04/08/2021	Accounts Payable	205,642.69
04/12/2021	Accounts Payable	151,432.00
04/13/2021	Accounts Payable	119,227.99
04/13/2021	Accounts Payable	32,907.24
04/14/2021	Accounts Payable	1,494,194.15
04/14/2021	Accounts Payable	15,202.73
04/14/2021	Accounts Payable	<u>595.00</u>
	TOTAL	<u>\$2,670,452.01</u>

I hereby certify to the best of my knowledge and belief that the foregoing demands listing is correct, just, conforms to the approved budget, and funds are available to pay said demands.



Tim K. McDermott, Director of Finance

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
127212	4/7/2021	10412 AT&T	000016216707		TELEPHONE	815.64
					Total :	815.64
127213	4/7/2021	10262 AUSTIN, ROY	04012021		RETIREE HEALTH INSURANCE	1,412.10
					Total :	1,412.10
127214	4/7/2021	10516 AWARDS BY NAVAJO	0221308	52989	NAMETAG	11.85
					Total :	11.85
127215	4/7/2021	10021 BOUND TREE MEDICAL LLC	83986870 83988668	53230 53230	EMS SUPPLIES EMS SUPPLIES	324.26 1,372.90
					Total :	1,697.16
127216	4/7/2021	10023 BUILDERS FENCE COMPANY INC	1843492	52991	FENCING MATERIALS & SUPPLIES	12.56
					Total :	12.56
127217	4/7/2021	10299 CARQUEST AUTO PARTS	11102-523101	53083	VEHICLE REPAIR PARTS	45.27
					Total :	45.27
127218	4/7/2021	10032 CINTAS CORPORATION #694	4078708617	53084	UNIFORM/PARTS CLEANER RNTL	79.79
					Total :	79.79
127219	4/7/2021	14243 COMPLETE BUILDING	Ref000070443		BUSINESS LICENSE OVERPAYMEN	41.00
					Total :	41.00
127220	4/7/2021	10486 COUNTY OF SAN DIEGO	202100193		RECORDED DOC FEES	139.00
					Total :	139.00
127221	4/7/2021	10333 COX COMMUNICATIONS	038997401		10601 N MAGNOLIA AVE	107.42
					Total :	107.42
127222	4/7/2021	10608 CRISIS HOUSE	560	53214	CDBG SUBRECIPIENT	433.66
					Total :	433.66
127223	4/7/2021	10142 CSA SAN DIEGO COUNTY	693	53215	CDBG SUBRECIPIENT	1,076.55
					Total :	1,076.55

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
127224	4/7/2021	10046 D MAX ENGINEERING INC	6525	53295	STORM WATER INSPECTION SERV	7,436.58
					Total :	7,436.58
127225	4/7/2021	12111 E POLY STAR INC	224276	53311	TRASH CAN LINERS	7,865.75
					Total :	7,865.75
127226	4/7/2021	10348 EAST COUNTY	03152021	53236	MAP ADMINISTRATION	6,500.00
					Total :	6,500.00
127227	4/7/2021	10057 ESGIL CORPORATION	02/2021		SHARE OF FEES	81,761.70
					Total :	81,761.70
127228	4/7/2021	10848 GARLOW, JOHN	03312021		TUITION REIMBURSEMENT	2,500.00
					Total :	2,500.00
127229	4/7/2021	11881 GOODEN, CHRIS	04012021		TUITION REIMBURSEMENT	299.00
					Total :	299.00
127230	4/7/2021	11196 HD SUPPLY FACILITIES	9189738203 9189834228	53072 53072	STATION SUPPLIES STATION SUPPLIES	586.96 416.48
					Total :	1,003.44
127231	4/7/2021	14167 HOME START, INC.	5710-022021	53306	CDBG- RENTAL ASSISTANCE	31,173.05
					Total :	31,173.05
127232	4/7/2021	11724 ICF JONES & STOKES INC	0152629 0153257 0153774	50991 50991 50991	MSCP SUBAREA PLAN MSCP SUBAREA PLAN MSCP SUBAREA PLAN	3,682.50 12,275.00 7,971.25
					Total :	23,928.75
127233	4/7/2021	14247 JC CORNERSTONE, LCC	GRD1292S GRD1292S		REFUNDABLE DEPOSIT REFUNDABLE DEPOSIT	46,468.27 12,858.30
					Total :	59,326.57
127234	4/7/2021	10272 JENKINS, CARROLL	04012021		RETIREE HEALTH INSURANCE	3,101.22
					Total :	3,101.22
127235	4/7/2021	13247 JOHNSON, DOUGLAS	04012021		RETIREE HEALTH INSURANCE	891.00

Voucher List
CITY OF SANTEE

Bank code : ubgen

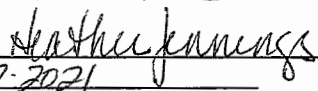
Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
127235	4/7/2021	13247 13247 JOHNSON, DOUGLAS	(Continued)			Total : 891.00
127236	4/7/2021	14092 KOA CORPORATION	JC02060-5	53242	LOCAL ROADWAY SAFETY PLAN	18,025.00
						Total : 18,025.00
127237	4/7/2021	10997 LAKESIDE FIRE PREVENTION	187	53134	SOFTWARE SUBSCRIPTION FEES	548.00
						Total : 548.00
127238	4/7/2021	10079 MEDICO HEALTHCARE LINEN	20372416 20372418	53090 53090	MEDICAL LINEN SERVICE MEDICAL LINEN SERVICE	20.62 13.01
						Total : 33.63
127239	4/7/2021	10507 MITEL LEASING	903105399 903105429 903105484 903105498		MONTHLY RENTAL 122670 MONTHLY RENTAL 124690 MONTHLY RENTAL 130737 MONTHLY RENTAL 131413	1,878.80 312.66 276.33 266.16
						Total : 2,733.95
127240	4/7/2021	14242 NEW LINCOLN CENTER LLC	MAP 4012021	53335	MAP GRANT FOR FOREVER HAIR A	6,814.00
						Total : 6,814.00
127241	4/7/2021	10092 PHOENIX GROUP INFO SYSTEMS	022021031	53158	PARKING CITE PROCESS SVCS	361.80
						Total : 361.80
127242	4/7/2021	10150 PROBUILD	04-0289600	53093	BUILDING MATERIALS & SUPPLIES	521.14
						Total : 521.14
127243	4/7/2021	12062 PURETEC INDUSTRIAL WATER	1872097	53061	DEIONIZED WATER SERVICE	52.09
						Total : 52.09
127244	4/7/2021	13455 ROTO-ROOTER	11185 11186	53043 53043	PLUMBING REPAIRS PLUMBING REPAIRS	155.00 155.00
						Total : 310.00
127245	4/7/2021	10768 SANTEE SCHOOL DISTRICT	8919	53137	JOINT USE FIELDS - RIO SECO	238.96
						Total : 238.96
127246	4/7/2021	13554 SC FUELS	0362723	53078	FLEET CARD FUELING	1,651.25

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
127246	4/7/2021	13554 13554 SC FUELS	(Continued)			Total : 1,651.25
127247	4/7/2021	13271 SHI INTERNATIONAL CORP	B13160979	53310	SUBSCRIPTION RENEWAL	5,535.86
						Total : 5,535.86
127248	4/7/2021	10217 STAPLES ADVANTAGE	3471853498	53124	OFFICE SUPPLIES - DDS	60.21
						Total : 60.21
127249	4/7/2021	10250 THE EAST COUNTY	00104074		NOTICE OF INTENT - HOUSING ELE	360.50
						Total : 360.50
127250	4/7/2021	11882 THOMPSON, ZANE	04012021		TUITION REIMBURSEMENT	299.00
						Total : 299.00
127251	4/7/2021	12480 UNITED SITE SERVICES	114-11732603	53173	TEMP FENCE	399.57
						Total : 399.57
127252	4/7/2021	12888 VINYARD DOORS	102669	53233	APPARATUS GATE & DOOR REPAIR	310.00
						Total : 310.00
127253	4/7/2021	12470 VIVINT SOLAR	20STE-PV00632		REFUNDABLE DEPOSIT	163.70
						Total : 163.70
42 Vouchers for bank code : ubgen						Bank total : 270,077.72
42 Vouchers in this report						Total vouchers : 270,077.72

Prepared by: 

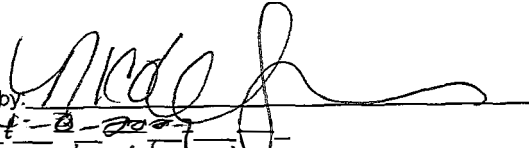

Date: 4-7-2021

Approved by: 

Date: 4-7-2021

Bank code : ubgen

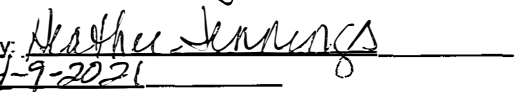
Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
127254	4/8/2021	10208 ANTHEM EAP	80208		EMPLOYEE ASSISTANCE PROGRAM	286.38
					Total :	286.38
127255	4/8/2021	10334 CHLIC	2805223		HEALTH/DENTAL INSURANCE	201,292.99
					Total :	201,292.99
127256	4/8/2021	10785 RELIANCE STANDARD LIFE	April 21		VOLUNTARY LIFE INSURANCE	657.67
					Total :	657.67
127257	4/8/2021	10424 SANTEE FIREFIGHTERS	PPE 03/31/21		DUES/PEC/BENEVOLENT/BC EXP	2,629.35
					Total :	2,629.35
127258	4/8/2021	10776 STATE OF CALIFORNIA	PPE 03/31/21		WITHHOLDING ORDER	308.30
					Total :	308.30
127259	4/8/2021	10001 US BANK	PPE 03/31/21		PARS RETIREMENT	468.00
					Total :	468.00
6 Vouchers for bank code : ubgen						Bank total : 205,642.69
6 Vouchers in this report						Total vouchers : 205,642.69

Prepared by: 
 Date: 4-8-2021
 Approved by: 
 Date: 4-8-2021

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
81949	4/12/2021	10956 FRANCHISE TAX BOARD	PPE 03/31/21		CA STATE TAX WITHHELD	29,034.08
Total :						29,034.08
81967	4/12/2021	10955 DEPARTMENT OF THE TREASURY	April 21 Retirees PPE 03/31/21		FEDERAL WITHHOLDING TAX FED WITHHOLD & MEDICARE	75.00 85,454.99
Total :						85,529.99
516227	4/12/2021	10959 VANTAGE TRANSFER AGENT/457	PPE 03/31/21		ICMA - 457	32,848.81
Total :						32,848.81
517863	4/12/2021	10782 VANTAGEPOINT TRNSFR AGT/801801	PPE 03/31/21		RETIREE HSA	4,019.12
Total :						4,019.12
4 Vouchers for bank code : ubgen						Bank total : 151,432.00
4 Vouchers in this report						Total vouchers : 151,432.00

Prepared by: 
Date: 4-9-2021

Approved by: 
Date: 4-9-2021

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
3215	4/13/2021	10353 PERS	03 21 5		RETIREMENT PAYMENT	119,227.99


Total : 119,227.99

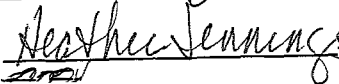
1 Vouchers for bank code : ubgen

Bank total : 119,227.99

1 Vouchers in this report


Total vouchers : 119,227.99


Prepared by: 
Date: 4-9-2021

Approved by: 
Date: 4-9-2021

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount	
929	4/13/2021	10482 TRISTAR RISK MANAGEMENT	112447		WORKERS' COMPENSATION	32,907.24	
						Total :	32,907.24
1 Vouchers for bank code : ubgen						Bank total :	32,907.24
1 Vouchers in this report						Total vouchers :	32,907.24

Prepared by: 
Date: 4-14-2021

Approved by: 
Date: 4-19-21

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
127260	4/14/2021	14248 AECOM TECHNICAL SERVICES INC	Ref000070556		LI Refund Cst #02106	31.00
					Total :	31.00
127261	4/14/2021	10292 ALL STAR FIRE EQUIPMENT INC	230469	52982	SAFETY EQUIPMENT	1,732.40
					Total :	1,732.40
127262	4/14/2021	10010 ALLIANT INSURANCE SERVICES INC	1597952		SPRING HAPPENINGS	481.00
					Total :	481.00
127263	4/14/2021	10021 BOUND TREE MEDICAL LLC	83990279	53230	EMS SUPPLIES	158.97
			84000761	53230	EMS SUPPLIES	373.74
			84000763	53230	EMS SUPPLIES	738.32
			84000764	53230	EMS SUPPLIES	1,102.67
			84000765	53230	EMS SUPPLIES	1,212.62
			84000766	53230	EMS SUPPLIES	63.58
					Total :	3,649.90
127264	4/14/2021	10668 CALIFORNIA BUILDING STANDARDS	JAN-MAR 2021		SB 1473 JAN - MAR 2021	598.50
					Total :	598.50
127265	4/14/2021	11144 CARBY, JOSH	03312021		PARAMEDIC LICENSE RENEWAL	225.00
					Total :	225.00
127266	4/14/2021	10569 CHARLENE'S DANCE N CHEER	330		INSTRUCTOR PAYMENT	1,649.00
					Total :	1,649.00
127267	4/14/2021	10032 CINTAS CORPORATION #694	4079377673	53084	UNIFORM/PARTS CLEANER RNTL	62.48
			4079501107	53084	VEHICLE SUPPLIES	44.39
					Total :	106.87
127268	4/14/2021	10719 COUNTY OF SAN DIEGO	3741		REFERENDUM SIGNATURE VERIFI	29,972.00
					Total :	29,972.00
127269	4/14/2021	10333 COX COMMUNICATIONS	094486701		CITY HALL GROUP BILL	3,217.86
					Total :	3,217.86
127270	4/14/2021	10841 DANIELS, ADAM	041121		EMPLOYEE REIMBURSEMENT	362.76

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
127270	4/14/2021	10841 10841 DANIELS, ADAM	(Continued)			Total : 362.76
127271	4/14/2021	10433 DEPARTMENT OF CONSERVATION	JAN-MAR 2021		SMIP JAN-MAR 2021	2,224.41 Total : 2,224.41
127272	4/14/2021	10054 ELDERHELP OF SAN DIEGO	10312020 12312020-1 12312020-2	52855 53216 53279	CDBG SUBRECIPIENT - CV RESPO CDBG SUBRECIPIENT CDBG SUBRECIPIENT - CV RESPO	758.50 3,000.00 2,162.88 Total : 5,921.38
127273	4/14/2021	11929 ENGINEERING NEWS RECORD (ENR)	1107018177		ENR SUBSCRIPTION RENEW	108.00 Total : 108.00
127274	4/14/2021	10251 FEDERAL EXPRESS	7-133-38191-A 7-283-23914		SHIPPING CHARGES SHIPPING CHARGES	21.00 86.19 Total : 107.19
127275	4/14/2021	10066 GLOBALSTAR USA LLC	000000013010311		SATELLITE PHONE SERVICE	94.84 Total : 94.84
127276	4/14/2021	11196 HD SUPPLY FACILITIES	9190015725 9190076181	53072 53072	STATION SUPPLIES STATION SUPPLIES	245.61 108.96 Total : 354.57
127277	4/14/2021	14249 KEMP, BARRETT	03312021		PARAMEDIC LICENSE RENEWAL	225.00 Total : 225.00
127278	4/14/2021	11009 KNN PUBLIC FINANCE	2454		CONTINUING DISCLOSURE ANNUA	500.00 Total : 500.00
127279	4/14/2021	14253 KUUBIX ENERGY INC.	20STE-PV00453		PERMIT REFUND	163.69 Total : 163.69
127280	4/14/2021	10174 LN CURTIS AND SONS	INV472669	53323	FIREFIGHTING EQUIPMENT	3,279.91 Total : 3,279.91
127281	4/14/2021	10079 MEDICO HEALTHCARE LINEN	20376189 20376191	53090 53090	MEDICAL LINEN SERVICE MEDICAL LINEN SERVICE	20.62 13.01

Voucher List
CITY OF SANTEE

Bank code : ubgen

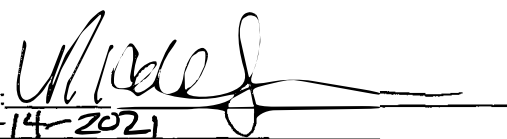
Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
127281	4/14/2021	10079 10079 MEDICO HEALTHCARE LINEN	(Continued)			Total : 33.63
127282	4/14/2021	12695 NAKOA PERFORMANCE	01012021-A	53308	FD WELLNESS PROGRAM	13,800.00
						Total : 13,800.00
127283	4/14/2021	11878 NATIONAL AUTO FLEET GROUP	WF1103	53145	2020 PB LOADER	84,436.81
						Total : 84,436.81
127284	4/14/2021	10344 PADRE DAM MUNICIPAL WATER DIST	29700016		CONSTRUCTION METER	256.58
						Total : 256.58
127285	4/14/2021	11888 PENSKE FORD	10330343	53092	VEHICLE REPAIR PART	63.36
			10339466	53092	VEHICLE REPAIR PARTS	4.49
			158916	53092	VEHICLE REPAIR	579.25
						Total : 647.10
127286	4/14/2021	10161 PRIZM JANITORIAL SERVICES INC	27044	53074	CUSTODIAL SERVICES - OFFICES	600.00
						Total : 600.00
127287	4/14/2021	12062 PURETEC INDUSTRIAL WATER	1873479	53061	DEIONIZED WATER SERVICE	104.18
						Total : 104.18
127288	4/14/2021	12994 RINCON CONSULTANTS, INC	29239	53293	SANTEE CAPDASH & IMPLEMENT	1,901.25
						Total : 1,901.25
127289	4/14/2021	10606 S.D. COUNTY SHERIFF'S DEPT.	SHERIFF-JAN 2021		LAW ENFORCEMENT JAN 2021	1,310,689.72
						Total : 1,310,689.72
127290	4/14/2021	13171 SC COMMERCIAL, LLC	1833539-IN	53077	DELIVERED FUEL	252.99
			1835551-IN	53077	DELIVERED FUEL	1,246.24
						Total : 1,499.23
127291	4/14/2021	13554 SC FUELS	0367811	53078	FLEET CARD FUELING	1,850.49
						Total : 1,850.49
127292	4/14/2021	11072 SHOW STOPPER WAX PRODUCTS	5904	53022	VEHICLE SUPPLIES	206.88
						Total : 206.88

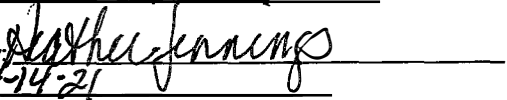
Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
127293	4/14/2021	10217 STAPLES ADVANTAGE	3472336153	53098	OFFICE SUPPLIES	96.03
			3472718693	53097	OFFICE SUPPLIES-FINANCE	96.38
					Total :	192.41
127294	4/14/2021	14126 SULTAN'S MEDITERRANEAN	23506	53338	CDBG MAP GRANT	10,000.00
					Total :	10,000.00
127295	4/14/2021	10250 THE EAST COUNTY	00103775	53127	INVITATION TO BID - SANTEE LAKE	889.00
			00104232	53039	CLERK OFFICE PUBLICATIONS	297.50
					Total :	1,186.50
127296	4/14/2021	11193 TMAN TRAFFIC SUPPLY	12019	53062	TRAFFIC SIGNS & SUPPLIES	13.30
					Total :	13.30
127297	4/14/2021	10482 TRISTAR RISK MANAGEMENT	102612	53227	FY 20/21 CLAIMS SERVICES	7,197.25
					Total :	7,197.25
127298	4/14/2021	10692 UNITED PARCEL SERVICE	000006150x121		SHIPPING CHARGES	28.60
					Total :	28.60
127299	4/14/2021	11194 USAFACT INC	1032724		BACKGROUND CHECK	74.08
					Total :	74.08
127300	4/14/2021	10642 USPS-POC	04122021		POSTAGE REIMBURSEMENT	2,890.55
					Total :	2,890.55
127301	4/14/2021	10475 VERIZON WIRELESS	9875231144		WIFI SERVICE & EQUIPMENT	1,144.30
					Total :	1,144.30
127302	4/14/2021	10148 WESTAIR GASES & EQUIPMENT INC	11206623	53064	WELDING SUPPLIES	436.01
					Total :	436.01
43 Vouchers for bank code : ubgen					Bank total :	1,494,194.15
43 Vouchers in this report					Total vouchers :	1,494,194.15

Bank code : ubgen

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
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Prepared by: 
Date: 4-14-2021

Approved by: 
Date: 4-14-21

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
127303	4/14/2021	10001 US BANK	0165653		BADGE	137.89
			0165654		BADGE	134.66
			0165655		BADGE	234.48
			02095		SHOP SUPPLIES	60.51
			02405		MATERIALS & SUPPLIES	134.80
			02926		SHOP SUPPLIES	79.91
			030921		TRAINING APP	9.99
			061631		HARDWARE - WOODGLEN VISTA	193.72
			073415		COMPUTER MAINTENANCE	60.32
			075714		OFFICE SUPPLIES	2.18
			07688		WEARABLES	32.28
			1094		SENIOR PROGRAM SUPPLIES	42.16
			1121		SIGNS	1,617.14
			112-2690068-58274		PLANNING SUPPLIES	15.35
			112-4255918-8423412		SAFETY APPAREL	87.64
			112-5142274-8097021		EQUIPMENT REPAIR PARTS	24.52
			112-6532509-4979430		MISC OFFICE SUPPLIES	25.85
			112-8995988-3566638		SAFETY EQUIPMENT	365.28
			1208324706		ONLINE MEETING SERVICES	30.00
			1208347161		ONLINE MEETING SOFTWARE	129.35
			1208352287		ONLINE MEETING SERVICE	129.35
			13076		STAFF RETREAT	70.78
			138000		REFERENCE MANUALS	537.00
			1589321260011		PRINTING CHARGE	305.45
			161		SUPPLIES	18.00
			1629829		CITY COUNCIL RETREAT	95.90
			1643447		BOLLARDS	135.01
			17245		TARP	20.71
			172978		MEETING SUPPLIES	13.12
			175851		SUPPLIES- MAST PARK	56.63
			1792201		BOLLARDS	698.10
			21746		STAFF RETREAT	56.77
			2344970001		ONLINE MEETING SERVICE	87.18
			2374		BUILDING FORMS	275.84
			2409		ENG./PLAN. FORMS	225.20
			2436		TRAINING MANUALS	756.19

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
127303	4/14/2021	10001 US BANK	(Continued)			
			25517080		SPRING HAPPENINGS	49.22
			258422A		REFERENCE MANUALS	40.89
			2618624		LIGHT POLE SUPPLIES	73.53
			266361061614883290		CITY PROMO	34.34
			27509		STAFF RETREAT	220.99
			2824231		MESSAGE BOARD - PARTS	4.04
			29591		REPAIR SUPPLIES- WOODGLEN VI	55.17
			2SMBMK		OES ENGINE	162.98
			2SMBMK-2		OES ENGINE	162.98
			2YF573971X41486OL		TRAINING REGISTRATION	49.00
			3000272		GFOA VIRTUAL CONFERENCE	420.00
			3000280		GFOA VIRTUAL CONFERENCE	420.00
			31486		SHOP SUPPLIES	12.90
			3-360502		EQUIPMENT REPAIR PARTS	15.06
			3-360543		EQUIPMENT REPAIR PARTS	6.23
			35204		STAFF RETREAT	92.95
			3536254		HAND SOAP REFILL	425.22
			369032		DISC GOLF MAT & SUPPLIES	199.90
			37819-2020-101		WASTE DISPOSAL	234.50
			3786		TYLER CONNECT 2021 CONFEREN	595.00
			38073		EQUIPMENT ID LABELS	80.82
			3901037		SMOKE DETECTORS	91.58
			400057		TRAINING MATERIALS	212.94
			4493047		BOLLARDS	537.39
			4587		TEEN CENTER SUPPLIES	16.00
			4741		TYLER VIRTUAL CONFERENCE	595.00
			4827		SENIOR PROGRAM SUPPLIES	5.39
			50583		PHOTO PRINTING	80.81
			50714		OPS YARD SUPPLIES	15.02
			55297		FENCE REPAIR - WOODGLEN VIST.	13.53
			57715		FOUNTAIN SUPPLIES	118.50
			582		TEEN CENTER SUPPLIES	10.00
			6098657		LIGHTPOLE SUPPLIES	125.30
			6154-8		PAINT	72.39
			6419		SANTEE BLUEGRASS FESTIVAL	80.19
			66047		SMALL TOOLS	32.28

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
127303	4/14/2021	10001 US BANK	(Continued)			
			69991		MATERIALS & SUPPLIES	20.36
			7254		SENIOR PROGRAM SUPPLIES	23.70
			7298660		PASSPORT SUPPLIES	96.96
			7471614		SANTEE SUNSET 5K	60.00
			78588		MATERIALS & SUPPLIES	17.24
			81230		PROFESSIONAL DEVELOPMENT	145.00
			83290		CITY BRANDING	9.51
			83489		FOUNTAIN SUPPLIES	118.46
			8556610-31554		PROCARD USED IN ERROR	5.99
			86216		STAFF RETREAT	55.18
			88829		LIGHT POLE MAINTENANCE	135.46
			89211		SMALL TOOLS	71.33
			8972212		LIGHT POLE REPLACEMENT	142.02
			9084936360635221.1.3		TRAINING SUPPLIES	61.96
			9189401449		FOUNTAIN SUPPLIES	236.83
			9217		RECORDS MANAGEMENT TRAININ	120.00
			9237		OVERCHARGE REFUND	-15.00
			9892		OFFICE SUPPLIES	27.47
			9BCCA0A56-0002		FITNESS PROGRAM	139.95
			CAS27		CARLTON RIVER BOTTOM FIRE	245.47
			CR1792201		CREDIT - RETURN	-698.10
			CR-WM34121965		CREDIT - WASHER FOR STATION 5	-1,044.85
			F66619/1		VEHICLE REPAIR PARTS	6.24
			P17401		CA PARAMEDIC LICENSE RENEWA	275.00
			PD-47693		VACTOR SUPPLIES	190.40
			Q490958		EQUIPMENT REPAIR PARTS	28.88
			S 52251		VEHICLE REPAIR PARTS	233.27
			skillpath03162021		ADVANCED EXCEL TRAINING	143.00
			WG32112727		WASHER FOR STATION 5	1,044.85
			WM34121965		WASHER FOR STATION 5	1,044.85
Total :						15,202.73

1 Vouchers for bank code : ubgen

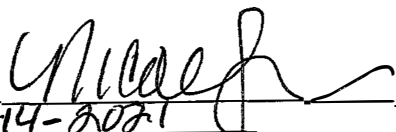
Bank total : 15,202.73

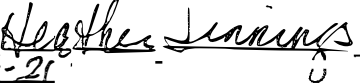
1 Vouchers in this report

Total vouchers : 15,202.73

Bank code : ubgen

<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
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Prepared by: 
Date: 4-14-2021

Approved by: 
Date: 4-14-21

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
931	4/14/2021	12774 LIABILITY CLAIMS ACCOUNT	03312021		LIABILITY CLAIMS	595.00
Total :						595.00
1 Vouchers for bank code : ubgen						Bank total : 595.00
1 Vouchers in this report						Total vouchers : 595.00

Prepared by: Mike J

Date: 4-14-2021

Approved by: Debbie Jennings

Date: 4-19-2021

MEETING DATE April 28, 2021

ITEM TITLE APPROVAL OF THE EXPENDITURE OF \$50,913.07 FOR MARCH 2021 LEGAL SERVICES AND REIMBURSABLE COSTS

DIRECTOR/DEPARTMENT Tim K. McDermott / Finance *tm*

SUMMARY

Legal services invoices proposed for payment for the month of March 2021 total \$50,913.07 as follows:

1) General Retainer Services	\$ 15,510.00
2) Labor & Employment	2,055.40
3) Litigation & Claims	19,600.80
4) Special Projects - General Fund	7,733.57
5) Third-Party Reimbursable Projects	<u>6,013.30</u>
Total	<u>\$ 50,913.07</u>

FINANCIAL STATEMENT *tm*

Account Description: Legal Services

General Fund:	AMOUNT	BALANCE
Adopted Budget	\$ 717,120.00	
Revised Budget	\$ 757,120.00	
Prior Expenditures	(323,448.37)	
Current Request	(44,899.77)	\$ 388,771.86
Other Funds (excluding third-party reimbursable items):		
Adopted Budget	\$ 1,000.00	
Revised Budget	\$ 85,000.00	
Prior Expenditures	(2,968.20)	
Current Request	-	\$ 82,031.80

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *MSB*

Approve the expenditure of \$50,913.07 for March 2021 legal services and reimbursable costs.

ATTACHMENTS

1. Legal Services Billing Summary March 2021
2. Legal Services Billing Recap FY 2020-21



LEGAL SERVICES BILLING SUMMARY
March 2021

Attachment 1

DESCRIPTION	CURRENT AMOUNT	INVOICE NUMBER	NOTES
Retainer 1001.00.1201.51020	\$ 15,510.00 <u>15,510.00</u>	901645	
Labor & Employment: Labor & Employment 1001.00.1201.51020	 2,055.40 <u>2,055.40</u>	 901646	
Litigation & Claims: Litigation & Claims	7,958.70	901648	
Affordable Housing Coalition of San Diego County	2,029.60	901664	
Parcel 4 Litigation	8,089.20	901649	
Brooks Receivership 1001.00.1201.51020	1,523.30 <u>19,600.80</u>	901652	
Special Projects (General Fund): Community Oriented Policing	1,925.87	901654	
Theater	119.50	901655	
CEQA Special Advice	932.10	901658	
Water Quality	1,720.80	901665	
General Elections	430.20	901666	
Housing Element 1001.00.1201.51020	2,318.30 <u>7,446.77</u>	901647	
Special Projects - COVID-19 (General Fund) COVID-19 Emergency Response 1001.99.9001.51020	 <u>286.80</u>	901650	
Third-Party Reimbursable: Parcel 4 Hotel	549.70	901667	excelena.10.05
Castlerock (Weston)	782.90	901653	spp0801a.10.05
MSCP Subarea Plan	184.20	901656	spp2101a.91.05
HomeFed Project	1,025.50	901657	spp1704a.10.05
Fanita Ranch Referendum	119.50	901651	spp1704a.10.05
Riverview at Town Center	2,486.70	901659	grd1330a.20.05
Redevelopment of Carlton Oaks Golf Course	556.50	901660	cup1906a.10.05
Laurel Heights	308.30	901663	tm20002a.10.05
	<u>6,013.30</u>		
Total	<u>\$ 50,913.07</u>		

**LEGAL SERVICES BILLING RECAP
FY 2020-21**

Attachment 2

<u>Category</u>	<u>Adopted Budget</u>	<u>Revised Budget</u>	<u>Previously Spent Year to Date</u>	<u>Available Balance</u>	<u>Current Request Mo/Yr</u>	<u>Amount</u>
General Fund:						
General / Retainer	\$ 186,120.00	\$ 186,120.00	\$ 124,411.83	\$ 61,708.17	Mar-21	\$ 15,510.00
Labor & Employment	60,000.00	60,000.00	23,528.90	36,471.10	Mar-21	2,055.40
Litigation & Claims	210,000.00	210,000.00	56,923.90	153,076.10	Mar-21	19,600.80
Special Projects	261,000.00	301,000.00	118,583.74	182,416.26	Mar-21	7,733.57
Total	<u>\$ 717,120.00</u>	<u>\$ 757,120.00</u>	<u>\$ 323,448.37</u>	<u>\$ 433,671.63</u>		<u>\$ 44,899.77</u>
Other City Funds:						
Highway 52 Coalition	\$ 5,000.00	\$ 5,000.00	\$ 95.60	\$ 4,904.40		\$ -
MHFP Commission	5,000.00	5,000.00	23.90	4,976.10		-
Capital Projects	-	75,000.00	2,848.70	72,151.30		-
Total	<u>\$ 10,000.00</u>	<u>\$ 85,000.00</u>	<u>\$ 2,968.20</u>	<u>\$ 82,031.80</u>		<u>\$ -</u>
Third-Party Reimbursable:						
Total			<u>\$ 478,339.12</u>		Mar-21	<u>\$ 6,013.30</u>

Total Previously Spent to Date FY 2020-21	
General Fund	\$ 323,448.37
Other City Funds	2,968.20
Applicant Deposits or Grants	<u>478,339.12</u>
Total	<u>\$ 804,755.69</u>

Total Proposed for Payment	
General Fund	\$ 44,899.77
Other City Funds	-
Applicant Deposits or Grants	<u>6,013.30</u>
Total	<u>\$ 50,913.07</u>

MEETING DATE April 28, 2021

ITEM TITLE RESOLUTION INITIATING PROCEEDINGS AND ORDERING THE PREPARATION OF AN ENGINEER'S REPORT FOR THE FY 2021-22 SANTEE LANDSCAPE MAINTENANCE DISTRICT ANNUAL LEVY OF ASSESSMENTS

DIRECTOR/DEPARTMENT Tim K. McDermott, Finance *tm*

SUMMARY

Santee Landscape Maintenance District ("SLMD") is a City-wide district and is comprised of 18 zones, ten of which are assessed and maintained by the City. A combination of contract maintenance and City forces maintain the zones. Maps depicting each zone and the areas of maintenance are attached.

The City Council is required to take three distinct steps in order to proceed with the annual levy of assessments. First, the City Council must formally initiate the proceedings and direct the preparation of an engineer's report, analyzing existing and proposed improvement to the District. Second, the City Council must take formal action to either approve or modify and approve the proposed engineer's report, formally declare its intention to provide for the annual levy of assessments and provide notice of a public hearing. Finally, the City Council must hold the public hearing and provide for the annual levy of assessments.

This item takes the necessary first step in the process by initiating proceedings and ordering the preparation of an engineer's report. The second step of approving the proposed engineer's report, declaring the intention to levy assessments and providing notice of a public hearing is scheduled to occur at the June 9, 2021 City Council meeting. The final step of holding the public hearing and providing for the annual levy of assessments is scheduled to occur at the July 14, 2021 City Council meeting.

FINANCIAL STATEMENT *tm*

Staff costs for the preparation of the engineer's report are included in the FY 2020-21 adopted budget

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION *MDB*

Adopt the resolution to initiate proceedings and order the preparation of an engineer's report.

ATTACHMENT

Resolution (w/Exhibits – Assessment Diagrams)

RESOLUTION NO.

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA,
INITIATING PROCEEDINGS AND ORDERING THE PREPARATION OF AN
ENGINEER'S REPORT FOR THE FY 2021-22 SANTEE LANDSCAPE
MAINTENANCE DISTRICT ANNUAL LEVY OF ASSESSMENTS**

WHEREAS, the City Council of the City of Santee desires to initiate proceedings for the annual levy of assessments for a landscape district pursuant to the terms and provisions of the "Landscaping and Lighting Act of 1972", being Division 15, Part 2 of the Streets and Highways Code of the State of California, Article XIII D of the California Constitution, and the Proposition 218 Omnibus Implementation Act (commencing with California Government Code Section 53750) (collectively the "Law"), in what is known and designated as: **SANTEE LANDSCAPE MAINTENANCE DISTRICT** ("District"); and

WHEREAS, these proceedings for the annual levy of assessments shall relate to the fiscal year commencing July 1, 2021; and

WHEREAS, there has been submitted to this City Council for its consideration at this time, diagrams, copies of which are attached hereto and by this reference incorporated herein, showing the boundaries of the areas of assessment for the above referenced fiscal year, said diagrams showing and further describing in general the improvements proposed to be maintained in said District, said description being sufficient to identify the areas proposed to be assessed for said maintenance thereof; and

WHEREAS, there are no proposed new improvements or any substantial changes in existing improvements; and

WHEREAS, the Law requires a written report, consisting of: plans and specifications of the area of the improvements to be maintained; an estimate of the costs for maintaining the improvements, including incidental expenses in connection therewith; a diagram of the areas proposed to be assessed; and a parcel-by-parcel listing of the assessments of the estimated costs for maintaining the improvements in proportion to the special benefits to be conferred on such parcels.

NOW, THEREFORE BE IT RESOLVED, by the City Council of the City of Santee, California, as follows:

SECTION 1. That the above recitals are all true and correct.

SECTION 2. That diagrams, entitled **SANTEE LANDSCAPE MAINTENANCE DISTRICT** as submitted to this City Council, showing the boundaries of the proposed areas to be assessed and showing the improvements to be maintained, are hereby approved, and copies thereof shall be on file in the City Clerk's Office and open to public inspection. The proposed parcels and properties within said areas are those to be assessed to pay certain costs and expenses for said maintenance.

RESOLUTION NO.

SECTION 3. That the maintenance work within the area proposed to be assessed shall be the maintenance or servicing, or both, of any facilities which are appurtenant to any of the foregoing or which are necessary or convenient for the maintenance or servicing thereof in accordance with the Law.

SECTION 4. There are no proposed new improvements or any substantial changes to existing improvements.

SECTION 5. That the Director of Finance is hereby ordered to cause to be prepared and to file with this City Council, the Report relating to said annual assessment and levy in accordance with the Law.

SECTION 6. That upon completion, said Report shall be filed with the City Clerk, who shall then provide all notices required by law regarding the intent to approve assessments and hold a public hearing and submit the report to this City Council for its consideration pursuant to sections 22623 and 22624 of the Streets and Highways Code.

ADOPTED by the City Council of the City of Santee, California, at a regular meeting thereof held this 28th day of April, 2021, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

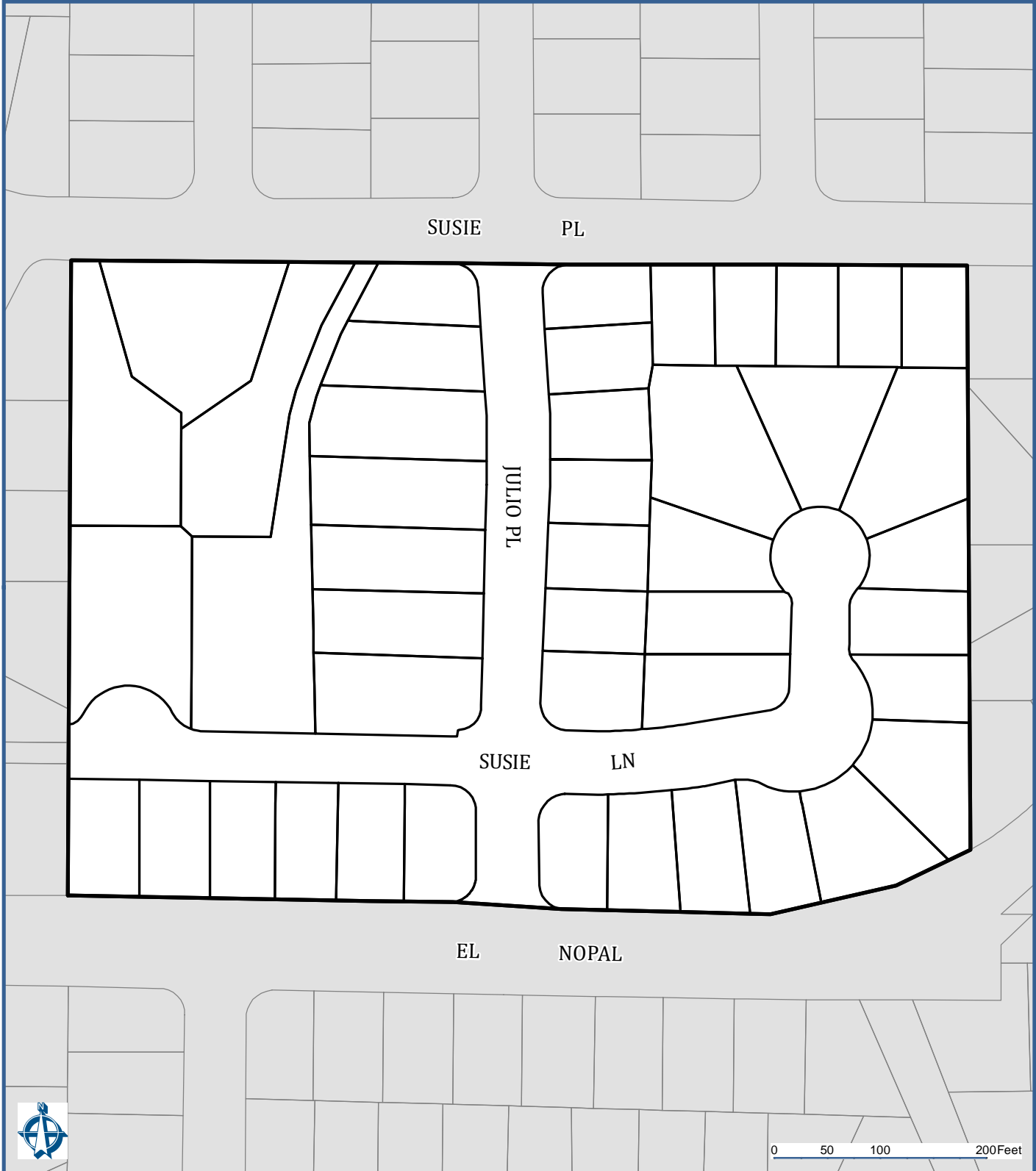
APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

ANNETTE ORTIZ, CMC, CITY CLERK

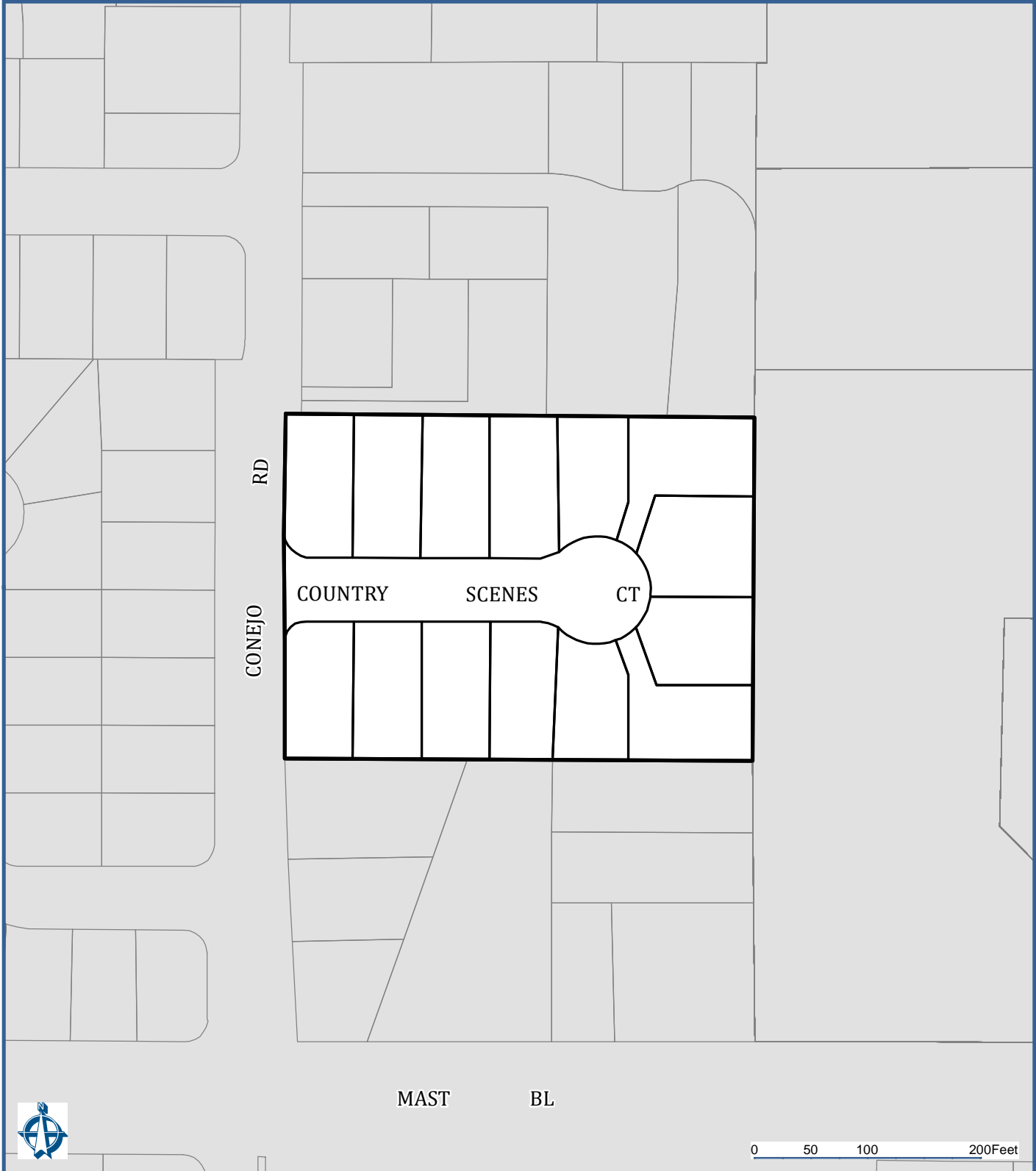
EXHIBITS A-J: Vicinity Map (Diagrams)



CITY OF SANTEE ASSESSMENT DIAGRAM

SANTEE LANDSCAPE MAINTENANCE DISTRICT
 ZONE 1
 (EL NOPAL ESTATES)
 EXHIBIT A

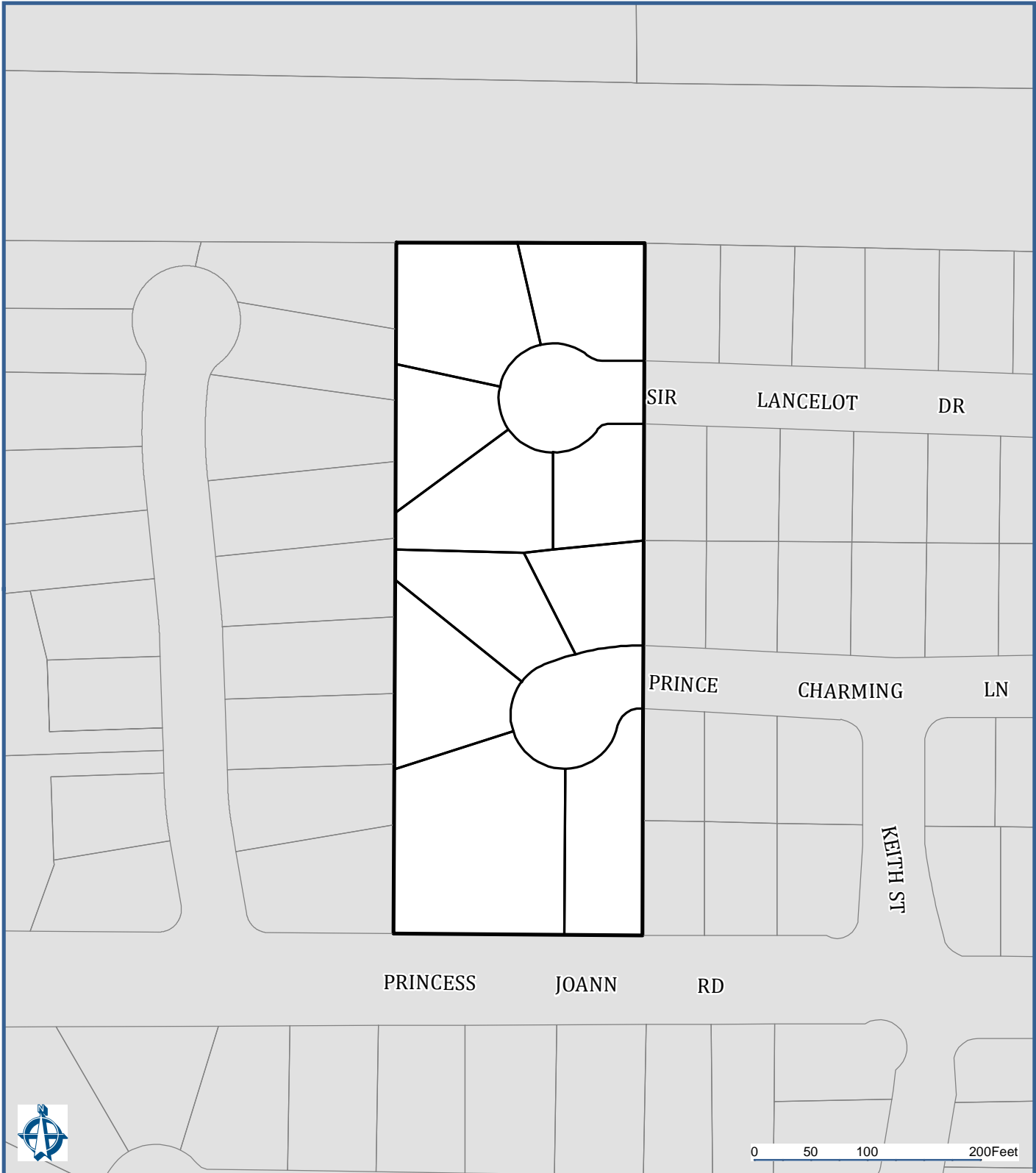




CITY OF SANTEE ASSESSMENT DIAGRAM

SANTEE LANDSCAPE MAINTENANCE DISTRICT
 ZONE 3
 (COUNTRY SCENES)
 EXHIBIT B

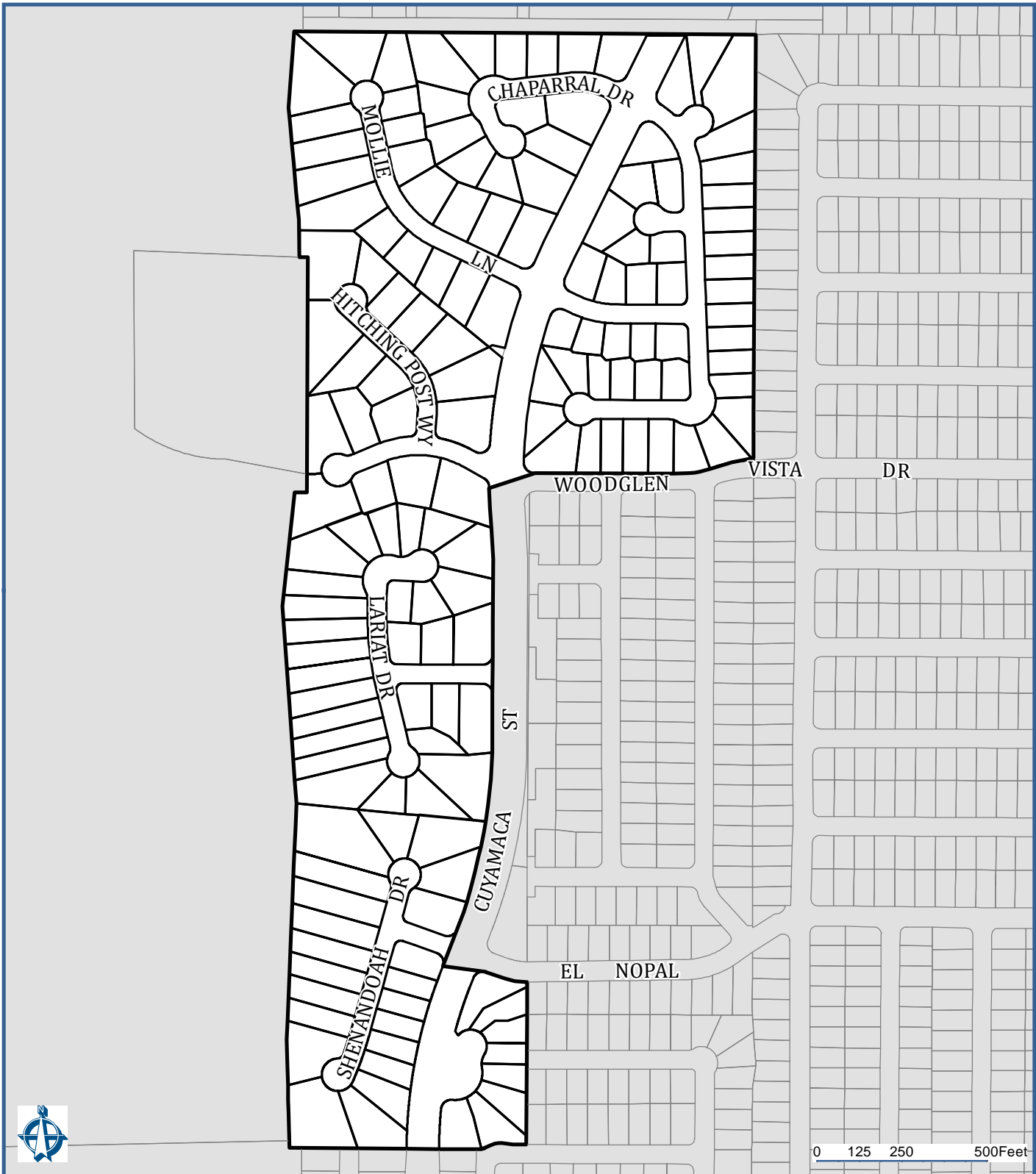




CITY OF SANTEE ASSESSMENT DIAGRAM

SANTEE LANDSCAPE MAINTENANCE DISTRICT
 ZONE 4
 (CAMELOT HEIGHTS)
 EXHIBIT C





CITY OF SANTEE ASSESSMENT DIAGRAM

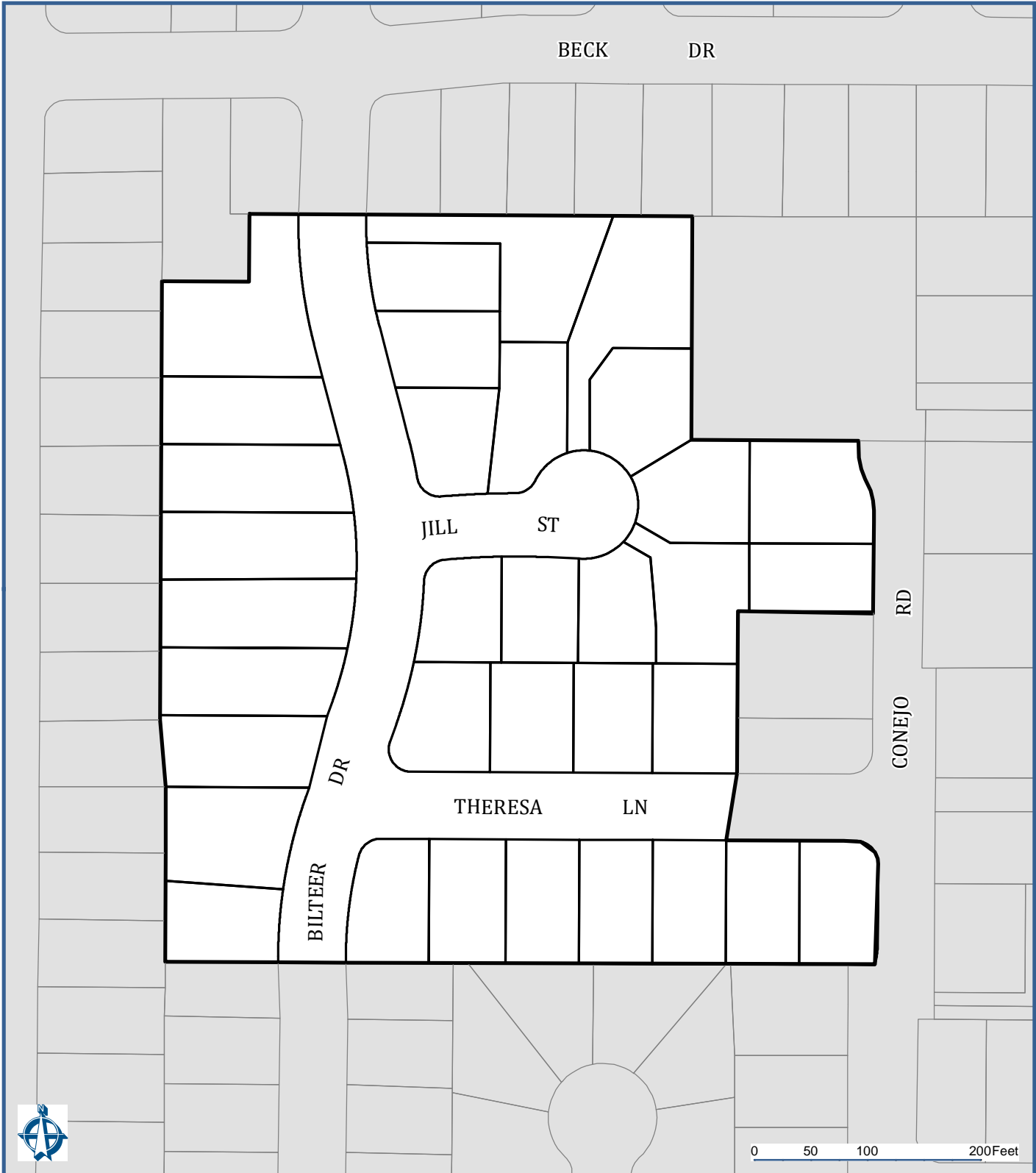
SANTEE LANDSCAPE MAINTENANCE DISTRICT

ZONE 8

(SILVER COUNTRY ESTATES)

EXHIBIT D





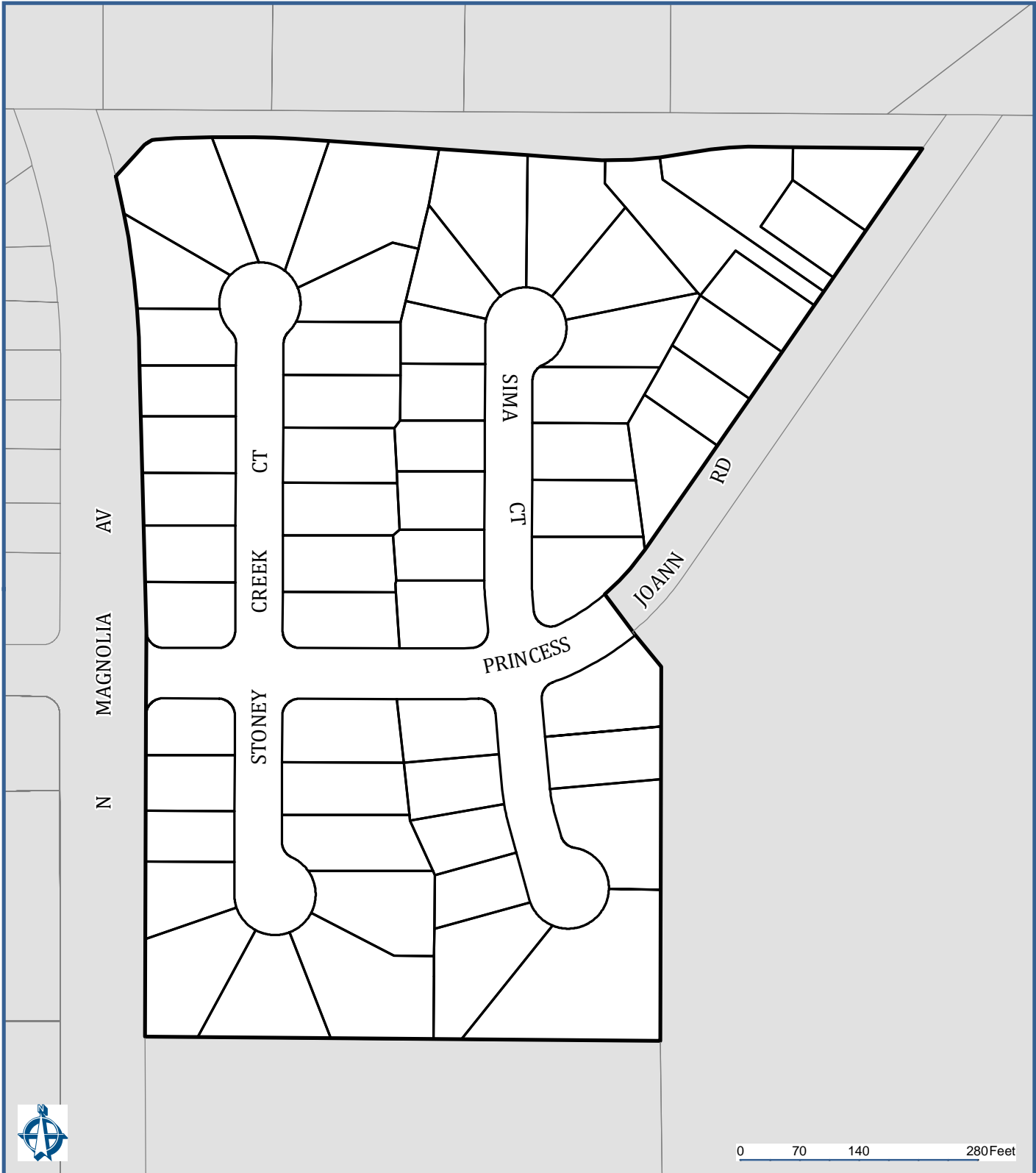
CITY OF SANTEE ASSESSMENT DIAGRAM

SANTEE LANDSCAPE MAINTENANCE DISTRICT
 ZONE 9
 (TIMBERLANE/MATTAZARO)
 EXHIBIT E



0 50 100 200Feet

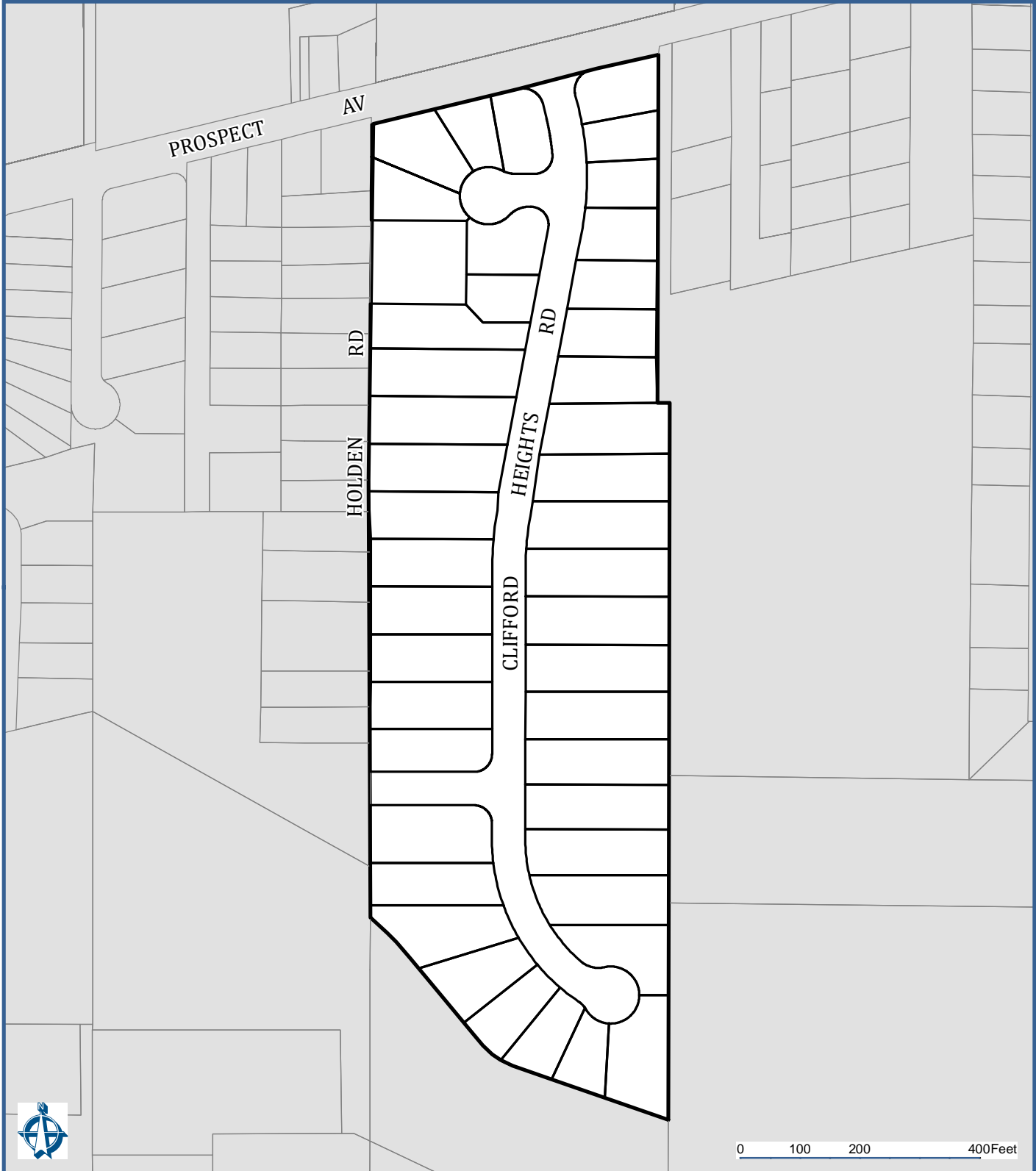




CITY OF SANTEE ASSESSMENT DIAGRAM

SANTEE LANDSCAPE MAINTENANCE DISTRICT
 ZONE 12
 (THE HEIGHTS)
 EXHIBIT F





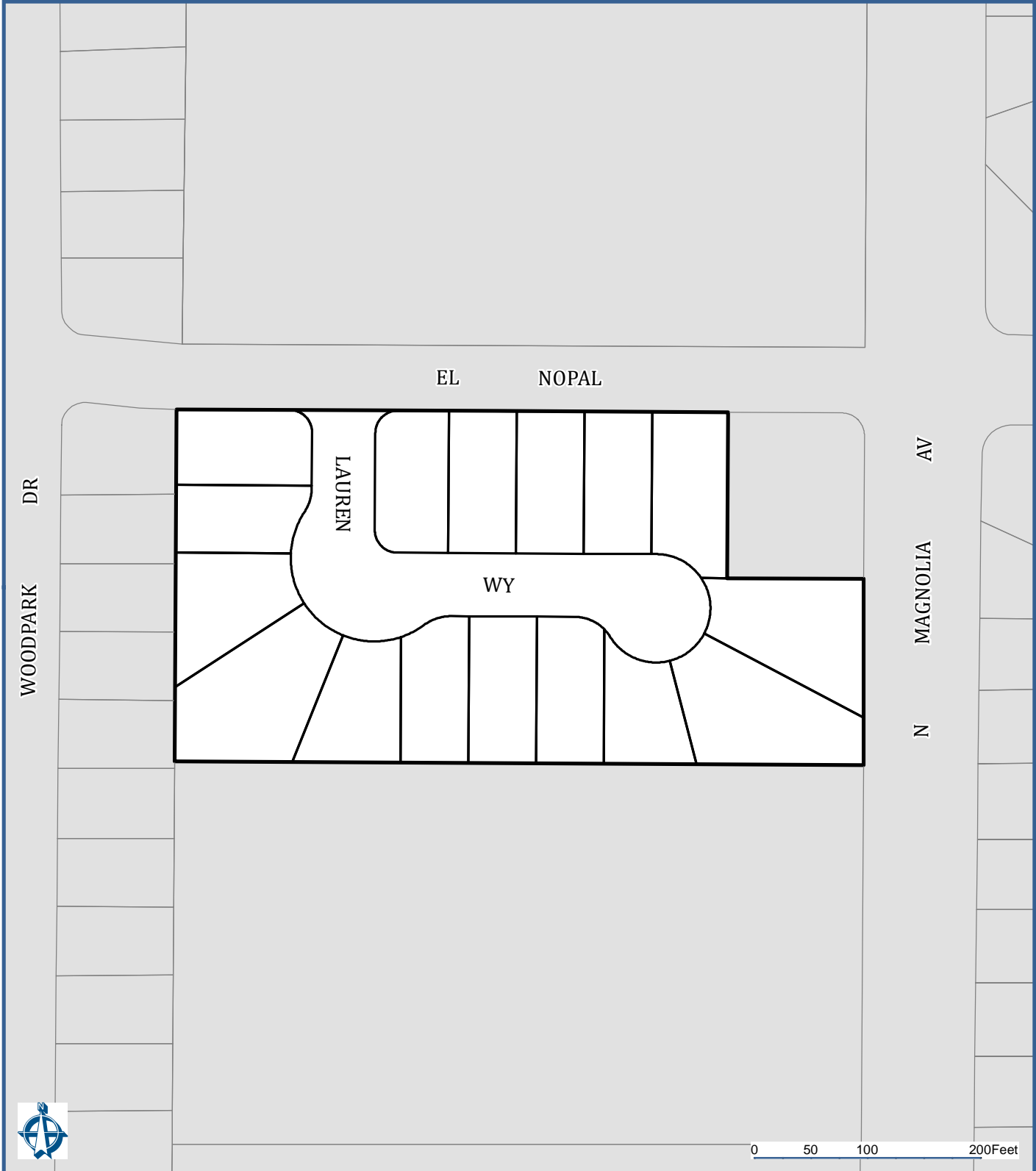
CITY OF SANTEE ASSESSMENT DIAGRAM

SANTEE LANDSCAPE MAINTENANCE DISTRICT

ZONE 13
(PROSPECT HILLS)

EXHIBIT G

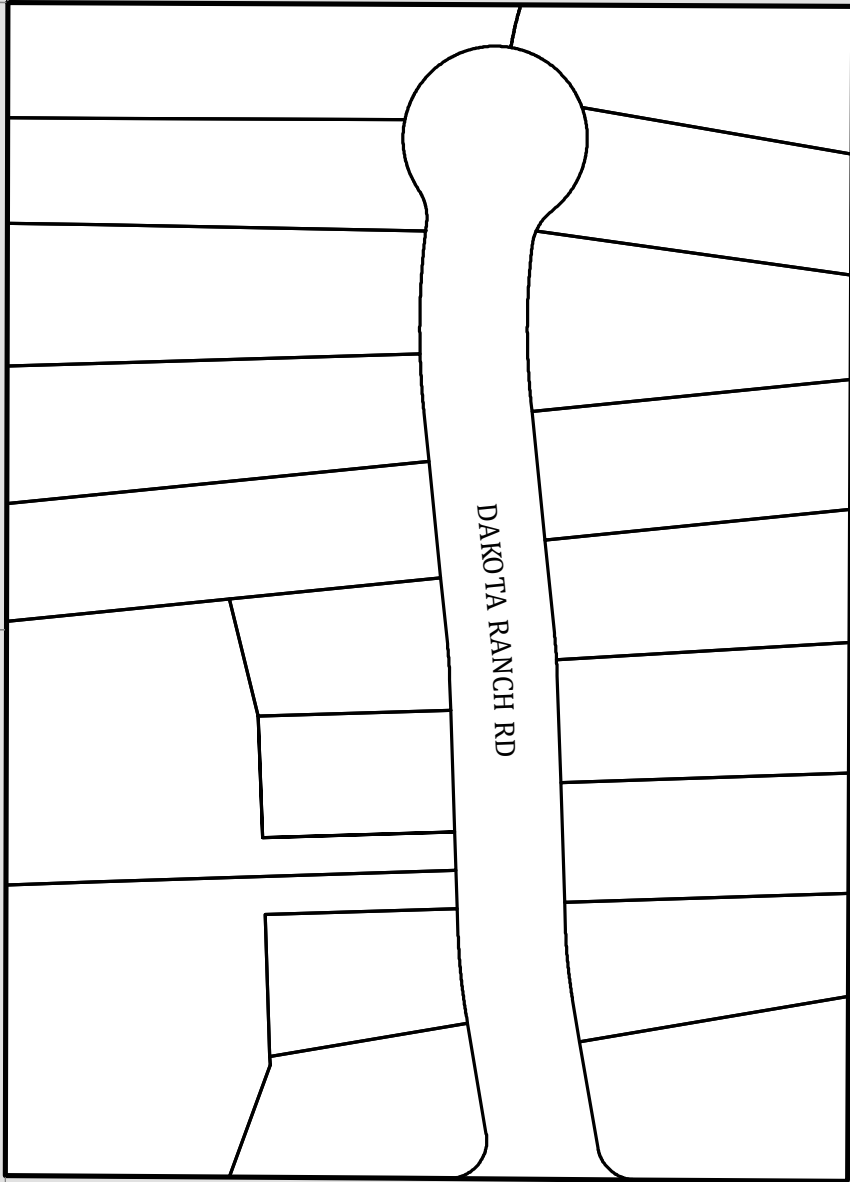




CITY OF SANTEE ASSESSMENT DIAGRAM

SANTEE LANDSCAPE MAINTENANCE DISTRICT
 ZONE 14
 (MITCHELL RANCH)
 EXHIBIT H





PRINCESS JOANN RD

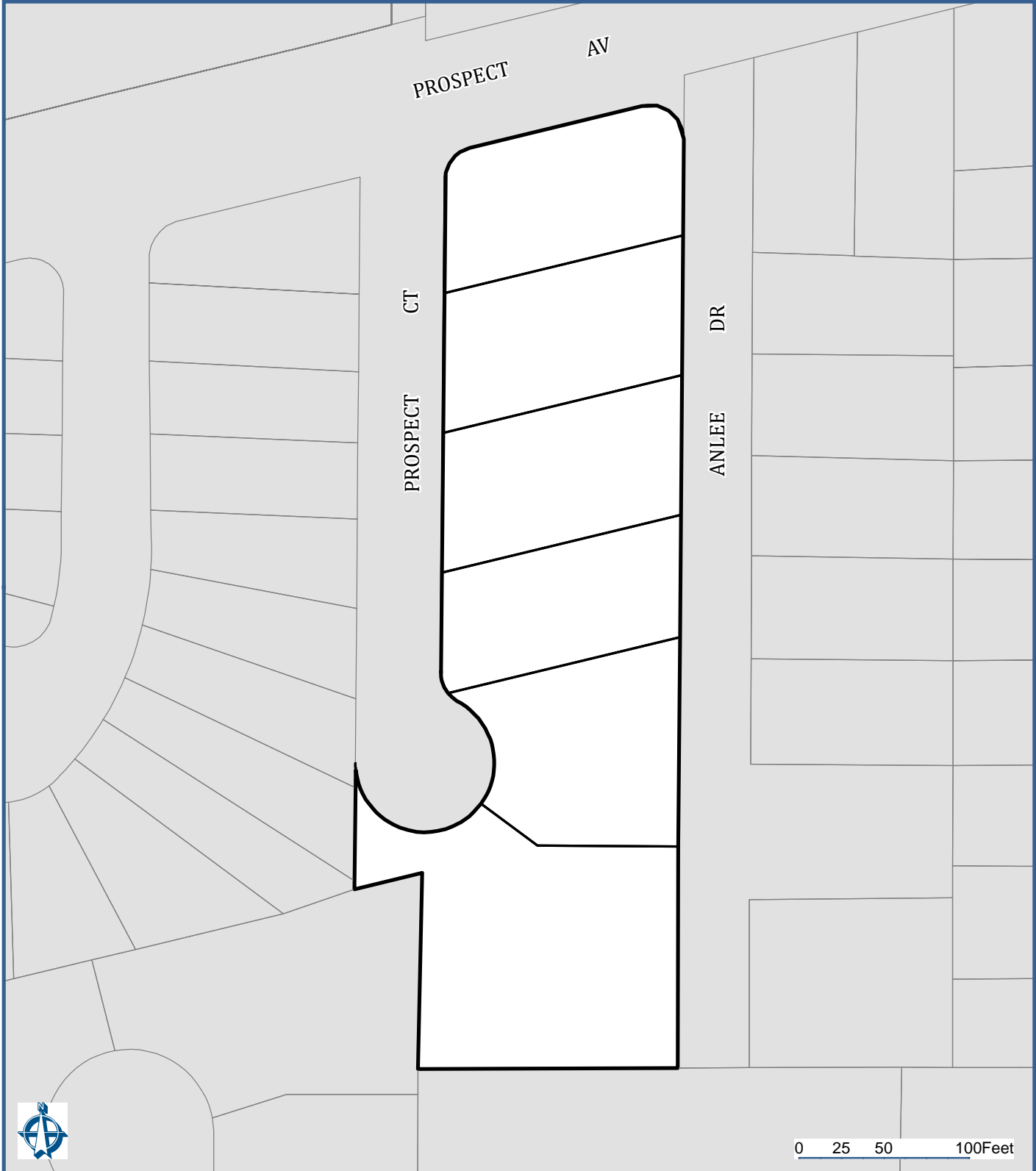


0 25 50 100Feet

CITY OF SANTEE ASSESSMENT DIAGRAM

SANTEE LANDSCAPE MAINTENANCE DISTRICT
ZONE 17
(DAKOTA RANCH)
EXHIBIT I





CITY OF SANTEE ASSESSMENT DIAGRAM

SANTEE LANDSCAPE MAINTENANCE DISTRICT

ZONE 18
(ALLOS)
EXHIBIT J



MEETING DATE April 28, 2021

ITEM TITLE RESOLUTION INITIATING PROCEEDINGS AND ORDERING THE PREPARATION OF AN ENGINEER'S REPORT FOR THE FY 2021-22 TOWN CENTER LANDSCAPE MAINTENANCE DISTRICT ANNUAL LEVY OF ASSESSMENTS

DIRECTOR/DEPARTMENT Tim K. McDermott, Finance *TK*

SUMMARY

Town Center Landscape Maintenance District ("TCLMD") was originally formed in 1987. It now comprises eight distinct zones, four of which are assessed: "Zone A – "Town Center Parkway," Zone B – "The Lakes," Zone C – "San Remo," and Zone D – the mixed use project known as "Mission Creek." Contractors provide landscape, fountain, and lighting maintenance services to these four assessed zones. Maps depicting each zone and the areas of maintenance are attached.

The City Council is required to take three distinct steps in order to proceed with the annual levy of assessments. First, the City Council must formally initiate the proceedings and direct the preparation of an engineer's report, analyzing existing and proposed improvements to the District. Second, the City Council must take formal action to either approve, or modify and approve the proposed engineer's report, formally declare its intention to provide for the annual levy of assessments and provide notice of a public hearing. Finally, the City Council must hold the public hearing and provide for the annual levy of assessments.

This item takes the necessary first step in the process by initiating proceedings and ordering the preparation of an engineer's report. The second step of approving the proposed engineer's report, declaring the intention to levy assessments and providing notice of a public hearing is scheduled to occur at the June 9, 2021 City Council meeting. The final step of holding the public hearing and providing for the annual levy of assessments is scheduled to occur at the July 14, 2021 City Council meeting.

FINANCIAL STATEMENT *TK*

Funding for the preparation of the engineer's report is included in the FY 2020-21 adopted budget for each zone of the Town Center Landscape Maintenance District.

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION *MSB*

Adopt the resolution to initiate proceedings and order the preparation of an engineer's report.

ATTACHMENT

Resolution (w/Exhibits – Assessment Diagrams)

RESOLUTION NO.

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA,
INITIATING PROCEEDINGS AND ORDERING THE PREPARATION OF AN
ENGINEER'S REPORT FOR THE FY 2021-22 TOWN CENTER LANDSCAPE
MAINTENANCE DISTRICT ANNUAL LEVY OF ASSESSMENTS**

WHEREAS, the City Council of the City of Santee desires to initiate proceedings for the annual levy of assessments for a landscape district pursuant to the terms and provisions of the "Landscaping and Lighting Act of 1972", being Division 15, Part 2 of the Streets and Highways Code of the State of California, Article XIII D of the California Constitution, and the Proposition 218 Omnibus Implementation Act (commencing with California Government Code Section 53750) (collectively the "Law"), in what is known and designated as: **TOWN CENTER LANDSCAPE MAINTENANCE DISTRICT** ("District"); and

WHEREAS, these proceedings for the annual levy of assessments shall relate to the fiscal year commencing July 1, 2021; and

WHEREAS, there has been submitted to this City Council for its consideration at this time, diagrams, copies of which are attached hereto and by this reference incorporated herein, showing the boundaries of the areas of assessment for the above referenced fiscal year, said diagrams showing and further describing in general the improvements proposed to be maintained in said District, said description being sufficient to identify the areas proposed to be assessed for said maintenance thereof; and

WHEREAS, there are no proposed new improvements or any substantial changes in existing improvements; and

WHEREAS, the Law requires a written report, consisting of: plans and specifications of the area of the improvements to be maintained; an estimate of the costs for maintaining the improvements, including incidental expenses in connection therewith; a diagram of the areas proposed to be assessed; and a parcel-by-parcel listing of the assessments of the estimated costs for maintaining the improvements in proportion to the special benefits to be conferred on such parcels.

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Santee, California,

SECTION 1. That the above recitals are all true and correct.

SECTION 2. That diagrams, entitled **TOWN CENTER LANDSCAPE MAINTENANCE DISTRICT** as submitted to this City Council, showing the boundaries of the proposed areas to be assessed and showing the improvements to be maintained, are hereby approved, and copies thereof shall be on file in the City Clerk's Office and open to public inspection. The proposed parcels and properties within said areas are those to be assessed to pay certain costs and expenses for said maintenance.

RESOLUTION NO.

SECTION 3. That the maintenance work within the area proposed to be assessed shall be the maintenance or servicing, or both, of any facilities which are appurtenant to any of the foregoing or which are necessary or convenient for the maintenance or servicing thereof in accordance with the Law.

SECTION 4. There are no proposed new improvements or any substantial changes to existing improvements.

SECTION 5. That the Director of Finance is hereby ordered to cause to be prepared and to file with this City Council, the Report relating to said annual assessment and levy in accordance with the provisions of the Law.

SECTION 6. That upon completion, said Report shall be filed with the City Clerk, who shall then provide all notices required by law regarding the intent to approve assessments and hold a public hearing and submit the report to this City Council for its consideration pursuant to sections 22623 and 22624 of the Streets and Highways Code.

ADOPTED by the City Council of the City of Santee, California, at a regular meeting thereof held this 28th day of April, 2021 by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

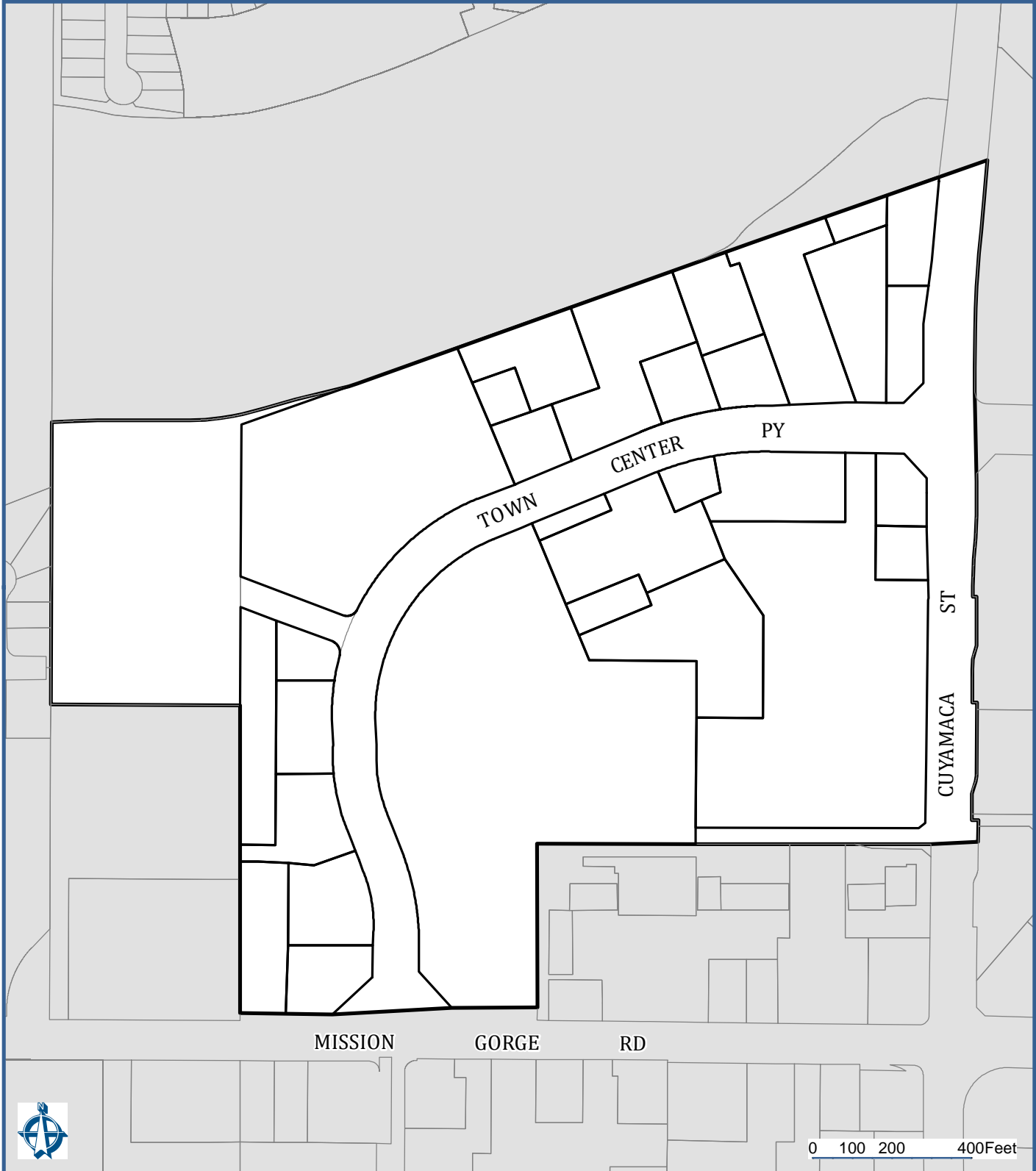
APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

ANNETTE ORTIZ, CMC, CITY CLERK

EXHIBITS A-D: Vicinity Maps (Diagrams)

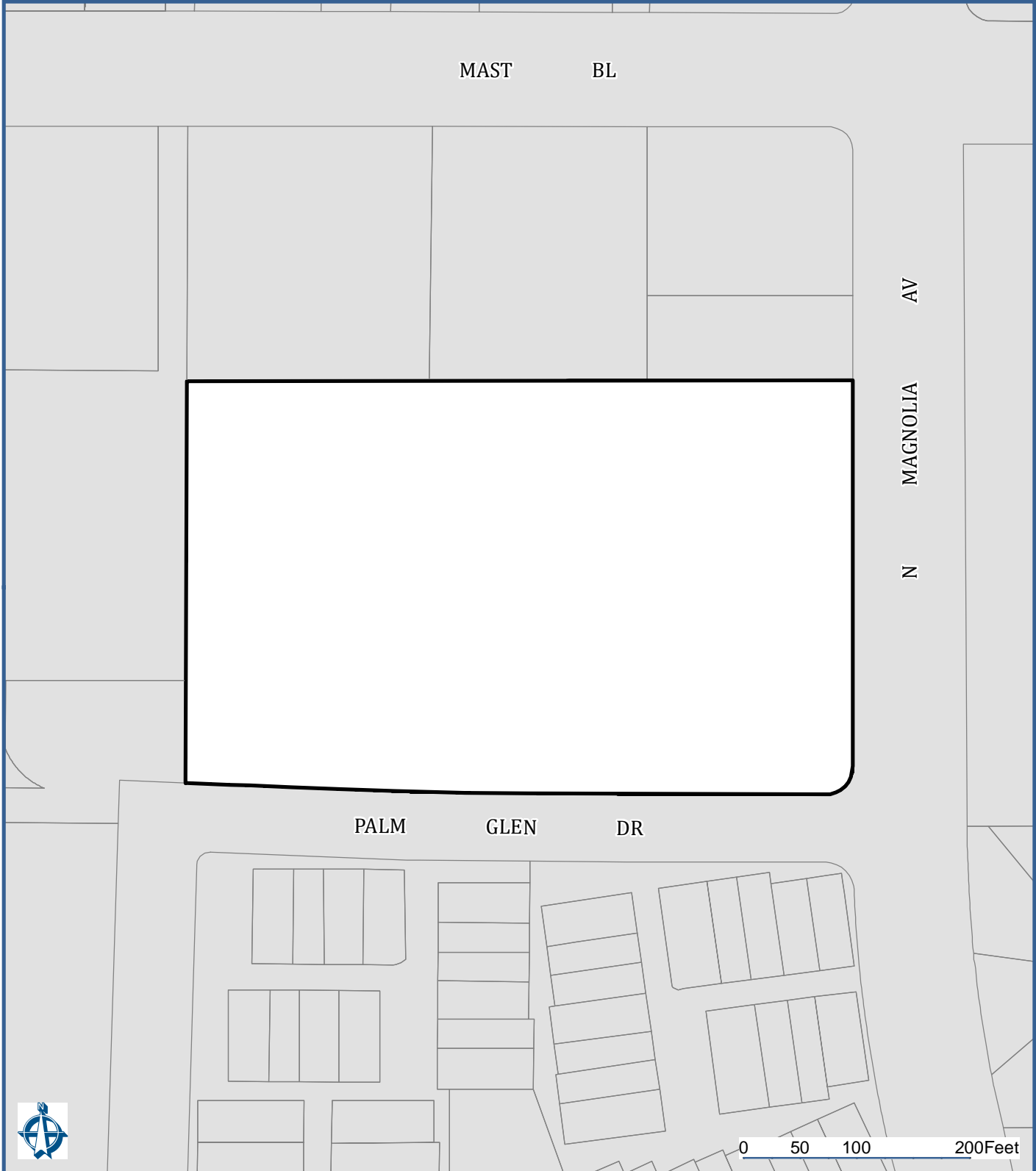


CITY OF SANTEE ASSESSMENT DIAGRAM

TOWN CENTER LANDSCAPE MAINTENANCE DISTRICT

ZONE A
(TOWN CENTER)
EXHIBIT A



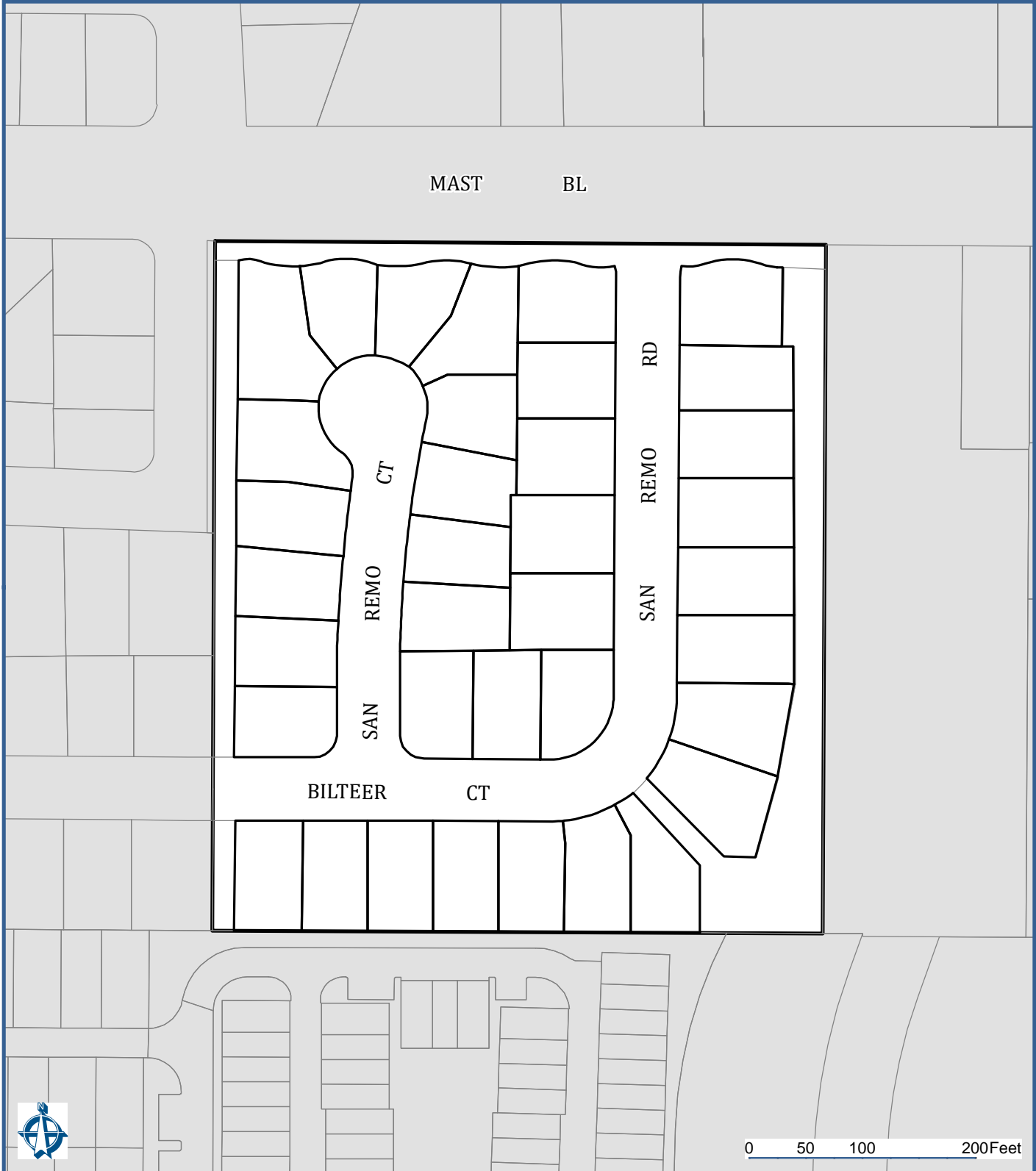


CITY OF SANTEE ASSESSMENT DIAGRAM

TOWN CENTER LANDSCAPE MAINTENANCE DISTRICT

ZONE B
(THE LAKES)
EXHIBIT B



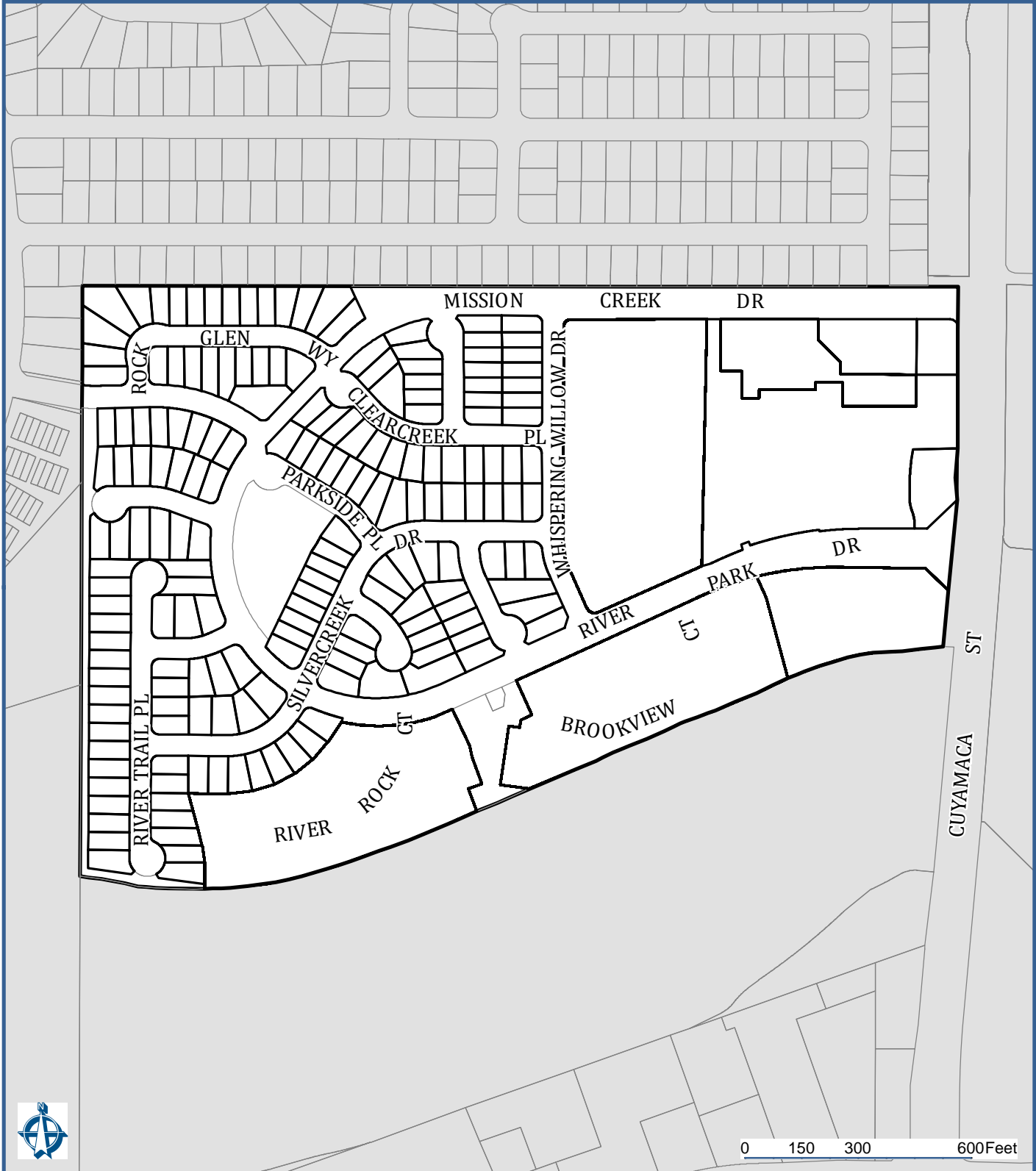


CITY OF SANTEE ASSESSMENT DIAGRAM

TOWN CENTER LANDSCAPE MAINTENANCE DISTRICT

ZONE C
(SAN REMO)
EXHIBIT C





CITY OF SANTEE ASSESSMENT DIAGRAM

TOWN CENTER LANDSCAPE MAINTENANCE DISTRICT

ZONE D
(MISSION CREEK)
EXHIBIT D



MEETING DATE April 28, 2021

ITEM TITLE RESOLUTION INITIATING PROCEEDINGS AND ORDERING THE PREPARATION OF AN ENGINEER'S REPORT FOR THE FY 2021-22 SANTEE ROADWAY LIGHTING DISTRICT ANNUAL LEVY OF ASSESSMENTS

DIRECTOR/DEPARTMENT Tim K. McDermott, Finance *tm*

SUMMARY

The Santee Roadway Lighting District ("SRLD") has two zones, each with separate funding sources. Zone A is contiguous with the City's boundaries; i.e., all properties in the City are within Zone A. Zone B comprises numerous areas throughout the City, and contains street lights defined as primarily having local benefit.

The funding of street light energy, maintenance and administrative costs for both Zone A and Zone B have been obtained from two sources: (1) an ad valorem property tax designated for street lighting purposes (Zone A), (2) and a special benefit assessment (Zone B). It is estimated that 65 new lights will be added within SRLD in FY 2021-22.

The City Council is required to take three distinct steps in order to proceed with the annual levy of assessments. First, the City Council must formally initiate the proceedings and direct the preparation of an engineer's report, analyzing existing and proposed improvements to the District. Second, the City Council must take formal action to either approve or modify and approve the proposed engineer's report, formally declare its intention to provide for the annual levy of assessments and provide notice of a public hearing. Finally, the City Council must hold the public hearing and provide for the annual levy of assessments.

This item takes the necessary first step in the process by initiating proceedings and ordering the preparation of an engineer's report. The second step of approving the proposed engineer's report, declaring the intention to levy assessments and providing notice of a public hearing is scheduled to occur at the June 9, 2021 City Council meeting. The final step of holding the public hearing and providing for the annual levy of assessments is scheduled to occur at the July 14, 2021 City Council meeting.

FINANCIAL STATEMENT *tm*

Funding for the preparation of the engineer's report is included in the FY 2020-21 Santee Roadway Lighting District Zone "B" adopted budget.

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION *MSB*

Adopt the resolution to initiate proceedings and order the preparation of an engineer's report.

ATTACHMENT

Resolution (w/Exhibits – Assessment Diagram)



RESOLUTION NO.

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA,
INITIATING PROCEEDINGS AND ORDERING THE PREPARATION OF AN
ENGINEER'S REPORT FOR THE FY 2021-22
SANTEE ROADWAY LIGHTING DISTRICT
ANNUAL LEVY OF ASSESSMENTS**

WHEREAS, the City Council of the City of Santee desires to initiate proceedings for the annual levy of assessments for a lighting district pursuant to the terms and provisions of the "Landscaping and Lighting Act of 1972", being Division 15, Part 2 of the Streets and Highways Code of the State of California, Article XIII D of the California Constitution, and the Proposition 218 Omnibus Implementation Act (commencing with California Government Code Section 53750) (collectively the "Law"), in what is known and designated as: **SANTEE ROADWAY LIGHTING DISTRICT** ("District"); and

WHEREAS, these proceedings for the annual levy of assessments shall relate to the fiscal year commencing July 1, 2021; and

WHEREAS, there has been submitted to this City Council for its consideration at this time, a map showing the boundaries of the areas of assessment for the above referenced fiscal year, said map showing and further describing in general the areas of the improvements proposed to be maintained in said District, said description being sufficient to identify the areas proposed to be assessed for said maintenance thereof; and

WHEREAS, it is estimated that 65 new lights will be added within the District in FY 2021-22; and

WHEREAS, the Law requires a written report, consisting of: plans and specifications of the area of the improvements to be maintained; an estimate of the costs for maintaining the improvements, including incidental expenses in connection therewith; a diagram of the areas proposed to be assessed; and a parcel-by-parcel listing of the assessments of the estimated costs for maintaining the improvements in proportion to the special benefits to be conferred on such parcels.

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Santee, California,

SECTION 1. That the above recitals are all true and correct.

SECTION 2. That the map, entitled **SANTEE ROADWAY LIGHTING DISTRICT**, as submitted to this City Council, showing the boundaries of the proposed area to be assessed and the areas of the improvements to be maintained, is hereby approved, and a copy thereof shall be on file in the Office of the City Clerk and open to public inspection. The proposed parcels and properties within said areas are those to be assessed to pay certain costs and expenses for said maintenance.

RESOLUTION NO.

SECTION 3. That the maintenance work within the areas proposed to be assessed shall be the maintenance or servicing, or both, of any facilities that are appurtenant to any of the foregoing or which are necessary or convenient for the maintenance or servicing thereof in accordance with the Law.

SECTION 4. That the Director of Finance is hereby ordered to cause to be prepared and to file with this City Council, the Report relating to said annual assessment and levy in accordance with the provisions of the Law.

SECTION 5. That upon completion, said Report shall be filed with the City Clerk, who shall then provide all notices required by law regarding the intent to approve assessments and hold a public hearing and submit the report to this City Council for its consideration pursuant to sections 22623 and 22624 of the Streets and Highways Code.

ADOPTED by the City Council of the City of Santee, California, at a regular meeting thereof held this 28th day of April, 2021 by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

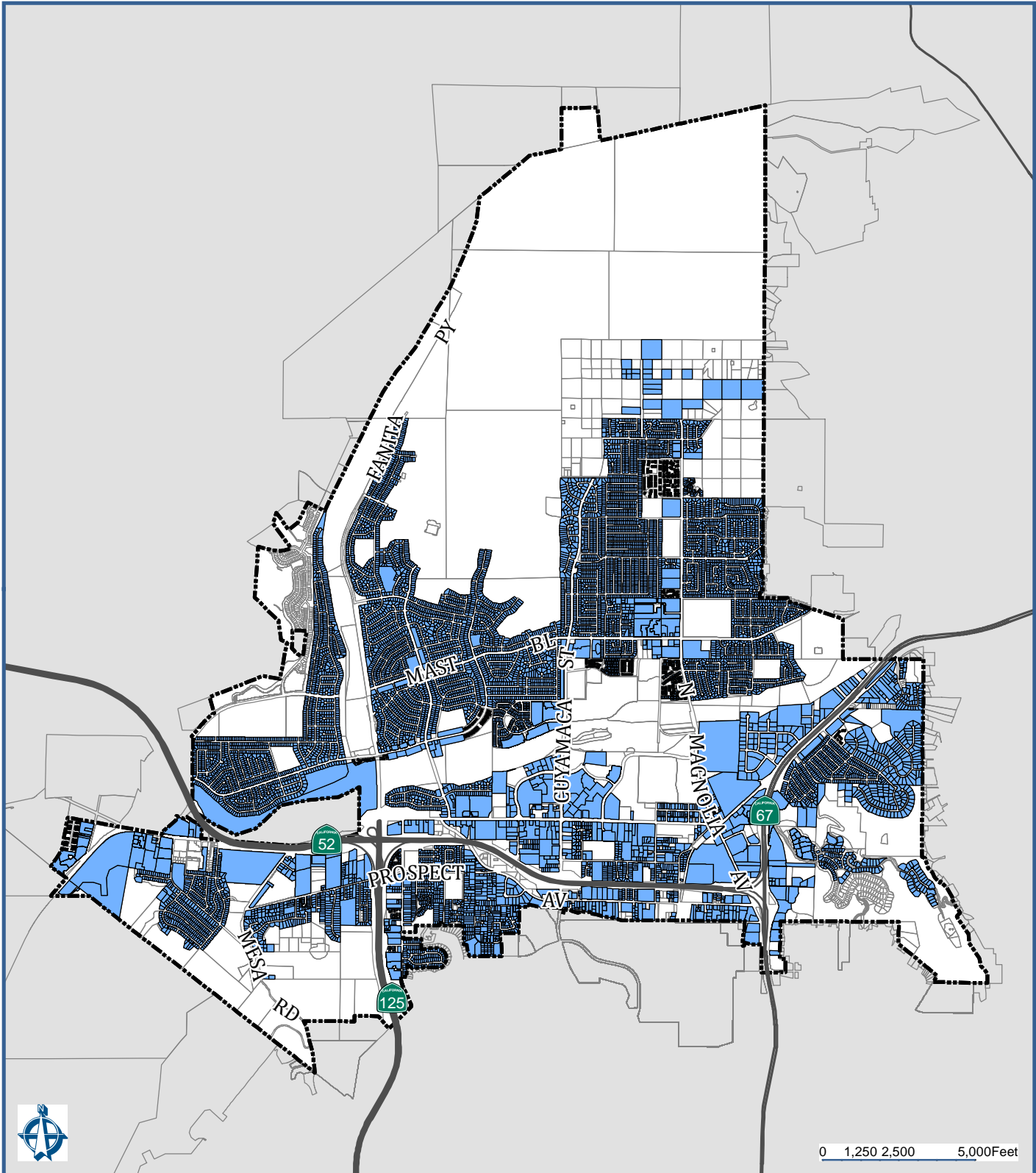
APPROVED:

**_____
JOHN W. MINTO, MAYOR**

ATTEST:

**_____
ANNETTE ORTIZ, CMC, CITY CLERK**



EXHIBIT A: Vicinity Map



CITY OF SANTEE ASSESSMENT DIAGRAM

SANTEE ROADWAY LIGHTING DISTRICT

EXHIBIT A

 SANTEE CITY BOUNDARY (ZONE A)
  LEVIED (ZONE B)

Zone B - Includes approximately 79% of all parcels throughout the City



MEETING DATE April 28, 2021

ITEM TITLE RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, AUTHORIZING THE INSTALLATION OF A SCHOOL LOADING ZONE ON JEREMY STREET FOR HILL CREEK SCHOOL

DIRECTOR/DEPARTMENT Melanie Kush, Development Services



SUMMARY

This item requests City Council authorize the installation of a school loading zone on Jeremy Street, as depicted on Exhibit "A" attached to the Resolution. Santee Municipal Code section 10.10.100 stipulates that the City Council designate loading zones by Resolution.

The City has received a request from Hill Creek School to install a loading zone on Jeremy Street at the entrance to the school. Currently parking is allowed on the east side of Jeremy Street between the two school driveways. Hill Creek School desires to convert that area into a loading zone to facilitate parents dropping off their children for school. The loading zone would be approximately 130 feet in length between the two driveways.

ENVIRONMENTAL REVIEW

Categorically exempt from the provisions of the California Environmental Quality Act (CEQA) Section 15301 - Class 1 Exemption.

FINANCIAL STATEMENT

The cost of installing the loading zone is \$150 and is included in the Public Services Division annual budget.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION

Adopt the attached Resolution authorizing the installation of a school loading zone on Jeremy Street.

ATTACHMENT

Resolution
Exhibit A - Location Map

RESOLUTION NO.

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA,
AUTHORIZING THE INSTALLATION OF A SCHOOL LOADING ZONE
ON JEREMY STREET FOR HILL CREEK SCHOOL**

WHEREAS, Santee Municipal Code section 10.10.100 stipulates that City Council designates loading zones by resolution, and;

WHEREAS, there is currently no designated loading zone on Jeremy Street, and;

WHEREAS, Hill Creek School desires to have a loading zone in front of the school on Jeremy Street, and;

WHEREAS, staff determined that a loading zone would facilitate school drop-off and pick-up, and;

WHEREAS, staff recommends that a loading zone, approximately 130 feet in length be installed as depicted on Exhibit "A" attached hereto.

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Santee, California, as follows:

City staff is hereby authorized to install a school loading zone on Jeremy Street for Hill Creek School, as depicted on attached Exhibit "A".

ADOPTED by the City Council of the City of Santee, California, at a Regular meeting thereof held this 28th day of April, 2021 by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

ANNETTE ORTIZ, CMC, CITY CLERK

Exhibit "A" – Location Map

Exhibit "A"

Location Map: Jeremy Street Loading Zone



MEETING DATE April 28, 2021

ITEM TITLE CLAIM AGAINST THE CITY BY DEBORAH SMITH

DIRECTOR/DEPARTMENT Erica Hardy, Director of Human Resources

SUMMARY

A claim was filed against the City by Deborah Smith. The claim has been reviewed by the City's Director of Human Resources prior to bringing it forward for consideration. The Director of Human Resources recommends the claim be rejected as provided in Government Code Section 913.

The claim documents are on file in the Office of the City Clerk for Council reference.

jm
FINANCIAL STATEMENT

There is no financial impact to the City by rejecting the claim.

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION *MSB*

Reject claim as per Government Code Section 913.

ATTACHMENT

None

MEETING DATE April 28, 2021

ITEM TITLE APPROVAL OF SIXTH AMENDMENT TO HEARTLAND FIRE TRAINING AUTHORITY JOINT POWERS AGREEMENT (JPA)

DIRECTOR/DEPARTMENT John Garlow, Fire Chief CW for JG

SUMMARY Santee has been a member of the Heartland Fire Training Authority ("HFTA") since December 1, 1973. HFTA maintains a facility and training tower south of Gillespie Field that serves five fire departments in all manner of training. Santee Fire continuously trains at the facility, both singly and jointly with the other fire departments.

The most recent Joint Exercise of Powers Agreement (JPA), dated October 4, 1999, is being amended with revisions including: change in the termination date of the JPA from October 31, 2024, to October 31, 2030 (Section 1); two title revisions (Section 2.a and Section 3.a); change in the time period for advanced notification of meetings to at least seven working days instead of 15 working days (Section 4.a); change in the City of El Cajon annual notification to HFTA of fee rate changes from February 15th to February (Section 5.a); revision of the list of members to include five additional members (Section 6), and addition of the formula used to calculate Member Agency rates (Section 6).

The HFTA Commission approved the draft Sixth Amendment on April 8, 2021.

FINANCIAL STATEMENT ⁱⁿ There is no direct fiscal impact as a result of approving the amended JPA. Santee's FY 2021-22 base HTFA membership assessment fees include operating fees of \$38,946.00 and a facility lease payment of \$9,846.00, totaling \$48,792.00. The HTFA assessment is paid by the City's General Fund.

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION ^{MSB} Approve the Sixth Amendment of the Heartland Fire Training Authority Joint Exercise of Powers Agreement

ATTACHMENT

Summary of Proposed Amendments to HTFA JPA
Sixth Amendment



Thomas H. Owen Sr.
Heartland Fire Training Facility

Agenda Report
Item # 5.b List of Revisions

6th JPA Amendment Revisions:

- Changed the Term in the JPA Agreement from October 31, 2024 to October 31, 2030 (Section 1.a) to coincide with the new Facility Lease Agreement term.
- Changed the title of the Secretary of the JPA from City Clerk of the City to Training Manager (Section 2.a), which aligns with the Policies and Procedures.
- Changed the Director of Finance of the City to Director of Finance of the City of El Cajon (Section 3.a).
- Changed the Secretary of the Board will give notice of regular meetings at least fifteen working days in advance to at least seven working days in advance (Section 4.a).
- Changed the date of when the City notifies the JPA of any fee or rate changes from each February 15th to each February (Section 5.a).
- Changed the list of members to include additional five members and added the formula used to calculate Member Agency rates (Section 6).

SIXTH AMENDMENT OF
JOINT EXERCISE OF POWERS AGREEMENT
CREATING THE AGENCY TO BE KNOWN AS THE
“HEARTLAND FIRE TRAINING AUTHORITY”

THIS AMENDMENT NO. 6 (“Amendment”), made and entered into this _____ day of _____, 2021, by and between CITY OF EL CAJON, CITY OF LA MESA, CITY OF LEMON GROVE, CITY OF SANTEE, ALPINE FIRE PROTECTION DISTRICT, BONITA-SUNNYSIDE PROTECTION DISTRICT, VIEJAS BAND OF KUMEYAAI INDIANS, BARONA BAND OF MISSION INDIANS/BARONA FIRE DEPARTMENT, LAKESIDE FIRE PROTECTION DISTRICT, and SAN MIGUEL CONSOLIDATED FIRE PROTECTION DISTRICT (collectively the “Member Agencies”), all of which are organized and existing under and by virtue of the laws of the State of California, with reference to the following facts:

RECITALS

- A. The Member Agencies are each empowered by law to acquire, equip, staff, maintain, operate, and lease public buildings and related facilities for the purpose of training fire fighting personnel; and
- B. The Member Agencies desire to acquire, equip, staff, operate and maintain a consolidated regional fire and emergency response training facility, and to provide a vehicle for the accomplishment thereof; and
- C. The Member Agencies desire to accomplish the aforesaid purpose by jointly exercising their common powers in the manner set forth in this Agreement; and
- D. The agency created by this Agreement is successor-in-interest to that agency known as the Heartland Fire Training Facility Authority, created by agreement dated December 1, 1973, as amended, which agreement expired by its own terms on October 1, 1999 and amended in 2020.

NOW, THEREFORE, the Member Agencies, for and in consideration of the mutual benefits, promises and agreements set forth herein, agree as follows:

WHEREAS, the Parties further desire to update and modify certain terms and provision of the AGREEMENT to take effect during the extended term of the AGREEMENT;

NOW, THEREFORE, in consideration of their mutual covenants, the Parties agree to the following:

- 1. Section (2) Term is amended stating the following:
 - a. This Agreement shall become effective as of the date hereof and shall be binding, as set forth in SECTION 9, upon all parties hereto until October 31, 2030, and shall

thereafter continue in full force and effect for fifteen (15) additional years, or until such time as the Member Agencies agree to terminate the Agreement, in the manner set forth in SECTION 10.

2. In Section E Officers and Respective Duties; Section (2) Secretary of the Commission is amended stating the following:
 - a. The Training Manager shall be the Secretary of the Commission. The Secretary will keep minutes and will prepare an agenda for each meeting of the Commission. The Secretary of the Commission will give notice of regular meetings to the Commissioners at least seven working days in advance, soliciting any agenda items. Agenda items will be supported by appropriate documentation and explanation. The Secretary of the Commission will deliver the agenda and supporting documentation to each Commissioner, to each officer of the Authority, and to the members of the Board at least five working days prior to the scheduled meeting.
3. In Section E Officers and Respective Duties; Section (3) Treasure/Controller of the Authority is amended stating the following:
 - a. The Director of Finance of the City of El Cajon shall be the Treasurer and Controller of the Authority. The Treasurer/Controller shall attend the meetings of the Commission and shall advise the Commission in connection with any accounting, budgetary, monetary, or other financial matters relating to the Authority. The Treasurer/Controller of the Authority is designated as the person(s) responsible for any monies of the Authority. The Treasurer/Controller shall file an official bond in the amount of \$250,000.00 pursuant to Section 6505.1 of the Act. The duties and responsibilities of the Treasurer/Controller include, but are not limited to, those set forth in Sections 6505, 6505.5, and 6509.5 of the Act, and shall include the following:
4. In Section E Officers and Respective Duties; Section (6) Secretary of the Board is amended stating the following:
 - a. Secretary of the Board will give notice of regular meetings of the Board at least seven working days in advance
5. In Section E Officers and Respective Duties; Section (F) Fees for Utilization of City Services is amended stating the following:
 - a. The Authority will compensate the City for those services rendered pursuant to sections 3.E.2, and .3 at cost, in accordance with Sections 6505.5 and 6506 of the Act. The City shall notify the Authority each February of the fee or rate structure for services to be rendered during the following fiscal year. These charges may be either flat fee and/or hourly rates, dependent upon the nature of the service provided. The Authority shall follow and abide by the normal

procedures of the City, unless otherwise expressly set forth in this Agreement, or contrary to law.

6. In Section 5 Lease and Maintenance of Facility section (c) is amended to the following:

The following Member Agencies shall be obligated to pay annually all operation, maintenance, and lease expenses:

- City El Cajon
- City of La Mesa
- City of Lemon Grove
- City of Santee
- Alpine Fire Protection District
- Bonita-Sunnyside Fire Protection District
- Viejas Band of Kumeyaay Indians
- Barona Band of Mission Indians/Barona Fire Department
- Lakeside Fire Protection Department
- San Miguel Consolidated Fire Protection Department

Each Member Agency shall be obligated to pay annually all operation, maintenance and lease expenses as defined in Heartland Fire Training Authority Policies and Procedures Section 1 Admin; Policy: 2 HFTA Member Fees Assessment Formula that will be updated annually.

CITY OF EL CAJON

BONITA-SUNNYSIDE FIRE PROTECTION DISTRICT

By: _____

By: _____

Its: _____

Its: _____

ATTEST:

ATTEST:

_____, City Clerk

_____, City Clerk

Approved as to form:

Approved as to form:

_____, City Attorney

_____, City Attorney

CITY OF LA MESA

By: _____

Its: _____

ATTEST:

_____, City Clerk

Approved as to form:

_____, City Attorney

CITY OF LEMON GROVE

By: _____

Its: _____

ATTEST:

_____, City Clerk

Approved as to form:

_____, City Attorney

CITY OF SANTEE

By: _____

Its: _____

ATTEST:

_____, City Clerk

VIEJAS BAND OF KUMEYAAY INDIANS

By: _____

Its: _____

ATTEST:

_____, Secretary

Approved as to form:

_____, District Counsel

BARONA BAND OF MISSION INDIANS /
BARONA FIRE DEPARTMENT

By: _____

Its: _____

ATTEST:

_____, Secretary

Approved as to form:

_____, District Counsel

LAKESIDE FIRE PROTECTION DISTRICT

By: _____

Its: _____

ATTEST:

_____, Secretary

Approved as to form:

_____, City Attorney

ALPINE FIRE PROTECTION DISTRICT

By: _____

Its: _____

ATTEST:

_____, Secretary

Approved as to form:

_____, District Counsel

Approved as to form:

_____, District Counsel

SAN MIGUEL CONSOLIDATED FIRE PROTECTION DISTRICT

By: _____

Its: _____

ATTEST:

_____, Secretary

Approved as to form:

_____, District Counsel

HEARTLAND FIRE TRAINING AUTHORITY

By: _____

Its: _____

ATTEST:

_____, Secretary

Approved as to form:

_____, District Counsel

MEETING DATE

April 28, 2021

ITEM TITLE **RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, AUTHORIZING THE INSTALLATION OF ALL-WAY STOP CONTROL ON IRONWOOD AVENUE AT THE INTERSECTION WITH ALPHONSE STREET**

DIRECTOR/DEPARTMENT

Melanie Kush, Development Services



SUMMARY

The City has received a request from a resident along with the signatures of five (5) neighbors to install permanent stop signs on Ironwood Avenue at the "T" intersection with Alphonse Street (see Location Map, Exhibit A). Residents are concerned about the potential conflicts caused by vehicles traveling in both directions on Ironwood Avenue without stopping, causing accidents. Staff performed a stop sign warrant analysis and determined that limited sight distance justified installation of an all-way stop control at this intersection. Based on travel speed on Ironwood Avenue the minimum corner sight distance required is 226 feet while the available sight distance is 190 feet for northbound and 160 feet for southbound, (see Attachments 1 and 2).

Currently the approach of Alphonse Street is controlled by a stop sign. Staff recommends approving the installation of stop signs with "STOP" legends and limit lines on the Ironwood Avenue approaches at the "T" intersection with Alphonse Street. This recommendation is based on the fulfillment of the requirements in the California Manual on Uniform Traffic Control Devices (MUTCD) for the installation of stop signs to ensure proper assignment of right-of-way, as well as, to eliminate potential conflicts of vehicles crossing the intersection due to restricted corner sight distance. Additionally, Santee Municipal Code Section 10.08.030 provides for the installation of stop signs at intersections where authorized by Council resolution. Supporting information along with diagrams of the proposed stop sign location can be found in the attachments.

ENVIRONMENTAL REVIEW

Categorically exempt from the provisions of the California Environmental Quality Act (CEQA) Section 15301 - Class 1 Exemption.

FINANCIAL STATEMENT *tm*

The installation cost of the stop signs and pavement marking is estimated to be \$400 and would be funded through the existing roadway signage and striping budget funded by Gas Tax.

CITY ATTORNEY REVIEW

N/A

Completed

RECOMMENDATION *MSB*

Adopt the resolution authorizing the installation and maintenance of stop signs in compliance with Santee Municipal Code Section 10.08.030 and California MUTCD provisions due to the lack of visibility to the drivers of vehicles on Alphonse Street approaching the intersection with Ironwood Avenue.



ATTACHMENTS

Resolution

Exhibit A – Location Map

Attachment 1 – All-way stop evaluation

Attachment 2 – Intersection sight distance evaluation

RESOLUTION NO.

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA,
AUTHORIZING THE INSTALLATION OF ALL-WAY STOP CONTROL ON IRONWOOD
AVENUE AT THE INTERSECTION WITH ALPHONSE STREET**

WHEREAS, Santee Municipal Code section 10.08.030 stipulates that City Council authorizes the installation of stop signs by resolution, and;

WHEREAS, the intersection of Ironwood Avenue and Alphonse Street is a “T” intersection, and;

WHEREAS, currently Alphonse Street is controlled by a stop sign, and;

WHEREAS, there is no stop sign control on the Ironwood Avenue approaches, and;

WHEREAS, staff conducted a stop sign evaluation and the intersection met the warrants for the installation of an all-way stop control due to restricted corner sight distance, and;

WHEREAS, staff recommends that stop signs be installed on the Ironwood Avenue approaches to Alphonse Street.

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Santee, California, as follows:

City staff is hereby authorized to install stop signs on the Ironwood Avenue approaches to Alphonse Street, as indicated on the map attached hereto as Exhibit “A” and incorporated by this reference.

ADOPTED by the City Council of the City of Santee, California, at a Regular meeting thereof held this 28th day of April, 2021 by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

ANNETTE ORTIZ, CMC, CITY CLERK

Exhibit “A” – Location Map

Exhibit A
Intersection of Ironwood Avenue and Alphonse Street
Stop Sign Placement



stop sign, legend, and stop bar location.

Attachment 1
CITY OF SANTEE
ALL-WAY STOP EVALUATION

Based on Section 2B.07 Multi-Way Stop Applications of CA MUTCD, 2014

The decision to install multi-way stop control should be based on an engineering study based on the following criteria.

Conducted by:	J. Morgan									
Location:	Ironwood Avenue @ Alphonse Street									
Date:	4/16/21									
Criteria								Satisfied		
A	<i>Is a traffic control signal justified for this location?</i>							Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
B	<i>Have there been five or more reported crashes in a 12-month period that are susceptible to correction by a multi-way stop installation? Total: <u>3</u></i>							Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
C	<i>Minimum volumes:</i>									
<i>85th-percentile approach speed of the major-street = <u>33</u> MPH If over 40 mph use 70% values for C1 and C2 below.</i>										
C1	<i>The vehicular volume entering the intersection from the major street approaches (total of both approaches) averages at least 300 (210 @ 70%) vehicles per hour for any 8 hours of an average day;</i>							Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
	Time of Day	10:00-11:00	12:00-13:00	13:00-14:00	14:00-15:00	15:00-16:00	16:00-17:00	17:00-18:00	18:00-19:00	AVG
	Volumes	89	84	84	95	96	85	91	74	87
C2	<i>The combined vehicular, pedestrian, and bicycle volume entering the intersection from the minor street approaches (total of both approaches) averages at least 200(140 @ 70%) units per hour for the same 8 hours, and</i>							Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
	Time of Day	10:00-11:00	12:00-13:00	13:00-14:00	14:00-15:00	15:00-16:00	16:00-17:00	17:00-18:00	18:00-19:00	AVG
	Volumes	26	30	30	35	33	37	33	29	32
	<i>(C2. Continued) Average delay to minor-street vehicular traffic is at least 30 seconds per vehicle during the highest hour. Only evaluate if meets criteria for volume.</i>							Yes <input type="checkbox"/>	No <input type="checkbox"/>	
								Or not evaluated <input checked="" type="checkbox"/>		
	<i>Are both C1 and C2 satisfied?</i>							Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
D	<i>Where no single criterion is satisfied, but where Criteria B, C.1, and C.2 are all satisfied to 80 percent of the minimum values.</i>							Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	

Other criteria that may be considered in an engineering study:

A	The need to control left-turn conflicts	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
B	The need to control vehicle/pedestrian conflicts near locations that generate high pedestrian volumes	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
C	Locations where a road user, after stopping, cannot see conflicting traffic and is not able to negotiate the intersection unless conflicting cross traffic is also required to stop	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
D	An intersection of two residential neighborhood collector (through) streets of similar design and operating characteristics where multi-way stop control would improve traffic operational characteristics of the intersection.	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

Additional Comments:

A stop sign is recommended based on the limited sight distance for vehicles turning off of Alphonse St.

Conclusion:

Meets criteria for stop sign installation base on Section 2B.07 Multi-Way Stop Applications of CA MUTCD, 2014	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
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File and attach a copy of the following:

- Speed survey
- Traffic Counts
- Accident analysis
- Sight Distance Analysis

Attachment 2

City of Santee

Intersection Sight Distance Evaluation

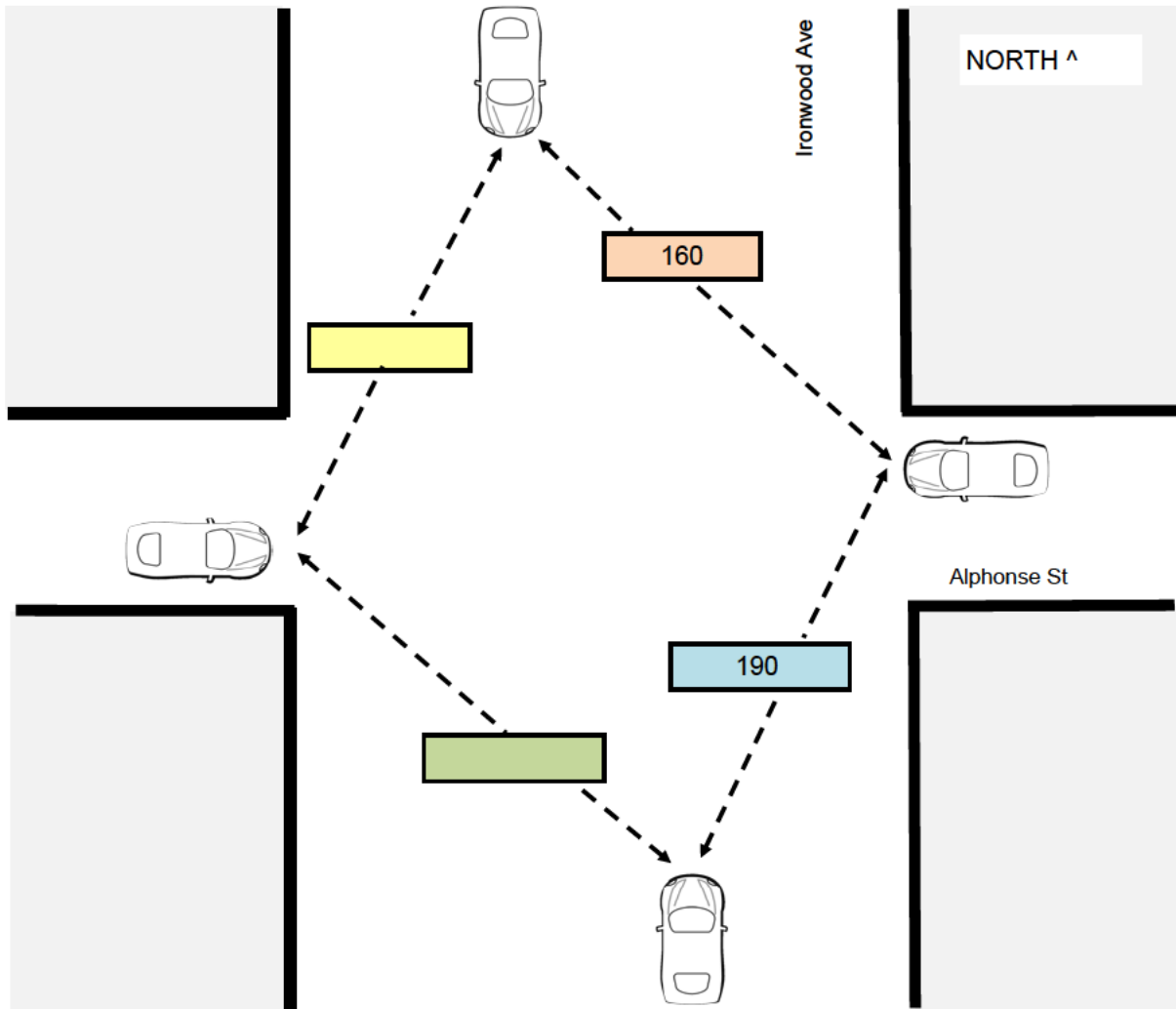
Date: 4/16/21

Conducted By: J. Morgan

Major Street: Ironwood Avenue

Minor Street: Alphonse Street

Direction of Travel	Approach Speed	Measured Sight Distance	Required Sight Distance	Meet Requirements	Need Red Curb	Comments
SB	33	[Blank]	226	-	-	N/A
		160	226	No	Yes	Or a stop sign to minimize red
NB	33	[Blank]	226	-	-	N/A
		190	226	No	Yes	Or a stop sign to minimize red



MEETING DATE APRIL 28, 2021

ITEM TITLE CONSIDERATION OF EXTENSION OF THE EXCLUSIVE NEGOTIATION AGREEMENT BETWEEN THE CITY OF SANTEE AND EXCEL ACQUISITIONS, LLC FOR DEVELOPMENT OF REAL PROPERTY KNOWN AS PARCEL 4 OF PARCEL MAP 18857 LOCATED IN TROLLEY SQUARE

DIRECTOR/DEPARTMENT Marlene D. Best, City Manager

SUMMARY

On August 14, 2019, the City Council determined that the vacant parcel of real property located in Trolley Square identified as Parcel 4 of Map 18857 ("Property") was not appropriate for a public library. On September 5, 2019, the City and Excel Acquisitions, LLC entered into an Exclusive Negotiation Agreement ("ENA") to negotiate the terms of a Disposition and Development Agreement ("DDA") for the possible future construction of a hotel on Parcel 4, subject to all applicable legal requirements, including, without limitation the California Environmental Quality Act. On December 11, 2019, in accordance with Government Code section 37420 et seq., the City Council adopted a resolution finding that the public interest and convenience require the sale of the Property and declaring its intent to sell the Property. Since entering into the ENA, City staff and Excel have been negotiating the terms of a proposed DDA.

The City and Excel need additional time to negotiate the terms of the DDA, and desire to increase the maximum amount of Excel's Initial Deposit, which covers the City's costs in pursuing the contemplated negotiations. For this reason, it is recommended that the City Manager be authorized to execute a Fourth Amendment to the ENA to extend the end of the negotiation period to June 29, 2021, and increase the not-to-exceed amount of the Initial Deposit from \$30,000 to \$40,000.

CEQA COMPLIANCE

The Fourth Amendment to the ENA to allow for continued negotiations and discussions between the City and Excel regarding the DDA is not a project subject to CEQA review under State CEQA Guidelines section 15378. The proposed hotel project subject to the DDA was previously analyzed under CEQA in the Supplemental Environmental Checklist for the Arts and Entertainment Overlay District adopted by the City on December 11, 2019. No approval action has been taken for the proposed hotel project, however, as negotiations between the parties are still ongoing and the City has made no legal commitment to the hotel.

FINANCIAL STATEMENT *m*

If the City approves the DDA, the City would gain the purchase price of \$1.4 million, minus sale costs.

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION *MSB*

Authorize the City Manager to execute a Fourth Amendment to extend the ENA to June 29, 2021, and to increase the not-to-exceed amount of the Initial Deposit to \$40,000.

ATTACHMENT None



MEETING DATE April 28, 2021

ITEM TITLE PUBLIC HEARING FOR A CONDITIONAL USE PERMIT (P2019-5) AND A MITIGATED NEGATIVE DECLARATION (AEIS2019-10) PREPARED PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT FOR A SELF-STORAGE AND RECREATIONAL VEHICLE (RV) STORAGE FACILITY, TRUCK RENTALS AND A CARETAKER'S RESIDENCE AT 8708 COTTONWOOD AVENUE (APPLICANT: ALL RIGHT STORAGE, L.P.) ASSESSOR'S PARCEL NUMBER: 384-370-25

DIRECTOR/DEPARTMENT Melanie Kush, Development Services



SUMMARY The proposed project is a request for a Conditional Use Permit (CUP) to allow construction of a 148,458 square-foot self-storage facility which would be constructed in two phases. Phase 1 would include three storage buildings and a caretaker's residence totaling 89,543 square feet, with buildings configured along the perimeter of the lot. An uncovered parking area would be located at the center of the property for approximately 50 RVs and 7 rental trucks. Phase 2 would replace the RV and truck rental storage area with two storage buildings totaling 58,915 square feet.

The project site has a General Plan and Zoning land use designation as Light Industrial with a Residential Business (IL/RB) Overlay. Uses immediately adjacent to the site and within the vicinity include residential, commercial, and industrial uses. A CUP is required to evaluate the operating characteristics and performance standards. To minimize any potential impacts to the residences to the north and east of the project site, the project is conditioned to comply with the noise regulations, limit operating hours, and erect a minimum six-foot high solid masonry wall along the northern and eastern sides of the property adjacent to the existing single-family residences.

The proposed project complies with the required development standards including building height, setbacks, and parking. Project conditions of approval include widening Cottonwood Avenue to collector street standards along the project's 45-foot frontage and compliance with the Sustainable Santee Plan.

ENVIRONMENTAL REVIEW An Environmental Initial Study, prepared in accordance with the California Environmental Quality Act (CEQA), indicates that the project would have no significant impact on the environment with mitigation. Therefore, a Mitigated Negative Declaration (MND) has been prepared. It was advertised and was available for agency and public review/comment from January 22, 2021 through February 22, 2021. Two comment letters were received during the public review period and did not raise any environmental issues not disclosed and analyzed in the MND. Comments relate to the California Department of Transportation review of any proposed fencing next to State Route 52 and drainage facilities.

m
FINANCIAL STATEMENT Staff costs for application processing are paid on an actual cost recovery basis. Development Impact Fees are estimated to total \$344,835.03.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *MDB*

1. Conduct and close the Public Hearing; and
2. Find that Conditional Use Permit P2019-5 will not have a significant effect on the environment with mitigation; approve the Mitigated Negative Declaration and the Mitigation Monitoring Reporting Program prepared in accordance with CEQA; authorize a filing of a Notice of Determination; and
3. Approve Conditional Use Permit P2019-5 per the attached Resolution.

ATTACHMENTS

Staff Report
Resolution
MND/Initial Study
Public Comments/Staff Response
Plans

STAFF REPORT

**PUBLIC HEARING FOR A CONDITIONAL USE PERMIT (P2019-5) AND A MITIGATED
NEGATIVE DECLARATION (AEIS2019-10) PREPARED PURSUANT TO THE
CALIFORNIA ENVIRONMENTAL QUALITY ACT FOR A SELF-STORAGE AND
RECREATIONAL VEHICLE (RV) STORAGE FACILITY, TRUCK RENTALS, AND A
CARETAKER'S RESIDENCE AT 8708 COTTONWOOD AVENUE**

**APPLICANT: ALL RIGHT STORAGE, LP
APN: 384-370-25**

**CITY COUNCIL MEETING
APRIL 28, 2021**

Notice of the Public Hearing was published in the San Diego Union-Tribune on April 16, 2021. The Notice of Public Hearing was mailed to **216** owners and occupants of property within 300 feet of the request and other interested parties, including the owner of the subject property, by U.S. Mail on **April 16, 2021**.



A. SITUATION AND FACTS

1. Requested by All Right Storage, L.P.
2. Land Owner..... All Right Storage, L.P.
3. Type and Purpose of Request..... Conditional Use Permit to establish a self-storage and RV storage facility with truck rentals and a caretaker's residence.
4. Location..... 8708 Cottonwood Avenue
5. Site Area..... 3 Acres
6. Number of lots..... 1
7. Hillside Overlay No
8. Existing Zoning..... IL/ RB (Light Industrial / Residential Business Overlay)
9. Surrounding Zoning..... North: IL/RB (Light Industrial / Residential Business Overlay)
South: CALTRANS Right-of-Way (SR-52)
East: IL/RB (Light Industrial / Residential Business Overlay)
West: IL/RB (Light Industrial / Residential Business Overlay)
10. General Plan Designation IL/RB (Light Industrial / Residential Business Overlay)
11. Existing Land Use Vacant
12. Surrounding Land Use North: Single-family residential
South: CALTRANS Right-of-Way (SR-52)
East: Single-family residential and commercial
West: Commercial and industrial
13. Terrain..... The topography on the site is generally flat with an average elevation of 350 feet above sea level
14. Environmental Status A Mitigated Negative Declaration (MND) has been prepared in accordance with the California Environmental Quality Act (CEQA).
15. APN..... 384-370-25
16. Within Airport Influence Area The project is within Airport Influence Area 1 which requires review and determination of consistency with the Gillespie Field Airport Land Use

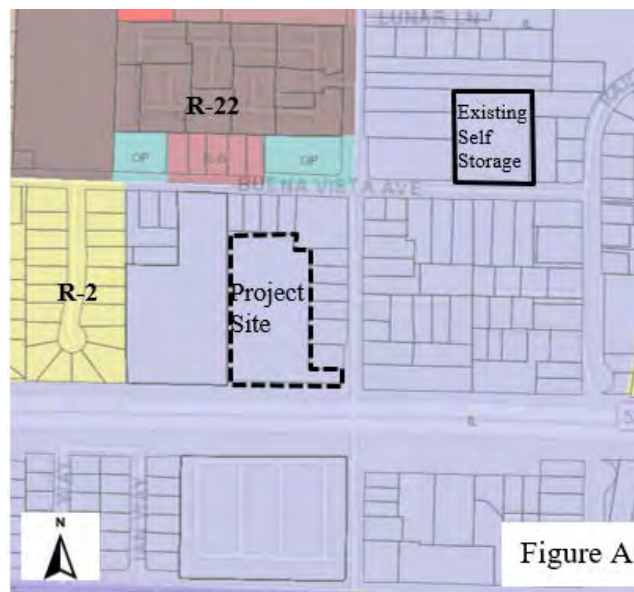
Compatibility Plan (ALUCP). On August 19, 2020, the San Diego County Regional Airport Authority deemed the project conditionally consistent with the Gillespie Field ALUCP.

B. BACKGROUND

Existing Conditions:

The proposed self-storage and recreational vehicle (RV) storage facility would be located on a 3-acre lot located on the west side of Cottonwood Avenue, north of State Route (SR) 52. The site is undeveloped and relatively flat with an average elevation of 350 feet above mean sea level. A mobile home park previously occupied the site and was removed in 2010 by CALTRANS. The site currently consists of pavement and ornamental vegetation with no native habitat present.

Land uses immediately adjacent to the site and within the vicinity include residential, commercial, and industrial uses. A business park with commercial and industrial uses is located to the west, SR-52 is located to the south, single-family residences and a commercial structure are located to the east, and single-family residences are located to the north. Figure A shows the nearest residential zones are approximately 320 feet to the north and approximately 340 feet to the west. An existing storage facility is located approximately 520 feet northeast of the project site.



C. PROJECT DESCRIPTION

Overview:

The proposed project is a request for a Conditional Use Permit (CUP) to allow construction of a 148,458 square-foot self-storage facility which would be constructed in two phases. Phase 1 would include the following:

- Building “A” – Three-story, 78,080 square-foot self-storage building with incidental office and retail.
- Building “B” – One-story, 4,413 square-foot self-storage building.
- Building “C” – One-story, 5,120 square-foot self-storage building with a two-story 1,930 square-foot caretaker’s residence.
- Surface parking consisting of 26 parking spaces for customers, a storage facility with 50 parking spaces for RVs and seven parking spaces for truck

rentals.

Buildings “A” through “C” would form a courtyard where parking for the RVs and rental trucks would be provided. Phase 2 would replace the RV and truck rental parking area with two additional self-storage buildings. Construction of Phase 2 would be developed at a future date, depending on market conditions, and include the following:

- Building “D” – One-story, 8,309 square-foot self-storage structure.
- Building “E” – Three-story, 50,606 square-foot self-storage structure.
- Three additional parking spaces for a total of 29 spaces.

The storage facility would be accessed Monday through Friday from 7:00 a.m. to 10:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m. The project includes an office retail component within Building A that would sell packing and moving supplies and offer truck rental services. Office hours would be Monday through Friday 8:00 a.m. to 7:00 p.m., Saturday 8:00 a.m. to 6:00 p.m., and Sunday 9:00 a.m. to 3:00 p.m.

A caretaker’s residence would be located in Building C to manage the site. The site would include wall pack lights on the buildings to provide security and path of travel lighting for vehicles and pedestrians. A minimum of 20 security cameras with on-site and off-site monitoring features would be installed throughout the facility. Two six-foot tall wrought iron security gates would be located east and south of Building A to access the storage facilities. Project signage would include a monument sign at the entrance to the project site in addition to façade signs on Buildings A and E.

D. ANALYSIS

General Plan/Zoning:

The project site has a General Plan and Zoning land use designation as Light Industrial with a Residential Business (IL/RB) Overlay. Public and RV storage facilities are conditionally allowed in the IL zone and truck rentals and a caretaker’s residence are permitted ancillary uses. The Residential Business (RB) District is intended for low-intensity commercial and office use or a combination of residential/non-residential uses within existing residences.

Uses immediately adjacent to the site and within the vicinity include residential, commercial, and industrial uses. A CUP is required to evaluate the operating characteristics and performance standards. To minimize any potential impacts to the residences to the north and east of the project site, the project is conditioned to comply with the noise regulations, limit operating hours, and erect a minimum six-foot high solid masonry wall along the northern and eastern sides of the property adjacent to the existing single-family residences.

The IL development standards are delineated in Section 13.14.040 of the Santee Municipal Code and the relevant parking requirements are set forth in Section 13.24.040(B) of the Santee Municipal Code. Table 1 below shows key development standards and project compliance.

Table 1

	Light Industrial (IL) Development Standards	Proposed Project
Maximum Height	40 feet	39 feet
Building Setbacks		
Street	15 feet	N/A (flag lot)
*Rear	5 feet	5 feet
*Side (Interior)	5 feet	5 feet
Parking/Landscaping Setbacks		
Street	10 feet	20 feet
Rear	0 feet	5 feet
*Side (Interior)	5 feet	5 feet
Parking		
1 space / 5,000 square feet of gross floor area	Phase 1: 17 spaces <u>Phase 2: 12 spaces</u> Total: 29 spaces	Phase 1: 26 spaces <u>Phase 2: 3 spaces</u> Total: 29 spaces
Caretaker Residence	2 spaces, with at least 1 space in a garage	2 spaces within a garage

*adjacent to industrial zone

The project site, as conditioned, would meet the development standards of the IL zone. Since the project is not located within 50 feet of residentially zoned property, the proposed buildings may reach a maximum height of 40 feet. The proposed building heights range from 14 feet to 39 feet. The project meets the required setbacks along all property lines. The project exceeds the parking requirement in Phase 1 and complies with the parking requirement in Phase 2. In addition, a two-car garage is provided for the caretaker's residence.

Access and Loading/Unloading:

Access to the site would be from the existing entry point on Cottonwood Avenue. The pan handle street frontage is 45 feet wide with a 31.5-foot-wide two-way driveway. Loading/unloading for the ground storage units would take place from designated areas in front of the storage units and loading/unloading for the interior units on the upper floors would take place adjacent to the main hallways and elevators.

Architecture and Finishes:

Phase 1 will consist of a three-story storage building (Building A) to the south of the property and two single-story storage buildings (Buildings B and C) to the north and west of the property. Phase 2 will consist of a one-story storage building (Building D) and a three-story storage building (Building E) at the center of the property. The exterior of the single-story storage buildings will consist of concrete masonry unit

(“CMU”) walls and the three-story storage buildings will be a combination of a smooth stucco finish, split-face CMU walls, and metal panel siding. All buildings will have a standing seam metal roof. The project has been conditioned to screen any roof-mounted mechanical equipment from view.

Fencing:

In accordance with SMC Section 13.30.020.F.4, a minimum six-foot high decorative masonry block wall will be provided along the northern and eastern property boundaries adjacent to the residential uses. The project would also provide wrought iron fencing adjacent to the business park and SR-52 along the southern and western property lines.

Landscaping:

Landscaping, would be incorporated along the northern, eastern, and western property lines and along the northern side of the project site’s driveway. A total of 7,665 square feet of landscaping would be provided in Phase 1 and an additional 281 square feet of landscaping would be provided in Phase 2 for a total of 7,946 square feet. Landscaping would consist of trees, low water use plants and groundcover.

Compatibility with On-site and Adjacent Land Uses:

The project is compatible with other nearby commercial and industrial uses and the land use development standards that require height limitations, building setbacks, and distance from residential zones.

Sustainable Santee Plan (SSP):

The project is conditioned to comply with the following greenhouse gas reduction measures included in the SSP:

- Measures 2.1 and 4.1. New construction meet or exceed California Green Building Standards Tier 2 Voluntary Measures, such as obtaining green building ratings including LEED, Build it Green, or Energy Star Certified building certifications. Refer to condition of approval E.14 in Section 3 of the Resolution.
- Measure 5.1. Utilize tree planting for shade and energy efficiency such as tree planting in parking lots and streetscapes as shown on the landscape plan.
- Measure 5.2. Use light-reflecting surfaces such as enhanced cool roofs on commercial buildings. Refer to condition of approval E.17 in Section 3 of the Resolution.
- Measure 7.1. Install one electric vehicle charging station for the caretaker’s residence. Refer to condition of approval E.16 in Section 3 of the Resolution.
- Measure 10.1. Install photovoltaic solar systems. Refer to condition of approval E.15 and E.18 of the Resolution.

Development Impact Fees:

The proposed development would trigger drainage, traffic, and traffic signal fees. The current fees are estimated as follows:

Site Development Impact Fees

Drainage -	\$ 146,309.33
Traffic -	\$ 152,535.65
Traffic Signal -	\$ 24,763.23
Total	\$ 323,608.21

Caretaker Development Impact Fees

Drainage -	\$ 2,115.00
Traffic -	\$ 2,435.00
Traffic Signal -	\$ 252.00
Park-in-Lieu-	\$ 7,598.00
Public Facilities-	\$ 6,243.00
RTCIP-	\$ 2,583.82
Total	\$ 21,226.82

Street Improvements:

Improvements include widening Cottonwood Avenue to collector street standards (64 feet curb to curb / 84 feet right-of-way) which includes installation of curb, gutter, sidewalks, street lighting, and pedestrian ramps. The project is also required to construct a 30-foot wide commercial driveway on Cottonwood Avenue per City of Santee standards.

Traffic:

The proposed project would generate 299 additional daily trips, including 19 AM and 28 PM peak hour trips and 20 peak-hour trips on any existing freeway on- or off-ramp. The storage facility is a local serving business and therefore, exempt from a Vehicle Miles Traveled (VMT) analysis. In addition, the project's trip generation does not trigger a local transportation analysis.

Noise:

The Noise Element of the General Plan and SMC Chapter 5.04 Noise Abatement and Control is used to protect the citizens of Santee from excessive exposure to noise. The caretaker's unit is located outside of the 60 Community Noise Level Equivalent Level (CNEL) and noise levels would not exceed the City's normally acceptable compatibility level of 65 CNEL or the Airport Land Use Compatibility Plan (ALUCP) compatible noise level limit of 60 CNEL for residential uses. Noise levels across the project site would not exceed the City's standard of 70 CNEL for industrial uses or the ALUCPs standard of 70 CNEL for storage uses.

A noise analysis prepared by Recon, dated August 31, 2020, concluded that construction noise, vehicle traffic noise and on-site noise, such as air conditioning equipment and loading and unloading, would comply with the City noise standards and result in less than significant noise impacts.

In accordance with the Noise Abatement and Control Ordinance, the project is conditioned to: 1) require advance notice of construction to surrounding properties within 300 feet of the site; 2) limit construction activities between 7:00 a.m. and 7:00 p.m. Mondays through Saturdays and prohibit construction activities on Sundays; and 3) limit unloading/loading operating hours.

Environmental Status:

An Initial Study of the project was conducted in accordance with the California Environmental Quality Act (CEQA). The analysis indicated that the project would not have a significant adverse impact on the environment with mitigation. Therefore, a Mitigated Negative Declaration was prepared and made available for review and comment by agencies and the public from January 22, 2021 to February 22, 2021 (State Clearinghouse Number 2021010248). A Mitigation, Monitoring, and Reporting Program (MMRP) for potential impacts to biological, cultural, and tribal resources is attached to the Resolutions of Approval. Comments from the California Department of Transportation and an adjacent resident were received and have been reviewed and considered. The comments did not affect the conclusions of the document and no changes to the draft MND were required. A full discussion of the comments and responses are found in the attached Mitigated Negative Declaration.

E. STAFF RECOMMENDATION

1. Conduct and close the public hearing; and
2. Find that Conditional Use Permit P2019-5 will not have a significant effect on the environment with mitigation; approve the Mitigated Negative Declaration AEIS2019-10 and the Mitigation Monitoring Reporting Program prepared in accordance with CEQA; and authorize a filing of a Notice of Determination; and
3. Approve Conditional Use Permit P2019-5 per the attached Resolution.

RESOLUTION NO._

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA
APPROVING CONDITIONAL USE PERMIT (P2019-5) AND A MITIGATED NEGATIVE
DECLARATION (AEIS2019-10) PREPARED PURSUANT TO THE CALIFORNIA
ENVIRONMENTAL QUALITY ACT FOR A SELF-STORAGE AND RECREATIONAL
VEHICLES (RV) FACILITY, TRUCK RENTALS, AND A CARETAKER'S RESIDENCE
AT 8708 COTTONWOOD AVENUE
(APPLICANT: ALL RIGHT STORAGE, L.P.)
ASSESSOR'S PARCEL NUMBER: 384-370-25**

WHEREAS, on September 30, 2020, All Right Storage submitted a complete application for Conditional Use Permit P2019-5 to establish a 148,458 square foot self-storage facility developed in two phases and a recreational vehicle (RV) and moving truck rental storage facility at 8708 Cottonwood Avenue; and

WHEREAS, the site was previously developed as a mobile home park which was removed in 2010; and

WHEREAS, the project site is located within the IL (Light Industrial) zone with a Residential Business (RB) Overlay; and

WHEREAS, Table 13.14.030A of the Santee Municipal Code allows a self-storage facility with approval of a Conditional Use Permit, a RV storage facility with approval of a Minor Conditional Use Permit, and allows ancillary uses customarily incidental to a permitted use, such as overnight parking of vehicles and a caretaker's unit, in the IL zone; and

WHEREAS, the request for a RV and truck rental storage facility is processed concurrently with the self-storage facility with one Conditional Use Permit application; and

WHEREAS, the project is not subject to the requirements of Chapter 13.21, Residential Business District, of the Santee Municipal Code because that Chapter is intended to apply to residential business development, and this project does not include residential business development; and

WHEREAS, pursuant to the requirements of the California Environmental Quality Act ("CEQA"), an Initial Study (AEIS 2019-10) was conducted for the project that determined all environmental impacts of the project would be less than significant with mitigation; and

WHEREAS, a Notice of Intent of Adopt a Mitigated Negative Declaration (State Clearing House Number 2021010248) ("MND") was prepared and advertised for public review from January 22 to February 22, 2021, during which time the City received two comment letters; and

WHEREAS, the Mitigation Monitoring and Reporting Program ("MMRP") prepared for the Project is attached to this Resolution as Exhibit "A" and made a condition of Project approval; and

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WHEREAS, the Airport Land Use Commission determined an overflight notification is required for the caretaker's residence and found the project to be conditionally consistent with the Gillespie Field Airport Land Use Compatibility Plan (ALUCP) on August 19, 2020; and

WHEREAS, the project was determined to pose no hazard to air navigation by the Federal Aviation Administration (FAA) on May 26, 2020; and

WHEREAS, the Director of Development Services set an April 28, 2021 public hearing for Conditional Use Permit P2019-5 and Initial Study AEIS2019-10; and

WHEREAS, on April 28, 2021, the City Council held a duly advertised and noticed public hearing on the project; and

WHEREAS, all the requirements of the Public Resources Code and the State CEQA Guidelines have been satisfied or complied with by the City in connection with the preparation of the MND, which is sufficiently detailed so that all of the potentially significant environmental effects of the proposed Project as well as feasible mitigation measures, have been adequately evaluated; and

WHEREAS, the MND prepared in connection with the proposed Project sufficiently analyzes the feasible mitigation measures necessary to avoid or substantially lessen the proposed Project's potentially significant environmental impacts; and

WHEREAS, the MND reflects the independent judgment of the City and is deemed adequate for purposes of making decisions on the merits of the proposed Project; and

WHEREAS, no comments made in the public hearing conducted by the City Council, and no additional information submitted to the City, have produced substantial new information requiring substantial revisions that would trigger recirculation of the MND or additional environmental review of the proposed Project under State CEQA Guidelines section 15073.5; and

WHEREAS, the City Council considered all of the information and data in the administrative record, including but not limited to the Initial Study, MND, MMRP, the staff report, all recommendations by staff, and all public testimony; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, BE IT RESOLVED by the City of Santee City Council, after considering the evidence presented at the public hearing, as follows:

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SECTION 1: The City Council hereby finds that the recitals set forth above are true and correct and are incorporated herein as substantive findings of this Resolution.

SECTION 2: As the decision-making body for the proposed Project, the City Council has reviewed and considered the information contained in the MND, the Initial Study, the administrative record, and all other written and oral evidence presented to the City Council for the proposed Project, and based on the City Council's independent review and analysis, the City Council finds that the MND, Initial Study, and administrative record contain a complete and accurate reporting of the environmental impacts associated with the proposed Project, and that the MND has been completed in compliance with CEQA and the State CEQA Guidelines.

SECTION 3: Based on the whole record before it, the City Council finds and determines that evidence in the administrative record, including, without limitation, the analysis and conclusions set forth in the staff reports, responses to comments, testimony provided at the proposed Project's public meeting, the Initial Study, the MND and the supporting technical studies, demonstrate that, with incorporation of the identified mitigation as set forth in the MMRP, the proposed Project will not have any potential significant environmental impact. The City Council has considered all comments and other information submitted to the City in connection with the MND. The City Council further finds and determines that there is no substantial evidence in the administrative record supporting a fair argument that the proposed Project may have a significant environmental impact. The City Council finds that the MND contains a complete, objective, and accurate reporting of the environmental impacts associated with the proposed Project and reflects the independent judgment and analysis of the City.

SECTION 4: On April 28, 2021, the City Council approved and adopted the Mitigated Negative (State Clearing House Number 2021010248) and its associated Mitigation Monitoring and Reporting Program, which fully disclosed, evaluated and mitigated environmental impacts of the proposed project. No further environmental review is required for the City to adopt this Resolution.

SECTION 5: The findings in accordance with Section 13.06.030.E of the Santee Municipal Code for a Conditional Use Permit are made as follows:

- A. That the proposed use is in accord with the General Plan, the objectives of the zoning ordinance, and the purposes of the district in which the site is located.

The proposed uses are in accordance with the General Plan, the objectives of the Zoning Ordinance, and the purposes of the district in which the site is located. The site is located in the Light Industrial (IL) land use district with a Residential Business (RB) Overlay. The IL land use district is intended for a variety of commercial, light industrial, and storage uses. The proposed self-storage and RV storage facility is conditionally permitted in the IL (Light Industrial) zone with ancillary uses such as office, retail, moving truck rentals, and a caretaker's unit. The proposed project is subject to and would be developed in accordance with the IL development standards including, but not limited to building height and setbacks.

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- B. That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.

The proposed uses, as designed and conditioned, will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity because 1) the project meets the applicable provisions of the Zoning Ordinance; 2) is similar to nearby industrial uses; 3) was determined as not a hazard to air navigation by the Federal Aviation Administration and conditionally consistent with the Gillespie Field Airport Land Use Compatibility Plan; and 4) is not a substantial noise generator but would require compliance with the City's Noise Ordinance.

- C. That the proposed use complies with each of the applicable provisions of the zoning ordinance.

The proposed uses comply with each applicable provision of the Zoning Ordinance. The building heights and setbacks comply with the setbacks for industrial zones as prescribed in Table 13.14.040A and Table 13.14.040B of the Santee Municipal Code. The self-storage buildings are located five feet from the north, east, and west property lines and 26 feet to the south property line. These distances to buildings meet or exceed the minimum setbacks required in the Light Industrial (IL) zone. On-site parking located near Cottonwood Avenue is located outside of the 10-foot setback for parking along street frontages. The proposed maximum building height of 39 feet is less than the 40-foot maximum building height in this zone and location. The project provides 26 parking spaces which exceeds the parking requirement in Phase 1 and provides 3 additional parking spaces in Phase 2 to comply with the parking requirement. In addition, a two-car garage is provided for the caretaker's residence.

- D. Regarding all properties designated as general commercial, neighborhood commercial or office professional: Development and redevelopment shall be comprehensively designed, entitled and developed.

The project has a General Plan land use designation and Zoning Designation of IL. Therefore, the requirement that development and redevelopment of general commercial, neighborhood commercial, or office professional properties must be comprehensively designed does not apply to this project.

SECTION 6: Conditional Use Permit P2019-5, to establish a self-storage and RV storage facility at 8708 Cottonwood Avenue is hereby approved, subject to the following conditions:

- A. All construction shall be in substantial conformance with the approved project plans received July 16, 2020, as amended by this Resolution.
- B. The applicant shall be responsible for complying with all the provisions of the Mitigation Monitoring and Reporting Program adopted by the City Council on

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April 28, 2021. Each and every mitigation measure contained in the Mitigation Monitoring and Reporting Program is hereby expressly made a condition of project approval in accordance with State CEQA Guidelines, Section 15074.1.

- C. The applicant shall comply with all applicable sections of the Municipal Code, Land Development Manual and Public Works Standards of the City of Santee.
- D. Minor or Major Revisions to the Conditional Use Permit, such as, but not limited to, changes to the uses, building elevations, site design, landscaping design and changes to business hours, shall be approved by the Director of Development Services, unless, in the Director's judgment, a Major Revision should be reviewed by the City Council.
- E. Prior to building permit issuance, the applicant shall:
 - 1. Submit a landscape plan for the site prepared in accordance with the City of Santee Water Efficient Landscape Ordinance (Chapter 13.36 of the Santee Municipal Code).
 - 2. Record a Notice of Restrictions which discloses the conditions of Conditional Use Permit 2019-5 and existing zoning regulations to the future property owners. The form and content of said document shall be approved by the Director of Development Services.
 - 3. Receive approval from the California State Transportation Agency for any proposed walls or fencing along the southern property line. The construction of walls (including footings) and fencing shall be within the project site.
 - 4. Receive discretionary approval and an encroachment permit from the California State Transportation Agency for any work performed in the right-of-way.
 - 5. Record an overflight notification for the residential unit. The form and content of said document shall be approved by the Director of Development Services.
 - 6. Design on-site parking in accordance with Chapter 13.24 of the Santee Municipal Code.
 - 7. Provide trees along the northern side of the property.
 - 8. Provide lighting on the facility in compliance with Section 13.30.030.B of the Santee Municipal Code.
 - 9. Submit a photometric study to show that lights will be shielded and directed so as to not cause glare on adjacent properties.
 - 10. Provide a minimum six-foot high decorative masonry block wall (not to exceed eight feet high) adjacent to the residential uses to the north and east

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of the project site.

11. Submit a Construction and Demolition debris deposit as required by Chapter 9.04 of the Santee Municipal Code.
12. All exterior wall paint shall employ graffiti-resistant additives or a separate graffiti-resistant coating applied.
13. Any rooftop mechanical equipment shall be screened from view from SR-52 and adjoining properties.
14. All buildings shall meet or exceed California Green Building Standards Tier 2 Voluntary Measures, such as obtaining green building ratings including LEED, Build it Green, or Energy Star Certified building certifications.
15. The caretaker's residence shall be installed with at least a 2-kilowatt (kW) PV system. PV systems shall utilize high-efficiency equipment and fixtures consistent with the current Green Building Code and California Code of Regulations, Title 24 energy conservation standards.
16. The garage of the caretaker's residence shall be installed with complete 40 Amp electrical service and minimum AC Level 2 electrical vehicle charging station.
17. All commercial buildings shall be installed with cool roofs and designed as required by Title 24.
18. All commercial buildings shall be installed with at least 1.5 watt (W) photovoltaic system per square foot of building area.
19. Signage shall comply with Chapter 13.32 of the SMC and shall not cause glare on adjacent properties or motorists.
20. Following project approval the applicant shall schedule with the City Project Planner a post approval meeting to discuss the project conditions of approval, timing of design and construction, and implementation of the project conditions. The meeting shall be scheduled within thirty days of project approval and prior to any plan submittals. The applicant should include their project design team including the project architect, their design engineer and their landscape architect.
21. Applicant shall include provisions in their design contract with their design consultants that following approval by the City, all construction drawings or technical reports accepted by the City, exclusive of architectural building plans, shall become the property of the City. Once accepted, these plans may be freely used, copied or distributed by the City to the public or other agencies, as the City may deem appropriate. A letter of acknowledgement of this requirement from each design consultant is required at the time of plan submittal. This letter shall be in a format acceptable to the City Engineer.

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22. To coordinate with the City Geographic Information System, horizontal and vertical control for all construction drawings, grading plans, landscape plans, street improvement plans, plot plans, etc., shall be obtained from ROS 11252. All plans, exclusive of building plans, shall be prepared at an engineering scale of 1"=20' unless otherwise approved by the project engineer.
23. Submit evidence, satisfactory to the Director of Development Services, which establishes the property as a lawful parcel in accordance with Section 66412.6 of the Subdivision Map Act or apply for a Certificate of Compliance for the property through the Department of Development Services.
24. Applicant shall ensure that all property corners are properly monumented. If corners have been lost or do not exist, corners shall be set and a Record of Survey filed prior to issuance of a building permit.
25. Provide a minimum 26' wide, paved "fire lane" access roadway throughout the facility. The fire lane width shall be measured curb to curb (or edge of pavement to edge of pavement) and shall extend vertically from grade to the highest point of any structures or obstacles constructed adjacent to the fire lane. No building elements, balconies, drains, projections, or any other object shall encroach into this clear space. The fire lane(s) shall be identified by painting curbs red with white-stenciled letters indicating "NO PARKING – FIRE LANE" every 30 feet along all portions of the fire lane. Red stripes with white stenciled letters shall be painted on the curb or asphalt in front of garages along fire lanes as well.
26. Vehicular gates for the project shall be equipped with "Opticom" strobe emergency vehicle access devices operable from both directions, and Knox key switches for gate override operable from the entrance side only. All gates shall have a manual release device or other means to open the gate upon power failure.
27. Minimum inside turning radius is 28' and minimum outside turning radius is 40'
28. Address numbers shall be placed near the roofline of all structures visible from the fire lanes. Numbers shall be block style, 15" in height, black in color (or other approved color), in contrast with their background. Address numbers shall also be illuminated for nighttime visibility. A Potter, "SASH-120" Horn/Strobe (or equivalent) shall be located below each address placement for indication of fire sprinkler activation. Exact location and color of address numbers shall be approved by the Fire Department prior to installation.
29. The buildings are required to be constructed with an approved automatic fire sprinkler system installed by a licensed fire sprinkler contractor. Separate plans are required to be submitted to the Fire Department for approval prior to installation. If the fire sprinkler system has 20 or more sprinkler heads, the

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sprinkler system is required to be monitored by an approved central station monitoring company. Contact the Fire Department for specific requirements for the automatic fire sprinkler system. A Potter, "SASH-120" Horn/Strobe (or equivalent) shall be located below each address placement for indication of fire sprinkler activation. The sprinkler systems shall be designed to Extra Hazard Group I standards.

30. The horn/strobe is to be installed near the address placement for the building. Exact installation location of the horn/strobe is to be determined by the Fire Department prior to installation.
31. A separate plan for the underground fire service (providing water supply to the fire sprinkler system) is required to be submitted to the Fire Department for approval prior to construction. Thrust block inspections are required for the underground fire service piping prior to filling with water. An underground hydrostatic test shall be conducted (at 250 psi for two hours) and flush of the fire service is required during construction. Contact the Santee Fire Department at least 48 hours in advance to schedule the inspections.
32. A permanent engraved or punched hydraulic calculation card is required for each system, permanently affixed to riser.
33. Each building (equipped with an automatic fire sprinkler system) shall have a fire sprinkler riser room/enclosure accessible from the outside of the building or address. The exact size and location of the riser room/enclosure shall be approved by the Fire Department prior to construction. This room/enclosure shall contain the fire sprinkler riser(s) for the building/address, pressure gauges for the system, applicable valves, sprinkler head box, "test and drain" inspectors test valve and any diagrams or documentation for the fire protection systems. These rooms shall have exterior locking hardware and a Knox box shall be located at an approved location near the room for easy Fire Department access. The room shall be provided with lighting on the emergency circuit or have battery backup power. The exterior side of the riser room door shall have labeling or signage approved by the Fire Department indicating "FIRE RISER ROOM".
34. This device shall be located where the public water system meets the development for the private fire water main. The device shall be designed, installed, and inspected per the current Water Agency Standards (WAS). The entire device may be painted dark green or brown to blend in with adjacent landscaping. The assembly shall be equipped with a chain and breakaway locks for security. Location of these devices shall be approved prior to installation.
35. A Knox Box key safe for emergency access of Fire Department personnel shall be installed at approved locations including the office building, riser rooms and other required location(s). Knox Box items may be purchased online at the Knox website, or applications may be obtained from the Fire Department. Approval of the number and exact mounting location shall be

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- determined by the Fire Department prior to installation.
36. A fire sprinkler monitoring system is required for each building with 20 or more sprinkler heads. Separate plans shall be submitted to the Fire Department for any fire alarm system(s) or devices for approval prior to installation. The fire alarm control panel or a remote keypad for the system shall be located in the "Fire Riser Room". Plans & documentations for the fire alarm system shall include, manufacturer cut sheets for all fire alarm devices, California State Fire Marshal Listing sheets for all appropriate devices, plans showing locations of all devices, line diagram & point to point diagram of the alarm system and complete battery & voltage drop calculations for the system.
 37. A minimum of one, 2A10BC fire extinguisher shall be located every 75' of travel distance in fire extinguisher cabinets throughout the complex. Exact extinguisher location to be determined by the Fire Department prior to installation.
 38. Signage shall meet the requirements in 2016 CFC Chapter 10, Section 1023.
 39. Elevators must comply with the 2016 California Building Code, Chapter 30 and be gurney capable for emergency operations.
 40. Starting with the first plan check submittal, all plan sets shall be submitted concurrently to Padre Dam Municipal Water District for review and approval. The City does not coordinate the review process with Padre Dam, this is the responsibility of the design engineer and the landscape architect. Failure to properly coordinate this review may result in delay of issuance of permits required for construction. It is incumbent upon the applicant to oversee the plan submittals of their design consultants.
 41. Street Improvement Plans shall be submitted to the Department of Development Services Engineering Division for review and acceptance. Prior to the start of construction of any improvements, public or private, within the limits of the public right-of-way, the applicant shall have plans accepted, agreements executed, securities posted and an encroachment permit issued. All improvements shall be installed in accordance with City standards and at the applicant's cost unless otherwise indicated. The following improvements are conditioned as part of this development:
 - a. Construct a 30-foot-wide commercial driveway on Cottonwood Avenue per City of Santee Standards. The driveway design shall be per the City of Santee Public Works Standard Drawing PW-21 and to the satisfaction of the Director of Development Services.
 - b. Widen Cottonwood Avenue to collector street standards (64' curb to curb/84' right-of-way). Show curb, gutter, sidewalks, street lighting, fire hydrants and pedestrian ramps at curbs.
 - c. Show transition between proposed improvements and widening along

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Cottonwood Avenue with adjoining properties. Transitions shall be to the satisfaction of the Director of Development Services.

- d. Street Improvement plans shall be one hundred percent **(100%)** complete at the time of plan check submittal, be prepared in accordance with City guidelines and the requirements set forth herein, and be ready for acceptance by the City. Partial or incomplete submittals will not be accepted for plan check. At the time of plan check submittal the applicant shall schedule an appointment with their designated City project engineer and the applicant's design engineer to review the plan submittal for completeness. The following shall be included as part of the improvement plan submittal package:
 - 1) Six sets of plans bound and stapled (improvements).
 - 2) Plan check fees.
 - 3) Preliminary cost estimate for the improvements.
 - 4) One copy of the Resolution of Approval approving the project.

Plan check and inspection fees shall be paid in accordance with the City Fee Schedule prior to issuance of the permit.

42. Precise Grading Plans shall be submitted to the Department of Development Services Engineering Division for review and acceptance.
 - a. Horizontal and vertical control for all plans shall be obtained from ROS 11252 and shall be prepared at an engineering scale of 1"=20' unless otherwise approved by the City project engineer.
 - b. All recommended measures identified in the approved geotechnical study shall be incorporated into the project design and construction.
 - c. Grading plans shall include preliminary recommendations for all pavement design sections within the project limits. The pavement structural section shall be designed based on the "R" value method using a minimum traffic index of 8.0. Structural sections shall consist of asphalt concrete over approved aggregate base material. Minimum concrete section shall be 5 1/2 inches PCC over compacted, non-expansive soil. Mix design shall be a minimum class 520-C-2500. R-value test data and design calculations shall be submitted for approval to the Department of Development Services Engineering Division a minimum of seven days prior to placement of paving. The pavement design report shall conform to City of Santee Form 435 – PAVEMENT DESIGN AND R-VALUE TEST SUBMITTAL PROCEDURES.
 - d. Grading plans shall be one hundred percent **(100%)** complete at the time of plan check submittal, be prepared in accordance with City guidelines and be ready for acceptance by the City. Partial or incomplete submittals will not be accepted for plan check. At the time of plan submittal the applicant shall schedule an appointment with their designated City project

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engineer and the applicant's design engineer to review the plan submittal for completeness. The following shall be included as part of the grading, landscape and irrigation plan submittal package:

- 1) Six sets of grading, landscape and irrigation plans bound and stapled.
- 2) Plan check fees.
- 3) A completed grading permit application.
- 4) A cost estimate for the cost of construction.
- 5) Three copies of the Drainage Study specified here within.
- 6) Three copies of the Storm Water Quality Management Plan specified here within.
- 7) Two copies of an Operation & Maintenance (O&M) plan specified here within.
- 8) Two copies of the Storm Water Pollution Prevention Plan specified here within.
- 9) Three copies of the Geotechnical Study specified here within.
- 10) A copy of any letters of permission from any adjoining property owners if grading is proposed off-site. Letters shall be in a form acceptable to the City.
- 11) A letter of acknowledgement, signed and sealed, from each design consultant acknowledging City ownership of all construction drawings following City approval as specified here within.
- 12) One copy of the Director's Decision approving the project.

Plan check and inspection fees shall be paid in accordance with the City Fee Schedule prior to issuance of the permit.

43. Landscape and Irrigation Plans shall be submitted to the Department of Development Services Engineering Division for review and acceptance.

- a. Horizontal and vertical control for all plans shall be obtained from ROS 11252 and shall be prepared at an engineering scale of 1"=20' unless otherwise approved by the City project engineer.
- b. Landscape and irrigation plans shall be one hundred percent (100%) complete at the time of plan check submittal, be prepared in accordance with City guidelines and be ready for acceptance by the City. Partial or incomplete submittals will not be accepted for plan check. At the time of plan submittal the applicant shall schedule an appointment with their designated City project engineer and the applicant's design engineer to review the plan submittal for completeness. The following shall be included as part of the grading, landscape and irrigation plan submittal package:

- 1) Six sets of landscape and irrigation plans bound and stapled.
- 2) Plan check fees.
- 3) A cost estimate for the cost of construction.
- 4) A letter of acknowledgement, signed and sealed, from each design

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consultant acknowledging City ownership of all construction drawings following City approval as specified here within.

Plan check and inspection fees shall be paid in accordance with the City Fee Schedule.

44. Provide three copies of a geotechnical study prepared in accordance with the Santee General Plan. All recommended measures identified in the approved study shall be incorporated into the project design. Copies of the Geotechnical/Seismic Hazard Study for the Safety Element of the Santee General Plan which details, in Table A-1, study criteria necessary to conform to the General Plan requirements, can be purchased from the Department of Development Services Engineering Division.

- a. The geotechnical report shall analyze any proposed infiltration techniques (trenches, basins, dry wells, permeable pavements with underground reservoir for infiltration) for any potential adverse geotechnical concerns. Geotechnical conditions such as: slope stability, expansive soils, compressible soils, seepage, groundwater depth, and loss of foundation or pavement subgrade strength should be addressed, and mitigation measures provided.
- b. The geotechnical report shall include the latest proposed site plan, grading exhibits, reflect the correct site APNs, and include preliminary pavement section recommendations.

45. Applicant consents to annexation of the property under development to the Santee Roadway Lighting District and agrees to waive any public notice and hearing of the transfer. Applicant shall pay the necessary annexation costs and upon installation of any street lights required for the development, pay the necessary street light energizing and temporary operating costs.

46. Replace failed or inadequate pavement to the centerline and/or sidewalk adjacent to the site on Cottonwood Avenue to the satisfaction of the Director of Development Services.

47. Applicant shall pay all development impact fees in effect at the time of issuance of building permits. At present, the fees are estimated (assumes Phase 1 and Phase 2 construction of 146, 528 square feet of industrial footprint plus one caretaker's residence) to be as follows:

SITE DEVELOPMENT IMPACT FEES

- a. Drainage \$ 146,309.33 (estimated)
calculated based on a fee rate of \$ 1,244/1000 square feet of increased impermeable area.
- b. Traffic \$ 152,535.65
calculated based on a fee rate of \$ 1,041/1000 square feet of

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building area.

- c. Traffic Signal \$ 24,763.23
calculated based a fee rate of \$ 169.00/1000 square feet of building area.

CARETAKER DEVELOPMENT IMPACT FEES

a.	Drainage	\$ 2,115.00	or	\$ 2,115.00 / unit
b.	Traffic	\$ 2,435.00	or	\$ 2,435.00 / unit
c.	Traffic Signal	\$ 252.00	or	\$ 252.00 / unit
d.	Park-in-Lieu	\$ 7,598.00	or	\$ 7,598.00 / unit
e.	Public Facilities. . .	\$ 6,243.00	or	\$ 6,243.00 / unit
f.	RTCIP Fee	\$ 2,583.82	or	\$ 2,583.82 / unit

Development Impact fee amounts shall be calculated in accordance with the City Fee Schedule and based on current fee ordinances in effect at issuance of building permit. The drainage fee shall be calculated based on the actual impermeable area created by the project including off-site street improvements or other improvements beyond the project boundary. The applicant shall provide certification of final site and building areas by their engineer of work to be approved by the Director of Development Services for use in calculating the final fee amounts. Fees shall be adjusted on an annual basis in accordance with the Municipal Code.

- 48. Following issuance of a grading permit the applicant shall complete rough grading in accordance with the approved grading plans and the recommendations of the project's geotechnical engineer. Following completion of the rough grading and prior to issuance of any building permits, provide three originals of the pad compaction certification from the geotechnical engineer and three originals of the pad elevation certification from the project civil engineer to the City project engineer.
- 49. Provide three copies of a drainage study prepared by a registered Civil Engineer, with demonstrated expertise in drainage analysis and experience in fluvial geomorphology and water resources management. Storm drainage shall be designed to adequately convey storm water runoff without damage or flooding of surrounding properties or degradation of water quality.
 - a. The drainage study shall identify and calculate storm water runoff quantities expected from the site and upstream of the site and verify the adequacy of all on-site or off-site facilities necessary to discharge this runoff. The drainage system design shall be capable of collecting and conveying all surface water originating within the site, and surface water that may flow onto the site from upstream lands, and shall be in accordance with the latest adopted Master Drainage Plan, the requirements of the City of Santee Public Works Standards, including analysis of the 10-year, 50-year and 100-year frequency storms, and

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be based on full development of upstream areas.

- b. The drainage study shall compute rainfall runoff characteristics from the project area including, at a minimum, peak flow rate, flow velocity, runoff volume, time of concentration, and retention volume. These characteristics shall be developed for the 10-year, 50-year and 100-year frequency six-hour storm during critical hydrologic conditions for soil and vegetative cover. Storm events shall be developed using isopluvial maps and in accordance with the San Diego County Hydrology Manual.
 - c. Expand on Section 3.1, Pre-Development Topography, to address the viability of utilizing the existing storm drain connection of the existing inlets that have become clogged.
 - d. Include within the report a copy of Table 3-1 marked up to reflect the information of Section 5.2, Calculated Runoff Coefficient. The selection of the runoff coefficient is to be determined based on the percent of impervious area. Include calculations for the existing and proposed conditions demonstrating the percentage of impervious area and use the corresponding coefficient. Add these calculations to the pre- and post-development exhibits and within the report.
 - e. The report shall be signed and sealed by the engineer of record.
50. Provide three copies of a Storm Water Quality Management Plan (SWQMP) prepared and in accordance with the City of Santee Storm Water Ordinance and in accordance with the City of Santee Best Management Practices (BMP) Design Manual dated February 2016. The SWQMP must include best management practices (BMPs) to address water quality and hydromodification. An Operation and Maintenance Plan describing maintenance requirements and costs for BMP maintenance and provision of maintenance verification will be provided.

The SWQMP shall include the following:

- a. Sign and seal the SWQMP Preparer's Certification Page.
- b. Clearly show on the DMA exhibits the existing topography and impervious areas, existing and proposed site drainage network and connections to drainage offsite, and proposed grading.
- c. Add tabs to the report and identify the location of all Attachments.
- d. Develop and implement appropriate Best Management Practices (BMPs) to ensure that the project does not increase pollutant loads from the site. A combination of respective storm water BMPs, including Site Design, Source Control, and Structural Treatment Control shall be implemented in accordance with the approved

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SWQMP.

- e. The project design shall incorporate Low Impact Development (LID) and site design BMPs to minimize directly connected impervious areas and to promote infiltration using LID techniques as outlined in the County of San Diego's LID handbook. Parking areas shall be designed to drain to landscape areas. Private roads shall be designed to drain to vegetated swales or landscaped areas.
- f. The site shall comply with full trash capture requirements by providing completely enclosed trash and recycling enclosures, and fitting all storm drain inlets with a State certified grate/screen or trash rack. Said devices must be designed to capture debris of 5 mm or greater, while preventing flooding potential. In addition, any adjacent public storm drain inlet structure to which the site discharges must also be retrofitted with trash capture devices. The device which shall be used for public inlets is the ADS FlexStorm Connector Pipe Screen system or approved equal.
- g. All inlets must be labeled with concrete stamp or equivalent - stating, "No Dumping - Drains to River". If work is performed on a public inlet, the public inlet must be labeled with the following standard specification: Public storm drain inlet markers shall be 4" diameter, stainless steel, natural embossed, inlet marker as manufactured by Almetek Industries or approved equal. Marker shall contain/state "No Dumping" with "Fish w/ Wave" symbol and "Drains to Waterways" legend. Marker shall contain 2" long x 1/4" diameter threaded rod and shall be installed flush and wet-set in top of inlet, centered on width of inlet opening.
- h. Down spouts and HVAC systems are not permitted to be connected to any storm drain conveyance system. All non-storm water discharges must either drain to landscaped areas, or be plumbed to the sewer.
- i. Fire suppression systems must be designed to be able to discharge to a sewer clean out for all maintenance and testing activities, or otherwise captured and contained on-site.
- j. California native/drought-tolerant plants shall be used to the maximum extent feasible to minimize the need for irrigation. Where irrigation is necessary, then the system shall be designed and installed to prevent overspray or irrigation runoff during normal operations and during a break in the line.
- k. The final project submittal shall include a standalone Operation and Maintenance (O&M) Plan in accordance with the City of Santee BMP Design Manual.

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- a. Provide proof of coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity (Construction General Permit, 2009-0009-DWQ) prior to start of construction. This project disturbs one or more acres of soil or disturbs less than one acre but is part of a larger common plan of development that in total disturbs one or more acres. Construction activity subject to this permit includes clearing, grading and disturbances to the ground such as stockpiling, or excavation.
- b. Submit a copy of the draft project specific Storm Water Pollution Prevention Plan (SWPPP) to the City for review and approval. The Construction SWPPP should contain a site map(s) which shows the construction site perimeter, existing and proposed buildings, lots, roadways, storm water collection and discharge points, general topography both before and after construction, and drainage patterns across the project. The Construction SWPPP must list Best Management Practices (BMP's) the applicant will use to protect storm water runoff and the placement of those BMP's. Section XIV of the Construction General Permit describes the SWPPP requirements.

52.A Storm Water Facilities Maintenance Agreement accepting responsibility for all structural BMP maintenance, repair and replacement as outlined in said O&M plan binding on the land throughout the life of the project will be required prior to issuance of building permit.

53. Submit two copies of a current preliminary title report (dated within six months of plan submittal) and two copies of all documents listed in the title report. Copies of recorded documents must be clear and legible copies of the original recorded document.

F. During construction:

1. The applicant shall comply at all times with the following work hour requirements:
 - a. No site work, building construction, or related activities, including equipment mobilization will be permitted to start on the project prior to 7:00 am and all work for the day shall be completed by 7:00 pm, no exceptions.
 - b. No work is permitted on Sundays or City Holidays.
 - c. No deliveries, including equipment drop off and pick-up, shall be made to the project except between the hours of 8:00 am and 6:00 pm, Monday through Saturday, excluding Sundays and City Holidays. Deliveries of emergency supplies or equipment necessary to secure the site or protect the public are permitted.

RESOLUTION NO._

- d. If the applicant fails or is unable to enforce compliance with their contractors, subcontractors and material suppliers regarding the specified work hours, additional reduction of work hours may be imposed by the Department of Development Services.

In addition to the above the applicant shall erect one or more signs stating the work hour restrictions. Signs shall be installed as may be required, in the vicinity of the project construction trailer if a job site trailer is used, or at such other locations as may be deemed appropriate by the Department of Development Services. The sign shall be a minimum of 24" x 36" and shall be weather proofed. The sign content shall be provided by the Department of Development Services.

2. Trench work when required within City streets shall be completed within two weeks of the initial start date, including placement of the final trench patch. Trench plates or temporary pavement placement shall be installed at the end of each work day. Advance warning signs on lighted barricades notifying the public of trench plates and or uneven pavement shall be placed and maintained until permanent pavement repairs are made. The maximum length of time including weekends and holidays that trench plates may remain on the street is 72 hours after which temporary or permanent asphalt paving shall be placed.
3. Comply with all applicable sections of the Municipal Code, Land Development Manual and Public Works Standards of the City of Santee.
4. Provide a minimum 26' wide, clear area (no parking), all-weather, paved (or other approved surface) emergency access roadway for the site prior to the delivery of combustible construction materials. All underground utilities including fire mains, fire hydrants and fire service underground devices shall be installed and approved prior to the delivery of combustible materials.
5. After the overhead portion of the automatic fire sprinkler system has been installed, a hydrostatic test of the system shall be conducted at 200 PSI for two hours. Contact the Santee Fire department to schedule an inspection of this test.
6. At the time of mid-construction or Rough Fire Inspections, an electronic or digital submission of vector data such as: AutoCAD (rectified dwgs or include world file), GIS Data (Geodatabase or Shapefiles), or Image Type such as (Tiff & Jpegs) of the site-plan shall be provided to the Fire Department for emergency response mapping. If CAD drawings are not available, a PDF shall be provided. The site plan shall show all fire access roadways/driveways, buildings, address numbers, fire hydrants, fire sprinkler connections, and other details as required. Please contact the Fire Department for exact details to be submitted for your project.

G. Prior to Occupancy, the applicant shall:

RESOLUTION NO._

1. Applicant shall place all new utilities required to serve the project underground. No overhead facilities or extension of overhead facilities is permitted.
 2. Applicant shall dedicate right-of-way along Cottonwood Avenue adjacent to the site such that the ultimate right-of-way width to centerline is 42 feet. Additional right-of-way may be required as necessary to provide adequate transition to match existing improvements.
 3. Applicant shall vacate the existing "50' Road and Public Utility Easement Per Map 1231" that encumbers parcels APN 384-370-16 and 384-370-17.
 4. Provide two print copies and a digital copy of both the final approved Storm Water Quality Management Plan and the Operation and Maintenance Plan.
 5. Submit a print and digital copy of the BMP Certification package. The BMP certification package includes but is not limited to: 'wet' signed and stamped certification form(s), all BMP related product receipts and materials delivery receipts, an inspection and installation log sheet, and photographs to document each stage of BMP installation.
 6. Provide a copy of the executed contract between a qualified storm water service provider for post construction BMP maintenance.
 7. Plant all new trees in and within 10 feet of the public right-of-way with root control barriers.
 8. Construct all improvements within the public right-of-way and improvements as shown on the approved precise grading plans. Improvements shall be completed to the satisfaction of the Director of Development Services.
- H. Upon establishment of the Conditional Use Permit, the following conditions shall apply:
1. Access to the storage facility shall be between the hours of 7:00 a.m. and 10:00 p.m. Monday through Friday and between 7:00 a.m. to 6:00 p.m. Saturday and Sunday. Office hours shall be from 8:00 a.m. to 7:00 p.m. Monday through Friday, Saturday 8:00 a.m. to 6:00 p.m., and Sunday 9:00 a.m. to 3:00 p.m.
 2. The project shall comply with the noise regulations in SMC Chapter 5.04.
 3. Trucks rentals shall not be stored in required parking spaces.
 4. Surveillance cameras shall be installed with HD recording capability at the entrance to the facility that will capture the face of persons entering the property as well as vehicle license plate.
 5. Surveillance cameras shall be installed showing the front of all storage units

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and entry points into the location of storage units.

6. Sufficient lighting shall be installed to assist in the videotaping of any suspected criminal acts being conducted within the facility.

SECTION 7: The terms and conditions of this Conditional Use Permit (P2019-5) approval shall be binding upon the permittee and all persons, firms and corporations having an interest in the property subject to these permits and the heirs, executors, administrators, successors and assigns of each of them, including municipal corporations, public agencies and districts.

SECTION 8: This Conditional Use Permit (P2019-5) expires on April 28, 2024 except where substantial use has commenced prior to its expiration. If use of the development has not commenced within the three-year period, said expiration date may be extended pursuant to a request for time extension received 60 days prior to the original expiration date. The City Council expressly grants to the Director of Development Services the authority to extend the expiration date of this approval pursuant to Section 13.04.090.B of the Santee Municipal Code, when a request for an extension is filed 60 days prior to the original expiration date.

SECTION 9: In addition to all other available remedies, the City of Santee Municipal Code, Chapter 1.14, provides for the issuance of Administrative citations for Municipal Code violations. Should non-compliance with said terms and conditions of this Conditional Use Permit or any violation of the Municipal Code that includes the City's Storm Water Ordinance, the City has the right to issue administrative citations containing an assessment of civil fines for each violation and collect administrative fines for violations.

SECTION 10: Pursuant to Government Code Section 66020, the 90-day approval period in which the applicant may protest the imposition of any fees, dedications, reservations, or exactions imposed pursuant to this approval, shall begin on April 28, 2021.

SECTION 11: The applicant shall defend with counsel of City's choice the City of Santee and its officers, employees and agents from any claim, action, or proceeding against the City and/or its officers, employees or agents to attack, or set aside, void, or annul the approval of the City of Santee concerning this Resolution or any action relating to or arising out of its approval, and further agrees to indemnify and hold harmless from all costs and expenses (including attorney's fees) associated with any such defense.

SECTION 12: The City Council directs staff to prepare, execute, and file a Notice of Determination with the San Diego County Clerk within five (5) working days of the passage and adoption of this Resolution.

SECTION 13: The City of Santee hereby notifies the applicant that State Law [Fish and Game Code Section 711.4(d) and (e)], authorizes the County Clerk to collect a documentary handling fee for the processing of CEQA documents. In order to comply with State Law, the applicant should remit to the City of Santee Department of

RESOLUTION NO._

Development Services, within two (2) working days of the effective date of this approval (the "effective date" being the end of the appeal period, if applicable), a certified check payable to the "County Clerk" in the amount of \$ 2,260.00. Failure to remit the required fee in full within the time specified above will result in a delay of the start of the thirty (30) day statute of limitations on court challenges to the approval under CEQA.

SECTION 14: The documents and materials that constitute the record of proceedings on which these findings are based are located at 10601 Magnolia Avenue, Santee, CA 92071.

ADOPTED by the City Council of the City of Santee, California, at a regular meeting thereof held this 28th day of April, 2021, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

ANNETTE ORTIZ, CMC, CITY CLERK

Attachment: Exhibit A- Mitigation Monitoring and Reporting Program (MMRP)

EXHIBIT A

**MITIGATION MONITORING AND REPORTING PROGRAM
FOR CONDITIONAL USE PERMIT P2019-5**

Section 21081.6 of the Public Resources Code requires that public agencies “adopt a reporting or monitoring program for the changes which it is adopted or made a condition of Project approval in order to mitigate or avoid significant effects on the environment. The reporting or monitoring program shall be designed to ensure compliance during project implementation.” This mitigation monitoring and reporting program has been prepared in conformance with Section 21081.6 of the Public Resources Code. In accordance with State CEQA Guidelines, section 15074.1, each and every one of these mitigation measures are expressly made conditions of Project approval.

Non-compliance with any of these conditions, as identified by City staff or a designated monitor, shall result in the issuance of a Cease and Desist Order for all construction activities. The order shall remain in effect until compliance is assured. Non-compliance situations that may occur subsequent to Project construction will be addressed on a case-by-case basis and may be subject to penalties according to the City of Santee Municipal Code. When phasing of development has been established, it may be necessary for this Monitoring Program to be amended, with City approval.

Mitigation, Monitoring, and Reporting Program			
Mitigation Measure	Timing of Verification	Responsible for Verification	Status/Date/Initials
Biological Resources			
BIO-1: Nesting Migratory Birds and Raptors To remain in compliance with the CFGC Section 3503, no direct impacts shall occur to any nesting birds or their eggs, chicks, or nests during the typical raptor and migratory bird breeding season (i.e., February 1–September 15). If project grading/brush management is proposed during the bird breeding season, the project biologist shall conduct a pre-grading survey for active nests in the development area and the gum trees and western sycamore tree adjacent to it. If active nests are detected, mitigation in conformance with applicable state and federal law (i.e., appropriate follow-up surveys, monitoring schedules, construction, and/or noise barriers/buffers, etc.) may be	Prior to Construction	City/Qualified Biologist	

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Mitigation, Monitoring, and Reporting Program			
Mitigation Measure	Timing of Verification	Responsible for Verification	Status/Date/Initials
<p>required. If no nesting birds are detected, no mitigation would be required.</p> <p>To avoid potential direct impacts to nesting migratory birds and indirect impacts to nesting raptors protected by CFGC Sections 3503 and 3503.3, respectively, it is recommended that vegetation removal, grading, or other heavy construction activity within the project area, which may support nesting migratory birds or occur adjacent to trees supporting raptor nests, be conducted between September 16 and January 31, to avoid the avian breeding season. If such construction activities must be conducted during the breeding season, a nesting bird survey of the project area and the adjacent gum trees and western sycamore should be conducted by a qualified biologist prior to the activities to determine if any migratory bird or raptor nests are present. If an active migratory bird or raptor nest is discovered, a buffer should be established around the nest to ensure that indirect impacts do not occur. The required buffer is typically 500 feet for raptors or 300 feet for nesting migratory birds, though it may be reduced if construction is conducted with a biological monitor present to observe any disturbance to nesting activity. No construction activity may occur within this buffer area until a biologist determines that the fledglings are independent of the nest or that no disturbance due to construction activities is observed. Indirect impacts, such as noise impacts, may cause the abandonment of an active nest.</p>			
Cultural Resources			

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Mitigation, Monitoring, and Reporting Program			
Mitigation Measure	Timing of Verification	Responsible for Verification	Status/Date/Initials
<p>CUL-1: Archaeological Monitoring If during grading or construction activities, unanticipated cultural resources are discovered on the project site, work shall be halted immediately within 50 feet of the discovery and the resources shall be evaluated by both a qualified archaeologist and a Kumeyaay Tribal Cultural Monitor to determine whether it is either an historic resource or unique cultural resource. Any unanticipated cultural resources that are discovered shall be evaluated and a final report prepared by the qualified archaeologist. The report shall include a list of the resources discovered, documentation of each site/locality, and interpretation of the resources identified, and the method of preservation and/or recovery for identified resources. If the qualified archaeologist determines the cultural resources to be either historic resources or unique archaeological resources, avoidance and/or mitigation will be required pursuant to and consistent with CEQA Guidelines Section 15064.5(c) and Public Resources Code Section 21083.2. This mitigation measure shall be incorporated into all construction contract documentation.</p>	<p>During Construction</p>	<p>City/ Qualified Archaeologist</p>	
<p>CUL-2: Tribal Cultural Monitoring A Kumeyaay Tribal Cultural Monitor shall be present for all ground disturbing activities associated with the project. Should any cultural or tribal cultural resources be discovered, no further grading shall occur in the area of the discovery until the Director of Development Services, or designee, is satisfied that treatment of the resource has occurred. In the event that a unique archaeological resource or tribal cultural resource is discovered, and in accordance with Public Resources Code Section 21083.2(b)(1), (2), and (4), the resource shall be moved and buried in an open space area of the project site, such as slope areas, which will not be subject to further grading activity, erosion, flooding, or any other ground disturbance that has the potential to expose the resource. The on-site area to which the resource is moved shall be protected in perpetuity as permanent open space. No identification of the resource shall be made on-site; however, the project applicant shall plot the new location of the resource on a map showing latitudinal and longitudinal coordinates and provide that map to the NAHC for inclusion in the Sacred Lands File. The City will consult with the qualified archaeologist and Kumeyaay Tribal</p>	<p>During Construction</p>	<p>City/ Qualified Archaeologist</p>	

RESOLUTION NO._

Mitigation, Monitoring, and Reporting Program			
Mitigation Measure	Timing of Verification	Responsible for Verification	Status/Date/Initials
Cultural Monitor while determining the location for burial of the resource.			
<p>CUL-3: Human Remains If during grading or construction activities, human remains are encountered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to California Public Resources Code Section 5097.98(b), remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the County Coroner determines the remains to be Native American, the NAHC shall be contacted within a reasonable time frame. Subsequently, the NAHC shall identify the most likely descendant. The most likely descendant shall then make recommendations and engage in consultations concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. This mitigation measure shall be incorporated into all construction contract documentation.</p>	During Construction	City/ Qualified Archaeologist	

Mayor
John W. Minto
City Council
Ron Hall
Laura Koval
Rob McNelis
Dustin Trotter

MITIGATED NEGATIVE DECLARATION

1.	Name or description of project:	All Right Self-Storage Project CUP2019-05/AEIS2019-10
2.	Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15’ or 7 1/2’ topographical map identified by quadrangle name):	8708 Cottonwood Avenue, Santee CA 92071 Between Buena Vista Avenue and State Route 52 (APN 384-370-25-00)
3.	Entity or Person undertaking project:	
	A. Other (Private)	
	(1) Name:	Mr. Oliver Andreu All Right Storage, LP
	(2) Address:	11300 Sorrento Valley Road #250 San Diego, CA 92121

The Lead Agency, having reviewed the Initial Study of this proposed project, having reviewed the written comments received prior to the public meeting of the Lead Agency, and having reviewed the recommendation of the Lead Agency's Staff, does hereby find and declare that the proposed project will not have a significant effect on the environment. A brief statement of the reasons supporting the Lead Agency's findings are as follows:

The Project is consistent with the General Plan Land Use Element Goal to promote development of a well-balanced and functional mix of residential, commercial, industrial, open space, recreation, and civic uses that will create and maintain a high-quality environment. The Project meets this goal by providing a commercial use within an area that currently consists of a mix of commercial, commercial/industrial, and residential uses.

All potentially significant environmental impacts can be mitigated to less than significant levels through implementation of the mitigation measures identified in the Initial Study. Therefore, the Project would not result in significant impacts upon the environment.

The Project is appropriately located with access from a major roadway and no significant traffic impacts would result from the Project. All utilities are readily available. The Project would not contribute significantly to greenhouse gas emissions, nor frustrate the intent of state policy relative to greenhouse gas emissions.

The Lead Agency hereby finds that the Mitigated Negative Declaration reflects its independent judgment. A copy of the Initial Study is attached.

The location and custodian of the documents and any other material which constitute the record of proceedings upon which the Lead Agency based its decision to adopt this Negative Declaration are as follows:

Christina Rios Associate Planner
City of Santee
10601 Magnolia Avenue, Santee, CA 92071

Phone No.: (619) 258-4100 x157

Date Received
for Filing:

Christina Rios
Staff




10601 Magnolia Ave. • Santee, CA 92071

(619) 258-4100 • CityofSanteeCA.gov



**Initial Study/Environmental
Checklist Form for the
All Right Self-Storage Project
Santee, California**

CUP2019-05/AEIS2019-10

Prepared for
City of Santee
10601 Magnolia Avenue
Santee, CA 92071

Prepared by
RECON Environmental, Inc.
3111 Camino del Rio North, Suite 600
San Diego, CA 92108
P 619.308.9333

RECON Number 9603
January 2021

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- B: Biological Survey for the All Right Self-Storage Project, prepared by RECON Environmental, Inc., July 8, 2020
- C: Archaeological Survey for the All Right Self-Storage Project, prepared RECON Environmental, Inc., July 8, 2020
- D: Energy Use Calculations, prepared by RECON Environmental, Inc., August 20, 2020
- E-1: Report of Preliminary Geotechnical Investigation Cottonwood Industrial Site, prepared by Geotechnical Exploration, Inc., July 10, 2014
- E-2: Updated Geotechnical Investigation and Infiltration Testing, prepared by Geotechnical Exploration, Inc., March 28, 2018
- E-3: Update and Grading Plan Review, prepared by Geotechnical Exploration, Inc., March 3, 2020
- F: Sustainable Santee Plan Project Consistency Checklist, prepared by RECON Environmental, Inc., July 10, 2020
- G: Phase I Environmental Site Assessment, prepared by Partner Engineering and Science, Inc., April 12, 2019
- H-1: Letter of Determination of No Hazard to Air Navigation, prepared by the Federal Aviation Administration, May 26, 2020
- H-2: San Diego County Regional Airport Authority Airport Land Use Commission Consistency Determination, August 19, 2020
- I: Hydrology/Hydraulics Study, prepared by Excel Engineering, March 3, 2020
- J: Storm Water Quality Management Plan, prepared by Excel Engineering, March 4, 2020
- K: Noise Analysis for the All Right Self-Storage Project, prepared by RECON Environmental, Inc., August 31, 2020
- L: Public Service Availability Forms, prepared by the Padre Dam Municipal Water District, December 3, 2019

CITY OF SANTEE
INITIAL STUDY/ENVIRONMENTAL CHECKLIST FORM
CUP2019-05/AEIS2019-10

1. Project Title

All Right Self-Storage Project

2. Lead Agency Name and Address

City of Santee
10601 Magnolia Avenue
Santee, CA 92071

3. Contact Person and Phone Number

Christina Rios
Associate Planner
City of Santee
(619) 258-4100 x157
crios@CityofSanteeCa.gov

4. Project Location

8708 Cottonwood Avenue, Santee, CA 92071
Assessor's Parcel Number 384-370-25-00

5. Project Applicant/Sponsor's Name and Address

Mr. Olivier Andreu
All Right Storage, LP
11300 Sorrento Valley Road #250
San Diego, CA 92121

6. General Plan Designation

Existing: Light Industrial (IL) with Residential-Business (R-B) Overlay
Proposed: Light Industrial (IL) with Residential-Business (R-B) Overlay

7. Zoning

Existing: Light Industrial (IL)
Proposed: Light Industrial (IL)

All reports and documents referenced in this Initial Study are on file with the City of Santee, Department of Development Services, 10601 Magnolia Avenue, Santee, CA 92071. Telephone Number: (619) 258-4100, ext. 167. A digital copy is available from the City website: <http://cityofsanteeca.gov/services/project-environmental-review>.

8. Project Description

The All Right Self-Storage Project (project) site is located at 8708 Cottonwood Avenue on an approximately 3.0-acre parcel (Assessor's Parcel Number 384-370-25-00), located in the city of Santee, California, north of State Route 52 (SR-52) and west of Cottonwood Avenue. The project site is currently accessed via Cottonwood Avenue just north of the underpass beneath SR-52. Land uses surrounding the project site include single-family residences to the north, single-family residences and a commercial structure to the east, SR-52 to the south, and a business park consisting of commercial/industrial uses to the west. Figure 1 shows the project's regional location. Figure 2 shows the project's specific location on U.S. Geological Survey map. Figure 3 shows an aerial photograph of the project site and vicinity.

The project proposes to construct a 148,458-square-foot (sf) self-storage facility which would be developed in two phases. Phase I would construct a three-story, 78,080 sf, mechanically air-conditioned self-storage structure within an incidental office (Building A); a one-story, 4,413 sf self-storage structure (Building B); and a one-story, 5,120 sf self-storage structure with an 800 sf private garage, along with a 1,130 sf caretaker's living unit as the second story (Building C). Phase I would also provide 26 parking spaces on-site, along with 57 recreational vehicle (RV) parking spaces for rent or for rental trucks for moving purposes. The project would only allow for parking of these vehicles and would not include a service area.

Phase II would remove the recreational vehicle parking spaces for rent and construct a one story, 8,309 sf self-storage structure (Building D) and a three-story, mechanically air conditioned, 50,606 sf self-storage structure (Building E). Phase II would also add an additional three parking spaces, resulting in a total of 29 parking spaces on-site. The proposed site plans for Phases I and II are presented in Figures 4a and 4b, respectively. The proposed landscape concept plans for Phases I and II are presented in Figures 5a and 5b, respectively.

A Mini Storage/Public Storage is subject to a conditional use permit (CUP) in the Light Industrial (IL) zone and a Recreational Vehicle Storage Yard is subject to a minor conditional use permit (MCUP) in the IL zone. Therefore, the project will require a CUP.

Additional project details are provided below:

- Site Access: The main entry would utilize the existing site access point on Cottonwood Avenue, just north of the underpass beneath SR-52. The project would install two 6-foot-tall security gates consisting of vertical open spaced bars on a metal frame. One set would be located within the access road east of Building A and the other would be located within the access road south side of Building A. Both security gates would be accompanied by an adjacent pedestrian gate.
- Hours of Operation: The project would have the following hours of operation:
 - Office Hours: Monday through Friday: 8:00 a.m. to 7:00 p.m. Saturday: 8:00 a.m. to 6:00 p.m. Sunday: 9:00 a.m. to 3:00 p.m.
 - Access Hours: Monday through Friday: 7:00 a.m. to 10: 00 p.m. Saturday and Sunday: 7:00 a.m. to 6:00 p.m.

- Retail Component/Rental of Moving Trucks: The project would include an office retail component within Building A that would sell packing and moving supplies and offer U-Haul or similar truck rental services.
- Loading and Unloading Areas: For the ground-based storage units, loading would typically take place from the designated loading area in front of the unit itself. For the interior units, the loading and unloading would take place in the areas close to the main hallways and the elevators. It is expected that the facility would have approximately six or seven customers on-site at any given time, and based on experience with similar storage facilities there would not be very much vehicular activity on the site at any time.
- Perimeter Fencing: The entire property would be surrounded by perimeter fencing. The project would construct wrought iron fences, approximately 75 inches in height, along the southern and western property boundaries. The project would also construct decorative masonry block wall fences with a minimum height of six feet adjacent to all existing residential land uses located north and east of the project site.
- Security Lighting and Cameras: The project site would be well lit to provide convenience and security at any time of day. The project would install wall packs on the buildings to provide both security and path of travel lighting for vehicles and pedestrians using the aisles between buildings and to access individual storage units. The RV and vehicle storage lot and rental parking area would be lit by pole lights. All project lighting would be implemented consistent with applicable security and municipal code requirements. A minimum of 20 security cameras with on-site and off-site monitoring features would also be installed throughout the facility.

9. Project Site Existing Conditions and Surrounding Land Use(s)

The 3.0-acre project site is currently undeveloped and consists entirely of Urban/Developed Land composed of pavement and ornamental vegetation with no native habitat present. The majority of non-paved areas consist primarily of non-native grasses with occasional trees. The topography of the project area is relatively flat with an average elevation of 350 feet above mean sea level. Based on historic aerial photographs, a portion of the project site was occupied by a residence in 1953. By 1964, the parcel had been developed as a portion of a mobile home park that continued in this configuration until 2010, by which time all of the homes had been removed. The 2010 photograph also shows the same basic condition as is currently found on the project site (Nationwide Environmental Title Research LLC 2020). As shown on Figure 3, land uses surrounding the project site include single-family residences to the north, single-family residences and a commercial structure to the east, SR-52 to the south, and a business park with commercial/industrial uses to the west. Residential uses are also located further west of the project site beyond the business park adjacent to the western property boundary, as well as further north across Buena Vista Avenue. The commercial structure to the east is approximately 28 feet in height, while the business park with commercial/industrial uses to the west is approximately 18 feet in height. Although slightly taller, the project's proposed maximum height of 39 feet would be similar to these surrounding uses.

10. Other Required Agency Approvals or Permits Required

General Construction Permit (San Diego Regional Water Quality Control Board)

11. Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code Section 21080.3.1? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?

In accordance with Assembly Bill (AB) 52, the Native American Heritage Commission (NAHC) was notified of the project on February 5, 2020 and the appropriate local tribes were notified of the project on August 27, 2020. On February 21, 2020, the NAHC indicated that results of a record search of the NAHC Sacred Lands File (SLF) were positive. As requested, the City of Santee (City) contacted the Kumeyaay Cultural Repatriation Committee (KCRC) and notified 13 Native American tribes that were provided by the NAHC to inform them of the proposed project and to request additional information of cultural resources on the project site or in the area. The City did not receive responses regarding cultural resources present on the project site or near the site. However, the City received a response from the San Pasqual Band of Mission Indians requesting a Kumeyaay monitor present during grading activities.

The City received a response regarding the AB 52 notice from the Jamul Indian Village requesting a Kumeyaay approved tribal cultural monitor and requesting that the Kumeyaay approved cultural monitor and a qualified archaeologist evaluate discovered cultural resources together. These requests are included in Mitigation Measures CUL-1 and CUL-2.

Review of Figure 6-2 of the General Plan Conservation Element determined that the project site is not located within an area identified as having moderate potential for register eligible archaeological sites. However, as described in Sections 15.5.b and 15.5.c below, project construction would have the potential to encounter unknown buried archaeological deposits and human remains. These would be considered significant impacts. Implementation of Mitigation Measures CUL-1 through CUL-3 would ensure that any unknown cultural or tribal cultural resources or human remains discovered during project related ground disturbing activities would be properly identified and protected over the long term. Implementation of Mitigation Measures CUL-1 through CUL-3 would reduce impacts on unknown tribal cultural resources to a level less than significant.

12. Statement of Environmental Findings

An Initial Study was prepared by the City to evaluate the potential effects of the project on the environment. As Lead Agency under the California Environmental Quality Act (CEQA) and based on the finding contained in the attached Initial Study, the City has determined that the project would not have a significant effect upon the environment with implementation of the proposed mitigation measures.

The City also finds that the Initial Study reflects the City's independent judgement.

The location and custodian of the documents and any other materials which constitute the record of proceedings upon which the City bases its determination to adopt this Mitigated

Negative Declaration are as follows: City of Santee, Department of Development Services, 10601 Magnolia Avenue, Santee, California.

13. Summary of Environmental Factors Potentially Affected

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a “Potentially Significant Impact” as indicated by the checklist on the following pages.

- Aesthetics
- Biological Resources
- Geology/Soils
- Hydrology/Water Quality
- Noise
- Recreation
- Utilities/Service Systems
- Agriculture and Forestry Resources
- Cultural Resources
- Greenhouse Gas Emissions
- Land Use/Planning
- Population/Housing
- Transportation
- Wildfire
- Air Quality
- Energy
- Hazards & Hazardous Materials
- Mineral Resources
- Public Services
- Tribal Cultural Resources
- Mandatory Findings of Significance

14. Determination

I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.	
I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on an attached sheet have been added to the project. A MITIGATED NEGATIVE DECLARATION will be prepared.	X
I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.	
I find that the proposed project MAY have a significant effect(s) on the environment, but at least one effect (1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets, if the effect is a “potentially significant impact” or “potentially significant unless mitigated.” An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.	
I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because all potentially significant effects (a) have been analyzed adequately in an earlier ENVIRONMENTAL IMPACT REPORT or NEGATIVE DECLARATION pursuant to applicable standards and (b) have been avoided or mitigated pursuant to that earlier ENVIRONMENTAL IMPACT REPORT or NEGATIVE DECLARATION , including revisions or mitigation measures that are imposed upon the proposed project, and nothing further is required	

Reasons to Support Findings of Negative Declaration

1. The project would be consistent with the General Plan Land Use Element Goal to promote development of a well-balanced and functional mix of residential, commercial, industrial, open space, recreation, and civic uses that will create and maintain a high-quality environment. The project would meet this goal by providing a commercial use within an area that currently consists of a mix of commercial, commercial/industrial, and residential uses.
2. All potentially significant environmental impacts can be mitigated to less than significant levels. Therefore, the project would not result in significant impacts upon the environment.
3. The project would be appropriately located with access from a major roadway and no significant traffic impacts would result from the project. All utilities are readily available.
4. The project would not contribute significantly to greenhouse gas emissions, nor would the project frustrate the intent of state policy relative to greenhouse gas emissions.



 Signature

1.12.21

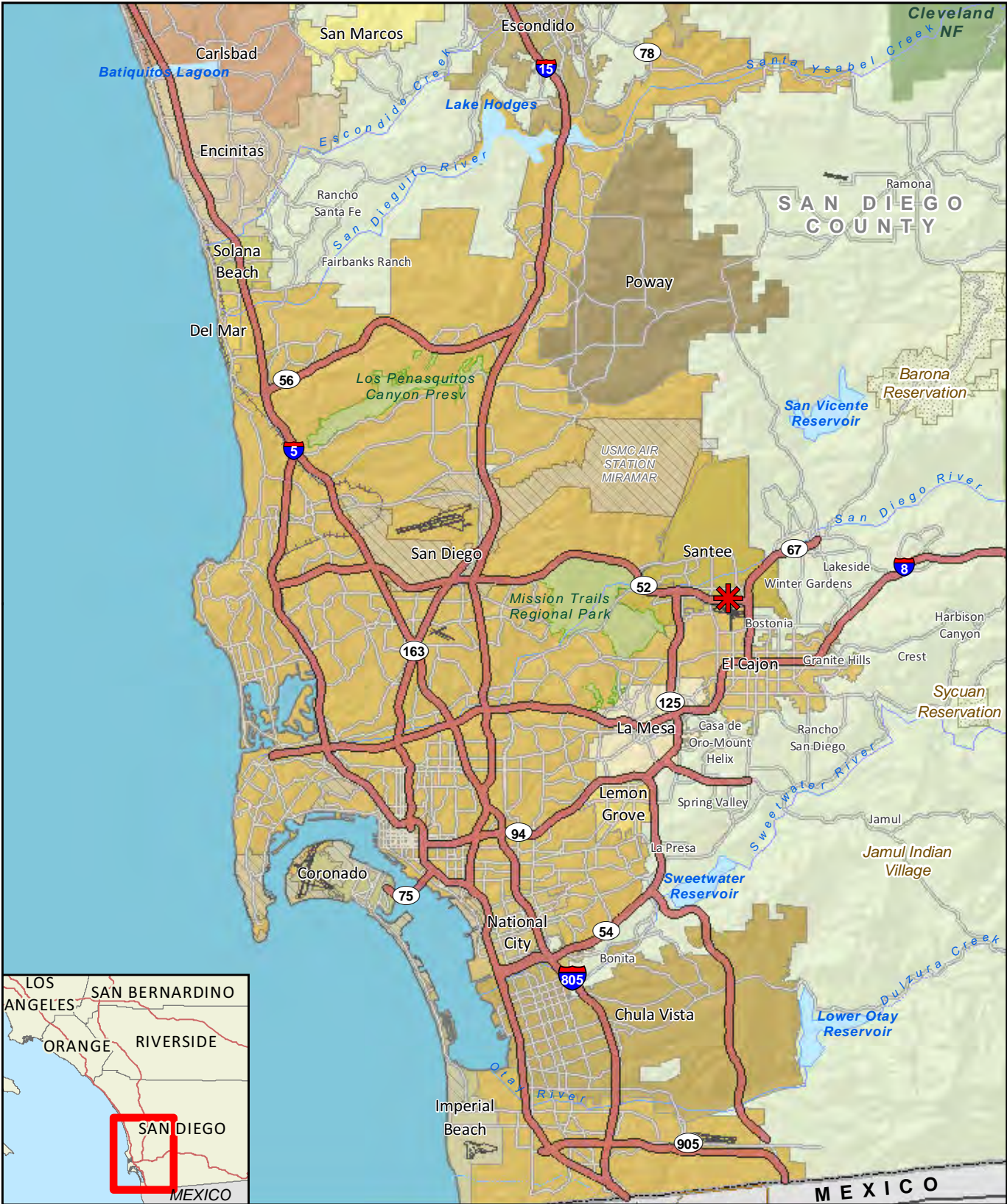
 Date

Christina Rios, Associate Planner

 Printed Name and Title

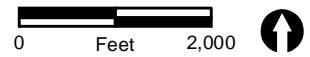
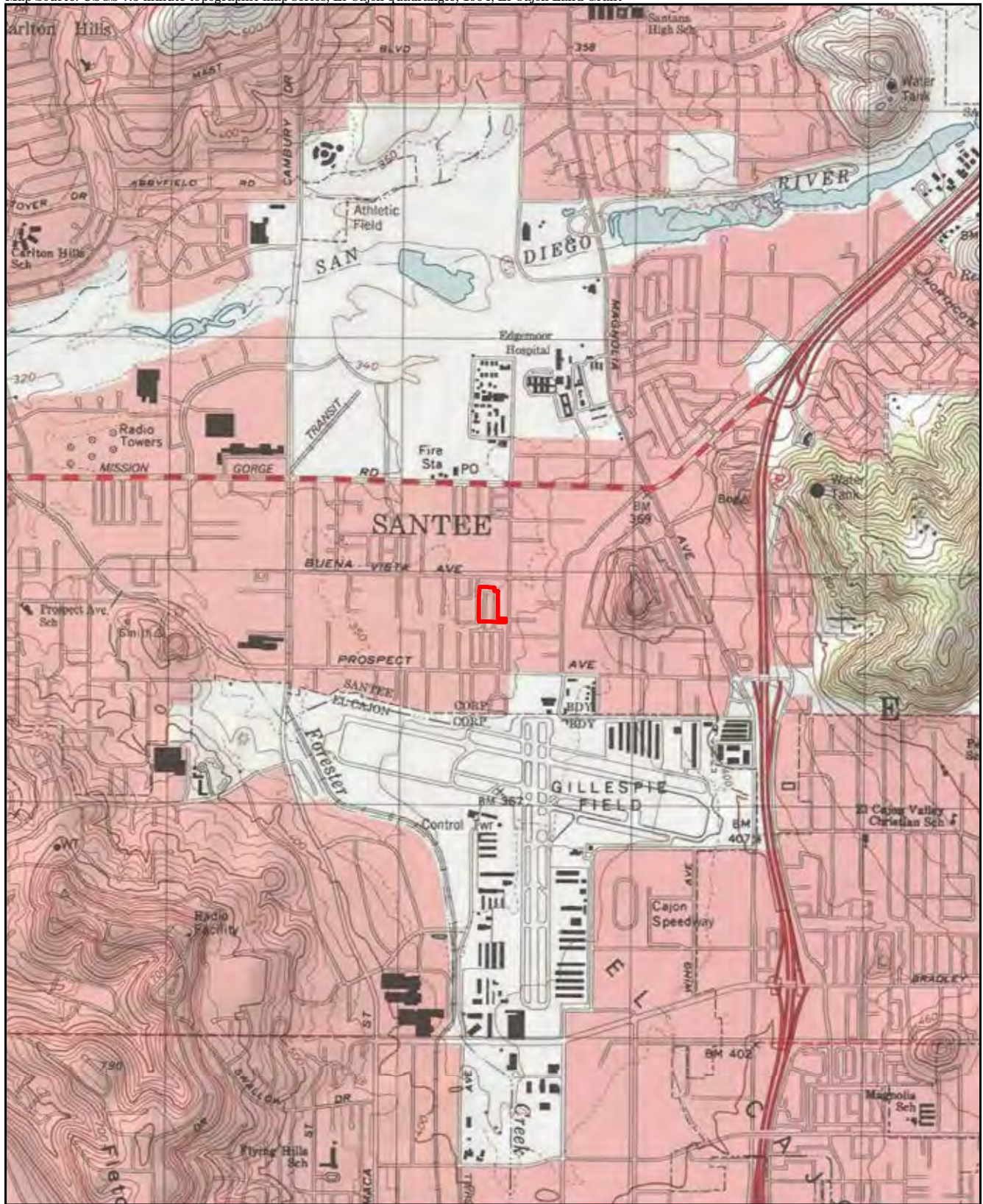
City of Santee

 For



 Project Location

FIGURE 1
Regional Location



 Project Location

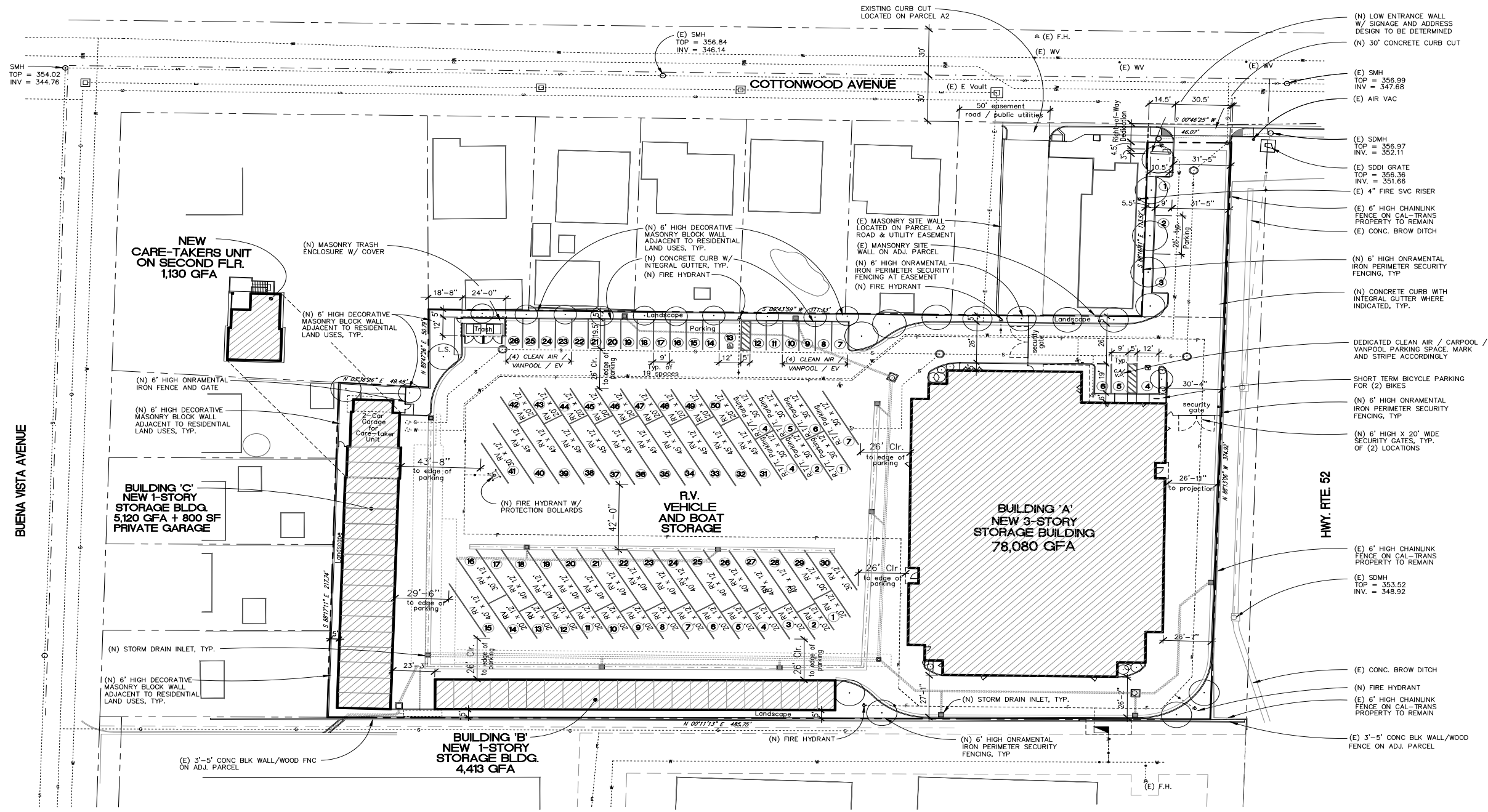
FIGURE 2
Project Location on USGS Map



 Project Location

FIGURE 3

Project Location on Aerial Photograph



ALRIGHT SELF-STORAGE
8708 COTTONWOOD AVENUE
PROPOSED SITE PLAN - PHASE I

0' 5' 15' 30' 60' 1" = 30'-0"

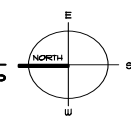
SITE LEGEND

- | | | | |
|--|--|--|---|
| | DRIVEWAY, ISLAND AND PLANTER CURBS AS NOTED ON THE SITE PLAN | | DISABLED PARKING SPACE LOCATION WITH ACCESS AISLE |
| | PARCEL PROPERTY LINE | | RECREATIONAL VEHICAL STORAGE PARKING (FOR RENT) |
| | NEW STRUCTURE AS NOTED | | RENTAL TRUCK / TRAILER DEDICATED PARKING |
| | LANDSCAPE OR L.S. | | ACCESSIBLE ROUTE OF TRAVEL FROM DISABLED PARKING SPACE OR PUBLIC RIGHT OF WAY TO PRIMARY ENTRANCE OF NEW BUILDING |

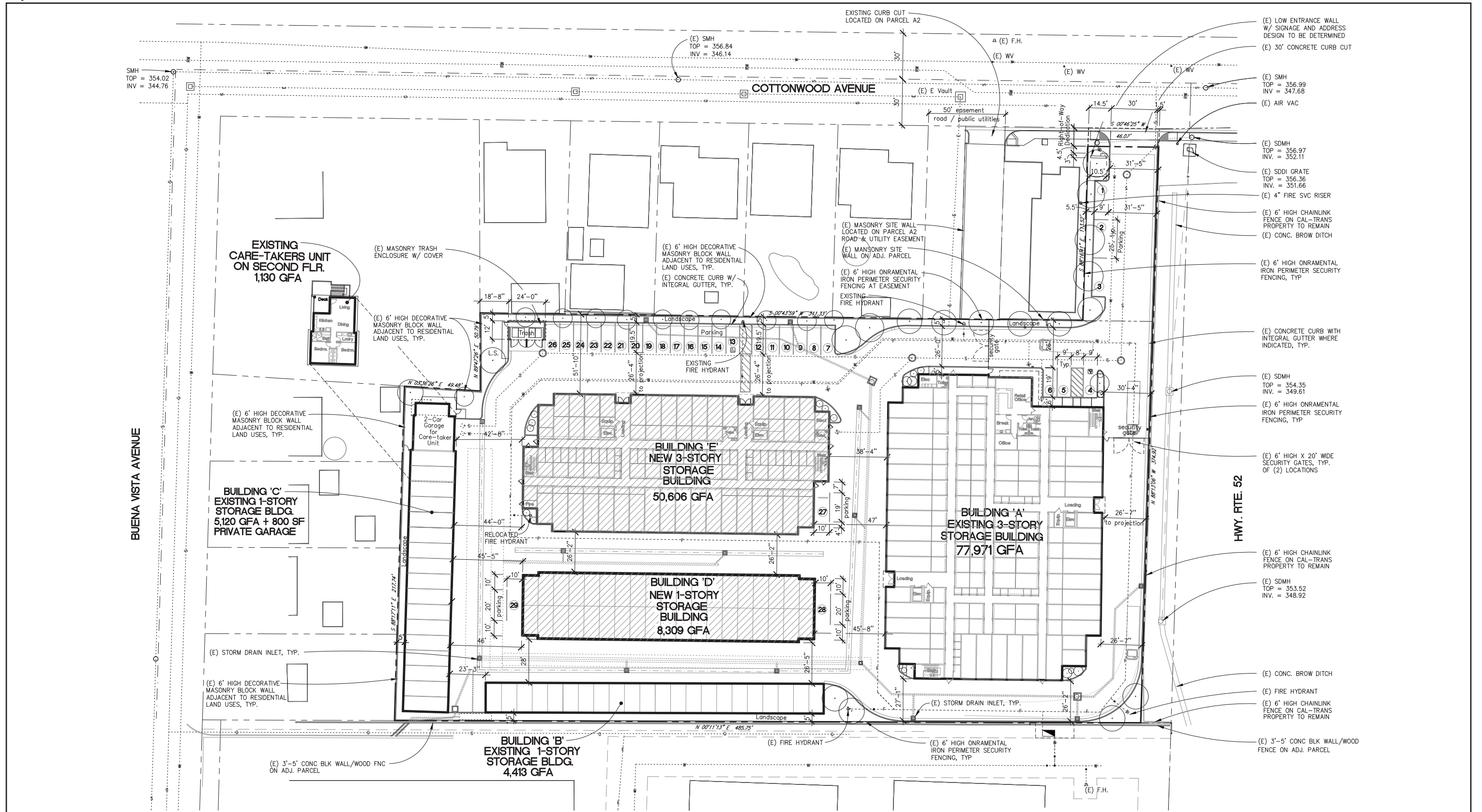
GENERAL SITE AND UTILITY NOTES:

1. SEE CIVIL PLANS FOR EASEMENTS ON THIS SITE.
2. THERE IS NO BUS (TRANSIT) STOP ADJACENT TO PROPERTY.
3. ADDRESS NUMBERS SHALL BE PLACED NEAR THE ROOFLINE OF ALL STRUCTURES VISIBLE FROM THE FIRE LANES OR STREET. NUMBERS SHALL BE BLOCK STYLE, 15 INCHES IN HEIGHT, BLACK IN COLOR, OR IN CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ILLUMINATED FOR NIGHTTIME VISIBILITY.

TYPE II-B, SPR.
 S1 OCCUPANCY GROUP



- (N) LOW ENTRANCE WALL W/ SIGNAGE AND ADDRESS DESIGN TO BE DETERMINED
- (N) 30' CONCRETE CURB CUT
- (E) SMH TOP = 356.99 INV = 347.68
- (E) AIR VAC
- (E) SDMH TOP = 356.97 INV = 352.11
- (E) SDDI GRATE TOP = 356.36 INV = 351.66
- (E) 4" FIRE SVC RISER
- (E) 6' HIGH CHAINLINK FENCE ON CAL-TRANS PROPERTY TO REMAIN
- (E) CONC. BROW DITCH
- (N) 6' HIGH ONRMENTAL IRON PERIMETER SECURITY FENCING, TYP
- (N) CONCRETE CURB WITH INTEGRAL GUTTER WHERE INDICATED, TYP.
- DEDICATED CLEAN AIR / CARPOOL / VANPOOL PARKING SPACE, MARK AND STRIPE ACCORDINGLY
- SHORT TERM BICYCLE PARKING FOR (2) BIKES
- (N) 6' HIGH ONRMENTAL IRON PERIMETER SECURITY FENCING, TYP
- (N) 6' HIGH X 20' WIDE SECURITY GATES, TYP. OF (2) LOCATIONS
- (E) 6' HIGH CHAINLINK FENCE ON CAL-TRANS PROPERTY TO REMAIN
- (E) SDMH TOP = 353.52 INV = 348.92
- (E) CONC. BROW DITCH
- (N) FIRE HYDRANT
- (E) 6' HIGH CHAINLINK FENCE ON CAL-TRANS PROPERTY TO REMAIN
- (E) 3'-5' CONC BLK WALL/WOOD FENCE ON ADJ. PARCEL



ALRIGHT SELF-STORAGE
 8708 COTTONWOOD AVENUE
 PROPOSED SITE PLAN - PHASE II

TYPE III-B, SPR.
 S1 OCCUPANCY GROUP

SITE LEGEND

- DRIVEWAY, ISLAND AND PLANTER CURBS AS NOTED ON THE SITE PLAN
- - - PARCEL PROPERTY LINE
- ▨ NEW STRUCTURE AS NOTED (PHASE II)
- ▩ EXISTING STRUCTURE FROM PHASE I
- ⊠ DISABLED PARKING SPACE LOCATION WITH ACCESS AISLE
- ⊙ NUMBER OF PARKING STALLS IN ROW OR AREA
- ⊕ ACCESSIBLE ROUTE OF TRAVEL FROM DISABLED PARKING SPACE OR PUBLIC RIGHT OF WAY TO PRIMARY ENTRANCE OF NEW BUILDING
- LANDSCAPE OR L.S. LANDSCAPED AREAS - SEE ATTACHED LANDSCAPE PLANS

GENERAL SITE AND UTILITY NOTES

1. SEE CIVIL PLANS FOR EASEMENTS ON THIS SITE.
2. THERE IS NO BUS (TRANSIT) STOP ADJACENT TO PROPERTY.
3. ADDRESS NUMBERS SHALL BE PLACED NEAR THE ROOFLINE OF ALL STRUCTURES VISIBLE FROM THE FIRE LANE OR STREET. NUMBERS SHALL BE BLOCK STYLE, 18 INCHES IN HEIGHT, BLACK IN COLOR, OR IN CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ILLUMINATED FOR NIGHTTIME VISIBILITY.



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	PROPOSED DRIVEWAY
2	ENTRY SIGN
3	SITE ENTRY
4	AUTOMATED VEHICULAR ENTRY GATE
5	PEDESTRIAN ENTRY GATE
6	ADA RAMP
7	CONCRETE PEDESTRIAN WALKWAY
8	RV AND BOAT STORAGE
9	TRASH ENCLOSURE
10	MODULAR WETLAND SYSTEM
11	EXISTING 6' HIGH CHAINLINK FENCE TO REMAIN - PROTECT IN PLACE
12	PROPOSED 6' HIGH CHAINLINK FENCE
13	PARKING AREA
14	STAIRCASE ACCESS

- NOTES:
1. ALL SIDEWALKS IN CITY RIGHT-OF-WAY ADJACENT TO STREETS TO BE NATURAL GRAY CONCRETE WITH BROOM FINISH.
 2. ALL ONSITE PAVING TO BE NATURAL GRAY CONCRETE WITH BROOM FINISH.
 3. ALL LANDSCAPED AREAS, EXCEPT TURF AREAS, TO RECEIVE A 3" LAYER OF SHREDDED BARK MULCH.
 4. LANDSCAPED AREAS WITHIN THE PROJECT SHALL RECEIVE A FULLY AUTOMATIC IRRIGATION SYSTEM THAT PROVIDES 100% COVERAGE TO ALL PROPOSED PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE ZONED ACCORDING TO PLANT TYPES, SOLAR EXPOSURE, SLOPE RATIO, AND TYPE OF SPRINKLER HEAD TO BE USED. DRIP AND LOW PRECIPITATION RATE SPRINKLER HEADS SHALL BE USED WHERE APPLICABLE TO ENCOURAGE WATER INFILTRATION INTO THE SOIL AND DECREASE WATER RUN-OFF. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

5. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
6. MINIMUM TREE / IMPROVEMENT SEPARATION DISTANCE: TRAFFIC SIGNALS / STOP SIGN - 20 FEET; UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER); ABOVE GROUND UTILITY STRUCTURES - 10 FEET; DRIVEWAYS - 10 FEET, INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET.

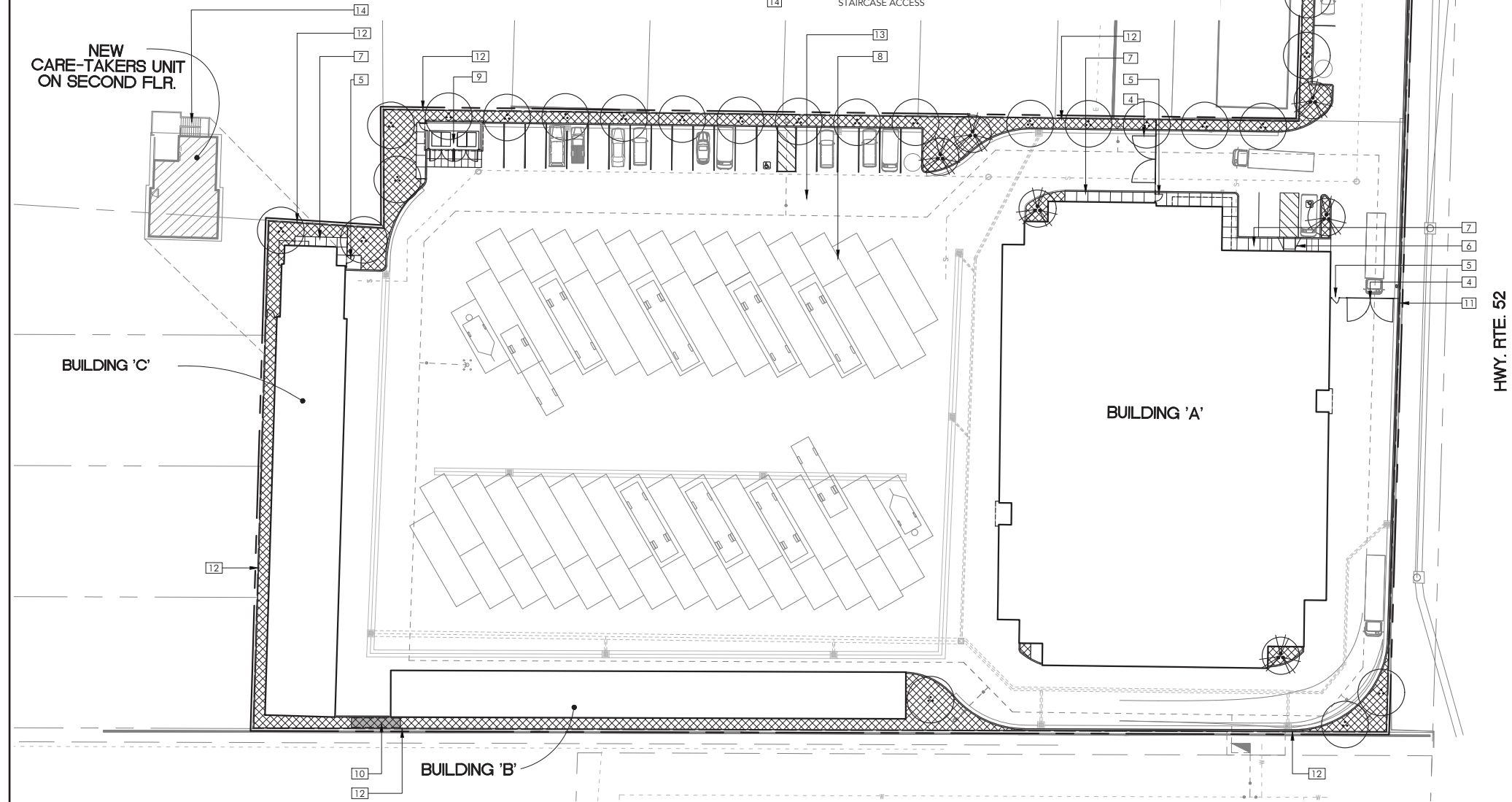
CONCEPT PLANT SCHEDULE

TOTAL PLANTING AREA: 8,094 SQ FT

BOTANICAL NAME	COMMON NAME	WUCOLS	SIZING
PROPOSED TREES			
EVERGREEN & DECIDUOUS TREE W/ 20'-50' MATURE HT. - SUCH AS:			24" BOX MIN.
ARBUTUS UNEDO	STRAWBERRY TREE	L	
ACACIA STENOPHYLLA	SHOESTRING ACACIA	L	
KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	L	
LOPHOSTEMON CONFERTUS	BRISBANE BOX	M	
PODOCARPUS GRACILIOR	FERN PINE	M	
QUERCUS AGRIFOLIA	COAST LIVE OAK	VL	
RHUS LANCEA	AFRICAN SUMAC	L	
PROPOSED SHRUBS AND GROUNDCOVER			
ABELIA X GRANDIFLORA	GLOSSY ABELIA	M	60% @ 5 GAL 36" O.C.
AGAVE X SPECIES	AGAVE	L	40% @ 1 GAL 24" O.C.
ALOE X SPECIES	ALOE	L	
ARBUTUS UNEDO COMPACTA	STRAWBERRY TREE 'COMPACTA'	L	
BACCHARIS PILLULARIS 'PIGEON PT'	DWARF COYOTE BUSH	L	
CAREX PRAEGRACILIS	CALIFORNIA FIELD SEDGE	M	GROUNDCOVER
CAREX TUMULICOLA	BERKELEY SEDGE	L	100% @ 1 GAL
CARISSA MACROCARPA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	L	30" O.C. MIN.
DIANELLA TASMANNICA 'TAS RED'	FLAX LILY	L	
DIETES IRIDIODES	WHITE FORTNIGHT LILY	L	
ECHVEVERIA X SPECIES	ECHVEVERIA	L	
LIGUSTRUM JAPONICUM 'TEXANUM'	WAX LEAF PRIVET	M	
PENNISETUM 'FAIRY TAILS'	EVERGREEN FOUNTAIN GRASS	M	
PHORMIUM TENAX	NEW ZEALAND FLAX	L	
RHAPHIOLEPIS INDICA SPECIES	INDIAN HAWTHORNE	L	
ROSMARINUS OFFICINALIS	HUNTINGTON CARPET ROSEMARY	VL	
TRACHELOSPERMUM JASMINOIDES 'STAR'	STAR JASMINE	M	

LANDSCAPE CALCULATIONS

TOTAL PARKING AREA:	75,295 SQ FT
REQUIRED PLANTING (10%):	7,529 SQ FT
PLANTING AREA ADJACENT PARKING:	3,973 SQ FT



COTTONWOOD ALL RIGHT SELF STORAGE WATER MANAGEMENT AB-1881

PLANT TYPE / HYDROZONE	TREES (BUBBLER)	PALMS (BUBBLER)	SHRUBS (DRIP)	TURF (DRIP)	TOTALS
SITE F _{to} (in/yr)	47.00	47.00	47.00	47.00	
PLANT FACTORS KC	0.50	0.70	0.30	0.80	
HYDROZONF AREA (sq. ft.)	825.00	0.00	7,269.00	0.00	8,094.00
IRRIGATION EFFICIENCY	0.81	0.81	0.81	0.81	
CONVERSION FACTOR	0.62	0.62	0.62	0.62	
N _{AWA} (gal) = (E _{to}) / (4.5) / (LA) / (CF)	10,818.23	0.00	95,318.10	0.00	106,136.62
N _{AWA} (ccf)	14.46	0.00	127.43	0.00	141.89
E _{WU} (gal) = (E _{to}) / (4.5) / (LA) / (CF)	14,839.82	0.00	78,451.36	0.00	93,291.17
E _{WU} (ccf)	19.84	0.00	104.88	0.00	124.72
AVERAGE RAINFALL IN.	10.42	10.42	10.42	10.42	
EFFECTIVE RAINFALL IN.	2.61	2.61	2.61	2.61	
EFFECTIVE RAINFALL (gallons)	1,339.57	0.00	11,802.81	0.00	13,142.38
TOTAL WATER USAGE (gallons)					80,148.79
TOTAL WATER USAGE (ccf)					107.15

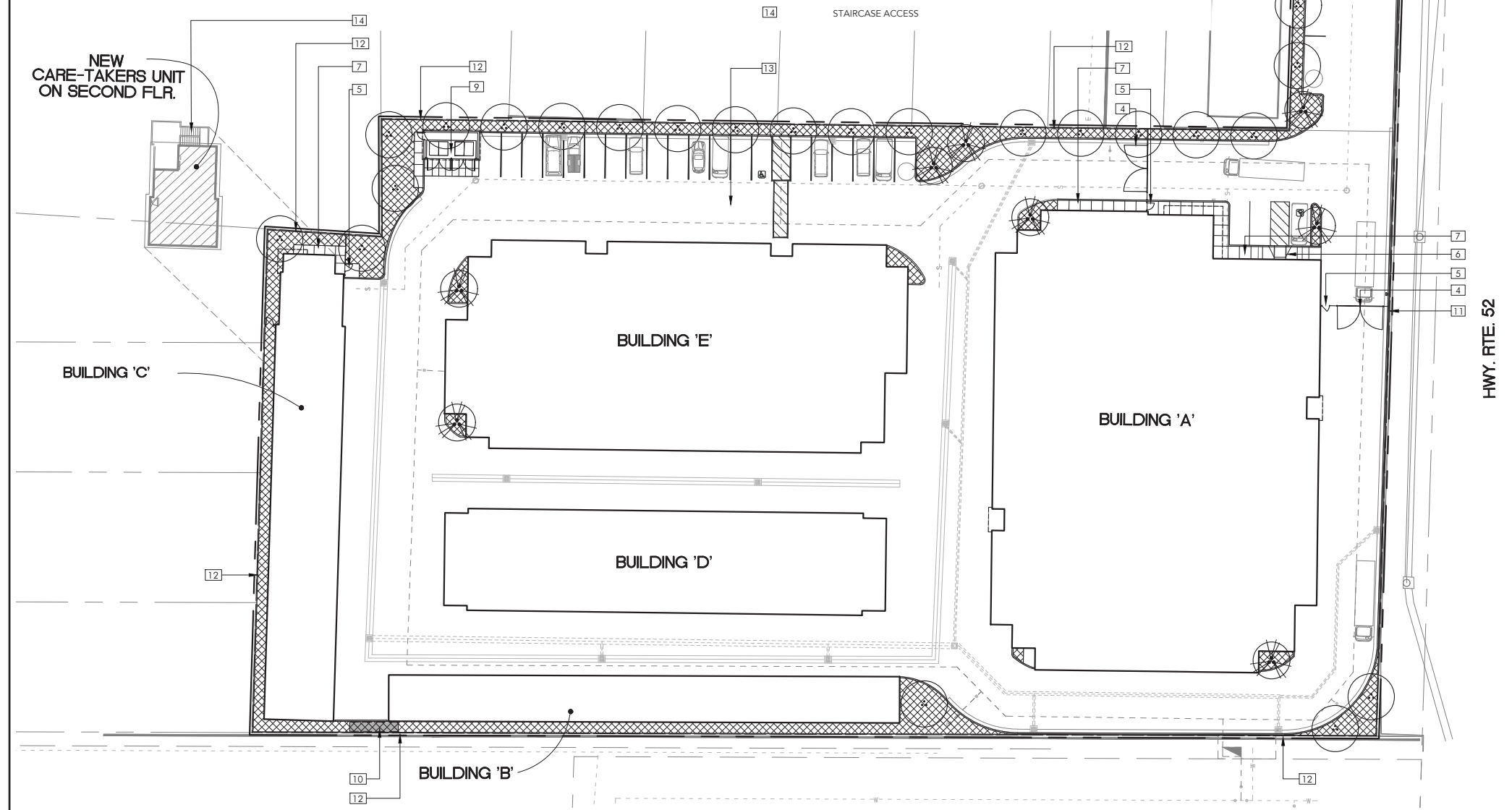
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	PROPOSED DRIVEWAY
2	ENTRY SIGN
3	SITE ENTRY
4	AUTOMATED VEHICULAR ENTRY GATE
5	PEDESTRIAN ENTRY GATE
6	ADA RAMP
7	CONCRETE PEDESTRIAN WALKWAY
8	RV AND BOAT STORAGE
9	TRASH ENCLOSURE
10	MODULAR WETLAND SYSTEM
11	EXISTING 6' HIGH CHAINLINK FENCE TO REMAIN - PROTECT IN PLACE
12	PROPOSED 6' HIGH CHAINLINK FENCE
13	PARKING AREA
14	STAIRCASE ACCESS

NOTES:
 1. ALL SIDEWALKS IN CITY RIGHT-OF-WAY ADJACENT TO STREETS TO BE NATURAL GRAY CONCRETE WITH BROOM FINISH.
 2. ALL ONSITE PAVING TO BE NATURAL GRAY CONCRETE WITH BROOM FINISH.
 3. ALL LANDSCAPED AREAS, EXCEPT TURF AREAS, TO RECEIVE A 3" LAYER OF SHREDDED BARK MULCH.
 4. LANDSCAPED AREAS WITHIN THE PROJECT SHALL RECEIVE A FULLY AUTOMATIC IRRIGATION SYSTEM THAT PROVIDES 100% COVERAGE TO ALL PROPOSED PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE ZONED ACCORDING TO PLANT TYPES, SOLAR EXPOSURE, SLOPE RATIO, AND TYPE OF SPRINKLER HEAD TO BE USED. DRIP AND LOW PRECIPITATION RATE SPRINKLER HEADS SHALL BE USED WHERE APPLICABLE TO ENCOURAGE WATER INFILTRATION INTO THE SOIL AND DECREASE WATER RUN-OFF. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

5. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

6. MINIMUM TREE / IMPROVEMENT SEPARATION DISTANCE: TRAFFIC SIGNALS / STOP SIGN - 20 FEET; UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER); ABOVE GROUND UTILITY STRUCTURES - 10 FEET; DRIVEWAYS - 10 FEET, INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET.



CONCEPT PLANT SCHEDULE

TOTAL PLANTING AREA: 8,176 SQ FT

BOTANICAL NAME	COMMON NAME	WUCOLS	SIZING
PROPOSED TREES			
EVERGREEN & DECIDUOUS TREE W/ 20'-50' MATURE HT. - SUCH AS:			24" BOX MIN.
ARBUTUS UNEDO	STRAWBERRY TREE	L	
ACACIA STENOPHYLLA	SHOESTRING ACACIA	L	
KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	L	
LOPHOSTEMON CONFERTUS	BRISBANE BOX	M	
PODOCARPUS GRACILIOR	FERN PINE	M	
QUERCUS AGRIFFOLIA	COAST LIVE OAK	VL	
RHUS LANCEA	AFRICAN SUMAC	L	
PROPOSED SHRUBS AND GROUNDCOVER			
ABELIA X GRANDIFLORA	GLOSSY ABELIA	M	SHRUBS 60% @ 5 GAL 36" O.C.
AGAVE X SPECIES	AGAVE	L	40% @ 1 GAL 24" O.C.
ALOE X SPECIES	ALOE	L	
ARBUTUS UNEDO COMPACTA	STRAWBERRY TREE 'COMPACTA'	L	
BACCHARIS PILULARIS 'PIGEON PT'	DWARF COYOTE BUSH	L	
CAREX PRAEGRACILIS	CALIFORNIA FIELD SEDGE	M	GROUNDCOVER 100% @ 1 GAL 30" O.C. MIN.
CAREX TUMULICOLA	BERKELEY SEDGE	L	
CARISSA MACROCARPA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	L	
DIANELLA TASHMANICA 'TAS RED'	FLAX LILY	L	
DIETES IRIDIODES	WHITE FORTNIGHT LILY	L	
ECHVEVERIA X SPECIES	ECHVEVERIA	L	
LIGUSTRUM JAPONICUM 'TEXANUM'	WAX LEAF PRIVET	M	
PENNISETUM FAIRY TAILS	EVERGREEN FOUNTAIN GRASS	M	
PHORMIUM TENAX	NEW ZEALAND FLAX	L	
RHAPHIOLEPIS INDICA SPECIES	INDIAN HAWTHORNE	L	
ROSMARINUS OFFICINALIS	HUNTINGTON CARPET ROSEMARY	VL	
TRACHELOSPERMUM JASMINOIDES 'STAR'	STAR JASMINE	M	

LANDSCAPE CALCULATIONS

TOTAL PARKING AREA:	22,912 SQ FT
REQUIRED PLANTING (10%):	2,291 SQ FT
PLANTING AREA ADJACENT PARKING:	4,062 SQ FT

COTTONWOOD ALL RIGHT SELF STORAGE WATER MANAGEMENT AB-1881

PLANT TYPE / HYDROZONE	TREES (BUBBLER)	PALMS (BUBBLER)	SHRUBS (DRIP)	TURF (DRIP)	TOTALS
SITE FLOW (in/yr)	47.00	47.00	47.00	47.00	47.00
PLANT FACTORS KC	0.50	0.70	0.30	0.80	0.80
HYDROZONED AREA (sq. ft.)	825.00	0.00	7,351.00	0.00	8,176.00
IRRIGATION EFFICIENCY	0.81	0.81	0.81	0.81	0.81
CONVERSION FACTOR	0.67	0.67	0.67	0.67	0.67
NAWA (gal) = (E ToI) (45) (LAH) (62)	10,818.23	0.00	96,393.66	0.00	107,211.89
NAWA (ccf)	14.46	0.00	128.87	0.00	143.33
TOTW (gal) = (T ToI) (45) (LAH) (62) (11)	14,839.81	0.00	79,336.35	0.00	94,176.16
FWU (ccf)	19.84	0.00	106.06	0.00	125.90
AVERAGE RAINFALL IN.	10.42	10.42	10.42	10.42	10.42
EFFECTIVE RAINFALL IN.	2.61	2.61	2.61	2.61	2.61
EFFECTIVE RAINFALL (gallons)	1,339.57	0.00	11,935.95	0.00	13,275.52
TOTAL WATER USAGE (gallons)					80,900.64
TOTAL WATER USAGE (ccf)					108.16

15. Environmental Checklist Form**EVALUATION OF ENVIRONMENTAL IMPACTS:**

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an Environmental Impact Report is required.
4. “Negative Declaration: Less Than Significant With Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analyses,” as described in (5) below, may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program Environmental Impact Report, or other CEQA process, an effect has been adequately analyzed in an earlier Environmental Impact Report or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
 - a. Earlier Analysis Used. Identify and state where they are available for review.
 - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. Mitigation Measures. For effects that are “Less than Significant with Mitigation Measures Incorporated,” describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.

6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
8. This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whatever format is selected.
9. The explanation of each issue should identify:
 - a. the significance criteria or threshold, if any, used to evaluate each question; and
 - b. the mitigation measure identified, if any, to reduce the impact to less than significance.

15.1 Aesthetics

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Substantially damage scenic resources, including but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from a publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources: Project Plans; City of Santee General Plan (Conservation, Community Enhancement, and Circulation Elements); Santee Municipal Code.

a. No Impact. The City General Plan identifies existing visual resources including the San Diego River and other waterway corridors, undeveloped hillsides and ridgelines, the Santee Town Center, Santee Lakes and Mission Trails Regional Parks, and the San Diego Trolley. The project site is not located adjacent to any of these visual resources, nor are there views of any of these sites from the property. The project site is located within an urbanized environment and is surrounded by commercial, commercial/industrial, residential, and roadway uses. Additionally, the project site is not designated as open space, nor does it possess views of any areas designated as open space. Therefore, the project would not have a substantial adverse effect on a scenic vista. No impact would occur.

b. No Impact. There are no designated state scenic highways within Santee. The eastern terminus of the segment of SR-52 that is designated as a state scenic highway (Santo Road to Mast Boulevard) is located in the City of San Diego, approximately 3.1 miles to the northwest, and as is not visible from the property. The project site does not possess any scenic

resources such as trees and rock outcroppings and is unremarkable in character. As described in Section 15.5.a below, there are no historic resources located on the project site. Therefore, the project would not substantially damage any scenic resources within a state scenic highway. No impact would occur.

c. Less Than Significant Impact. The project site is located within an urbanized environment consisting of commercial, commercial/industrial, and residential uses located near SR-52. The project site is currently undeveloped and consists primarily of non-native grasses with occasional trees. A small amount of paved areas exists on the project site that are associated with the previous uses as mobile home park. However, all mobile homes were removed in 2010, and there are currently no structures on the project site.

The project would be consistent with the existing visual character because it would construct a commercial facility within an area that currently consists of a mix of commercial, commercial/industrial, and residential uses. The surrounding residential uses are currently situated adjacent to other commercial and commercial/uses. Therefore, adding another commercial use would be consistent with the existing mix of uses within the community. The commercial structure to the east is approximately 28 feet in height, while the business park with commercial/industrial uses to the west is approximately 18 feet in height. Although slightly taller, the project's proposed maximum height of 39 feet would be similar to these surrounding uses. The project consists of five separate structures that have been designed consistent with the applicable setback requirements from both the property line and other project buildings. Consequently, all five buildings would avoid massing and be consistent with the bulk and scale of the surrounding uses. The project has also been designed with and will comply with applicable zoning regulations pertaining to scenic quality and would include landscaping to enhance the visual quality of the project site. Therefore, the project would not substantially degrade the existing visual character or quality of the site and its surroundings, and impacts would be less than significant.

d. Less Than Significant Impact. Project construction would be limited to the City's allowable construction hours of 7:00 a.m. and 7:00 p.m. and is not anticipated to require lighting. In the event that construction lighting is required, it would be properly shielded to avoid spillover effects. The project would not include large uninterrupted expanses of glass or any other highly reflective material that could generate glare during the daytime. Although the project would introduce solar panels, these are designed to absorb light rather than reflect it, and the solar panels would be coated with anti-reflective materials to maximize light absorption. Furthermore, the proposed solar panels would be mounted on the roof facing upwards and would not reflect light towards adjacent uses.

The project would include outdoor lighting typical of commercial uses. The project would install wall packs on the buildings to provide both security and path of travel lighting for vehicles and pedestrians using the aisles between buildings and to access individual storage units. The RV and vehicle storage lot and rental parking area would be lit by pole lights. Light spillover, trespass, and potential glare from project lighting are regulated by Section 13.30.030(B) of the Santee Municipal Code. The code requires that all lights and illuminated signs must be designed and adjusted to reflect light away from any road or street, away from

any adjoining premises, and shall be shielded or directed to not cause glare on adjacent properties or motorists. Project lighting would be designed consistent with the requirements of the Santee Municipal Code. The project would prepare a Photometric Light Study as a conditional of approval that would document how the design would shield and direct all illumination in a manner that would prevent spillover, trespass, and glare on adjacent properties. Light associated with additional vehicle trips generated by the project would be similar in character to what is currently generated by vehicles traveling along the existing roadway network after dark. Therefore, the project would not create a new source of substantial light or glare that would adversely affect day or nighttime views in the area, and impacts would be less than significant.

15.2 Agriculture Resources

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and City Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agricultural land and farmland. Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with existing zoning for agricultural use, or a Williamson Act Contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220[g]), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104[g])?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
e. Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources: City of Santee General Plan–Land Use Element; City of Santee Zoning Ordinance; Department of Conservation–Farmland Mapping and Monitoring Program; Department of Conservation–Land Conservation Act Maps.

a. No Impact. The project site and surrounding properties are not identified as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance. The Farmland Mapping and Monitoring Program classifies the project site and surrounding properties as “Urban and Built Up Land” (California Department of Conservation 2016). No impact would occur.

b. No Impact. The project site and surrounding properties are not zoned for agricultural uses and are not subject to a Williamson Act contract. No impact would occur.

c. No Impact. The project site does not contain any forest or timberland as defined by Public Resources Code Section 12220[g], Public Resources Code Section 4526, or Government Code Section 51104(g) and is not zoned as forest or timberland. No impact would occur.

d. No Impact. The project site does not contain any forest or timberland as defined by Public Resources Code Section 12220[g], Public Resources Code Section 4526, or Government Code Section 51104(g). No impact would occur.

e. No Impact. Surrounding land uses include single-family residences to the north, single-family residences and a commercial structure to the east, SR-52 to the south, and a Business Park consisting of commercial/industrial uses to the west. There are no agricultural uses or forestlands on-site or in the vicinity of the project site. Therefore, the project would not result in conversion of farmland or forest land. No impact would occur.

15.3 Air Quality

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Result in other emissions such as those leading to odors adversely affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources: Project Description, City of Santee General Plan–Land Use Element; Air Quality Model Results (California Emissions Estimator Model [CalEEMod] Output Files) prepared by RECON Environmental, Inc. (August 20, 2020, Appendix A); San Diego Air Pollution Control District (SDAPCD) Rules 20.1, 20.2, 20.3 (SDAPCD 2016); Office of Environmental Health Hazard Assessment (OEHHA) Air Toxics Hot Spots Program Guidance Manual for the Preparation of Risk Assessments (OEHHA 2015); California Air Resources Board (CARB) Air Quality and Land Use Handbook (CARB 2005); and University of California, Davis Institute of Transportation Studies Transportation Project-Level Carbon Monoxide Protocol (U.C. Davis Institute of Transportation Studies 1997).

a. Less than Significant Impact. Following the California Clean Air Act, California was divided geographically into 15 air basins for managing the state air resources on a regional basis. Areas within each air basin are considered to share the same air masses and, therefore, have similar ambient air quality. The project site is located within the San Diego Air Basin (SDAB). Stationary sources of air emissions within each air basin are regulated by regional air quality districts, of which the project is located within the jurisdiction of the SDAPCD.

Air districts are tasked with regulating emissions such that air quality in the basin does not exceed national or California ambient air quality standards (NAAQS and CAAQS); where NAAQS and CAAQS represent the maximum levels of background pollution considered safe, with an adequate margin of safety, to protect the public health and welfare. NAAQS and

CAAQS have been established for six common pollutants of concern known as criteria pollutants, which include ozone (O₃), carbon monoxide (CO), sulfur dioxide (SO₂), nitrogen dioxide (NO₂), lead (Pb), and respirable particulate matter (particulate matter less than 10 microns [PM₁₀] and less than 2.5 microns [PM_{2.5}]).

The SDAB is currently classified as a federal and state non-attainment area for ozone, and as a state non-attainment area for PM₁₀, and PM_{2.5}. The SDAPCD prepared an air quality plan, the 2016 Regional Air Quality Strategy (RAQS), to identify feasible emission control measures intended to progress toward attaining NAAQS and CAAQS for ozone. Reducing ozone concentrations is achieved by reducing the precursors to the photochemical formation of ozone (volatile organic compounds and oxides of nitrogen [NO_x]).

The growth forecasting for the RAQS is based in part on the land uses established by local general plans. Thus, if a project is consistent with land use designated in the local general plan, it can normally be considered consistent with the RAQS. Projects that propose a different land use than is identified in the local general plan may also be considered consistent with the RAQS if the proposed land use is less intensive than the current land use designation. For projects that propose a land use that is more intensive than the current zoning designation, detailed analysis is required to assess conformance with the RAQS.

The project site is currently designated and zoned as Light Industrial (IL). The project would be consistent with the existing land use and zoning designations for the project site, and therefore would be consistent with the growth assumptions of the General Plan. Additionally, as discussed in Section 15.3.b below, project emissions would not exceed the project-level significance thresholds. Therefore, the project would not result in an increase in emissions that are not already accounted for in the RAQS, and impacts would be less than significant.

b. Less than Significant Impact. As discussed in Section 15.3.a above, NAAQS and CAAQS have been established for six criteria pollutants (ozone, CO, SO₂, NO₂, lead, and particulate matter). The City has not adopted air quality significance thresholds for these pollutants, and the SDAPCD does not provide specific numeric thresholds for determining the significance of air quality impacts under the CEQA Guidelines. However, the SDAPCD does specify air quality impact analysis “trigger” levels for criteria pollutant emissions associated with new or modified stationary sources (SDAPCD Rules 20.1, 20.2, and 20.3). The SDAPCD does not consider these trigger levels to represent adverse air quality impacts; rather, if these trigger levels are exceeded by stationary sources associated with a project, the SDAPCD requires an air quality analysis to determine if a significant air quality impact would occur. This analysis uses SDAPCD trigger levels shown in Table 1 as air quality impact screening levels.

Pollutant	Emission Rate (pounds per hour)	Emission Rate (pounds per day)	Emission Rate (tons per year)
NO _x	25	250	40
SO _x	25	250	40
CO	100	550	100
PM ₁₀	--	100	15
Lead	--	3.2	0.6
ROG ¹	--	250	--
PM _{2.5}	--	67	10

SOURCE: SDAPCD, Rules 20.1, 20.2, 20.3 (SDAPCD 2016).
¹The reactive organic gases (ROG) threshold is based on federal General Conformity de minimis levels for ozone precursors.

The project would result in short-term emissions from construction and long-term emissions associated with project operation. Construction and operational emissions associated with the project were modeled using CalEEMod version 2016.3.2 (see Appendix A), which incorporates current air emission data. Planning methods, protocol, modeling methodology, and assumptions are summarized below.

Construction Emissions

Construction-related activities are temporary, short-term sources of air emissions. Sources of construction-related emissions include the following:

- fugitive dust from grading activities;
- equipment exhaust;
- off-gassing from architectural coatings (paints, etc.) and paving; and
- vehicle trips by workers, delivery trucks, and material-hauling trucks.

The project would be constructed in two phases. Each construction phase would last for approximately 15 to 18 months, and there would be three to four years between the completion of Phase I and the beginning of Phase II construction. Emissions were modeled assuming each phase would require 18 months of construction activities and would occur three years apart. This is the most conservative assumption because 18 months is the longer anticipated construction duration and modeling a three-year gap between phases rather than five years results in greater equipment emissions because construction equipment gets cleaner over time due to CARB regulations.

Table 2 shows the total projected construction maximum daily emission levels for each criteria pollutant. The CalEEMod output files for construction emissions for the project are contained in Appendix A.

Table 2 Summary of Maximum Build-out Construction Emissions (pounds per day)						
	ROG	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
Phase I						
Site Preparation	4	41	22	<1	20	12
Grading	2	25	16	<1	8	4
Building Construction/Architectural Coatings	8	21	21	<1	2	1
Paving	1	10	13	<1	1	<1
Phase I Maximum Daily Emissions	8	41	22	<1	20	12
<i>Significance Threshold</i>	<i>250</i>	<i>250</i>	<i>550</i>	<i>250</i>	<i>100</i>	<i>67</i>
Phase II						
Site Preparation	1	11	7	<1	6	3
Building Construction/Architectural Coatings	5	13	15	<1	1	1
Paving	1	5	9	<1	<1	<1
Phase II Maximum Daily Emissions	5	13	15	<1	6	3
<i>Significance Threshold</i>	<i>250</i>	<i>250</i>	<i>550</i>	<i>250</i>	<i>100</i>	<i>67</i>
Source: Appendix A						

Standard dust control measures would be implemented as a part of project construction in accordance with mandatory SDAPCD rules and regulations. Fugitive dust emissions were calculated using CalEEMod default values and did not consider the required SDAPCD dust control measures. Thus, the emissions shown in Table 2 are conservative.

To assess the significance of the air quality emissions resulting from construction of the project, construction emissions were compared to the significance thresholds shown in Table 1. As shown, maximum daily construction emissions associated with the project are projected to be less than the applicable thresholds for all criteria pollutants. These thresholds are designed to provide limits below which project emissions would not significantly change regional air quality. In addition, the project applicant would implement standard construction measures in order to comply with mandatory SDAPCD rules and regulations (Rules 50, 51, 52, 54, and 55) for controlling emissions from fugitive dust and fumes:

- Water the grading areas a minimum of twice daily to minimize fugitive dust.
- Provide sufficient erosion control to prevent washout of silty material onto public roads.
- Cover haul trucks or maintain at least 12 inches of freeboard to reduce blow-off during hauling.
- Periodically sweep up dirt and debris spilled onto paved surfaces to reduce re-suspension of particulate matter caused by vehicle movement. Clean approach routes to construction sites of construction-related dirt.

Further, all construction equipment is subject to the CARB In-Use Off-Road Diesel-Fueled Fleets Regulation. This regulation, which applies to all off-road diesel vehicles 25 horsepower or greater, limits unnecessary idling to 5 minutes, requires all construction fleets to be labeled and report to CARB, bans Tier 0 equipment and phases out Tier 1 and 2 equipment

(thereby replacing fleets with cleaner equipment), and requires that fleets comply with Best Available Control Technology requirements.

Therefore, as project construction emissions would be well below these limits and the project would implement standard construction measures in order to comply with SDAPCD rules and regulations and CARB’s In-Use Off-Road Diesel-Fueled Fleets Regulation, construction emissions would not result in regional emissions that would exceed the NAAQS or CAAQS or contribute to existing violations. Therefore, construction of the project would not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment, and impacts would be less than significant.

Operational Emissions

Operation of the project would result in long-term emissions from mobile and area sources. Mobile emissions were calculated based on the vehicle type and the trip rate for each land use. Project trip generation rates for Phase 1 and Phase 2 were calculated using San Diego Association of Governments (SANDAG) trip generation rates as well as a traffic study prepared for a similar facility with RV storage. Table 3 summarizes the traffic generated by the project.

Table 3 Project Trip Generation					
Land Use	Amount	Trip Generation Rate	Total Trips	AM Peak	PM Peak
Phase 1					
Storage	87,613 square feet	2 trips/1,000 square feet ¹	175	11	16
RV and Boat Storage	57 spaces	0.022 trips/space ²	1	0	0
Caretaker Unit	1 dwelling unit	6 trips/dwelling unit ³	6	1	1
Total			182	12	17
Phase 2					
Storage	146,528 square feet	2 trips/1,000 square feet ¹	293	18	27
RV and Boat Storage	0 spaces	0.022 trips/space ²	0	0	0
Caretaker Unit	1 dwelling unit	6 trips/dwelling unit ³	6	1	1
Total			299	19	28
¹ Trip rate obtained from SANDAG trip generation rates (SANDAG 2002) ² Trip rate obtained from the Transportation Access Analysis for the Sun Ridge Vista RV/Mini Storage Facility in the city of San Diego (LOS Engineering, Inc. 2019) ³ The SANDAG trip generation rate for multi-family residential uses was assumed for the caretaker unit (SANDAG 2002).					

As described above, construction of each phase is anticipated to last 15 to 18 months, and there would be three to four years between phases. For calculating operational emissions, Phase I was assumed to be operational in year 2022 and Phase II was assumed to be operational in 2027. Based on regional data compiled by CARB as part of Emission Factors 2017 model, the average regional trip length for all trips in San Diego County will be 7.48 miles in 2022 and 7.22 miles in 2027 (CARB 2017). Default vehicle emission factors were used. Area emissions include emissions from the use of landscaping equipment, consumer products (aerosols, cleansers, etc.), and architectural coatings (e.g., paint). Area sources were calculated based on regional use factors.

Table 4 provides a summary of the operational emissions generated by the project. CalEEMod output files for operation of the project are contained in Appendix A.

Table 4 Summary of Maximum Build-out Operational Emissions (pounds per day)						
Emissions Sources	ROG	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
Buildout of Phase I (Year 2022)						
Area Sources	2	<1	<1	<1	<1	<1
Energy Sources	<1	<1	<1	<1	<1	<1
Mobile Sources	<1	1	3	<1	1	<1
Total	2	1	3	<1	1	<1
Buildout of Phases I and II (Year 2027)						
Area Sources	4	<1	<1	<1	<1	<1
Energy Sources	<1	<1	<1	<1	<1	<1
Mobile Sources	<1	1	4	<1	2	<1
Total	4	1	4	<1	2	<1
<i>Significance Threshold</i>	<i>250</i>	<i>250</i>	<i>550</i>	<i>250</i>	<i>100</i>	<i>67</i>
Source: Appendix A						
Note: Totals may vary due to independent rounding.						

As shown in Table 4, operation of the project would not generate regional emissions that would exceed the NAAQS or CAAQS or contribute to existing violations. Therefore, operation of the project would not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment, and impacts would be less than significant.

c. Less than Significant Impact. A sensitive receptor is a person in the population who is more susceptible to health effects due to exposure to an air contaminant than is the population at large. Examples of sensitive receptor locations in the community include residences, schools, playgrounds, childcare centers, churches, athletic facilities, retirement homes, and long-term health care facilities. Residential uses are located east and north of the project site, immediately adjacent to the project site.

Diesel Particulate Matter–Construction

Construction of the project would result in short-term diesel exhaust emissions from on-site heavy-duty equipment. Construction of the project would result in the generation of diesel exhaust diesel particulate matter (DPM) emissions from the use of off-road diesel equipment required for site grading and excavation, paving, and other construction activities and on-road diesel equipment used to bring materials to and from the project site.

Generation of DPM from construction projects typically occurs in a single area for a short period. According to the OEHHA, health risk assessments, which determine the exposure of sensitive receptors to toxic emissions, should be based on a 30-year exposure period; however, such assessments should be limited to the period/duration of activities associated with the project (OEHHA 2015). Thus, if the duration of proposed construction activities near any specific sensitive receptor were a year, the exposure would be three percent of the total exposure period used for health risk calculation.

Based on the size of the project and the short duration of construction (3 years collectively for both phases), DPM generated by project construction is not expected to create conditions where the probability is greater than 10 in 1 million of contracting cancer for the maximally exposed individual or to generate ground-level concentrations of non-carcinogenic toxic air contaminants that exceed a hazard index greater than 1 for the maximally exposed individual. Additionally, with on-going implementation of U.S. Environmental Protection Agency (EPA) and CARB requirements for cleaner fuels; off-road diesel engine retrofits; and new, low-emission diesel engine types, the DPM emissions of individual equipment would be substantially reduced over the years as the project construction continues. Further, the project would implement standard construction measures in order to comply with mandatory SDAPCD rules and regulations and CARB's In-Use Off-Road Diesel-Fueled Fleets Regulation. Additionally, the following standard Best Management Practices (BMPs) would be implemented in accordance with mandatory state rules and regulations:

- The construction fleet shall use any combination of diesel catalytic converters, diesel oxidation catalysts, diesel particulate filters and/or utilize CARB/U.S. EPA Engine Certification Tier 3 or better, or other equivalent methods approved by the CARB.
- The engine size of construction equipment shall be the minimum size suitable for the required job.
- Construction equipment shall be properly tuned and maintained in accordance with the manufacturer's specifications.
- Per CARB's Airborne Toxic Control Measure 13 (California Code of Regulations Chapter 10 Section 2485), the applicant shall not allow idling time to exceed 5 minutes unless more time is required per engine manufacturers' specifications or for safety reasons.

Because construction would be short-term, construction emissions would be well less than applicable thresholds (see Table 2), and BMPs would be implemented, project construction would not expose sensitive receptors to substantial pollutant concentration, and impacts would be less than significant.

Diesel Particulate Matter–Operation

Once operational, the project would not be a significant source of DPM. In April 2005, CARB published the Air Quality and Land Use Handbook: A Community Health Perspective (CARB 2005). The CARB handbook indicates that siting new sensitive land uses within 500 feet of a freeway or urban roads with 100,000 or more vehicles per day should be avoided when possible. The self-storage portion of the project is not a sensitive land use. The project would include a caretaker's living unit. This unit would be located at the northeast corner of the project site. Based on SANDAG traffic projections, the segment of SR-52 adjacent to the project site is projected to carry 93,800 ADT in 2025, 96,300 ADT in 2035, and 99,300 ADT in 2050 (SANDAG 2020). Additionally, the caretaker's unit would be located approximately 515 feet from the nearest travel lane. Thus, the exposure to DPM from vehicle traffic on SR-52 would be less than significant.

Carbon Monoxide Hot Spots

Localized CO concentration is a direct function of motor vehicle activity at signalized intersections (e.g., idling time and traffic flow conditions), particularly during peak commute hours and meteorological conditions. The SDAB is a CO maintenance area under the federal CAA. This means that SDAB was previously a non-attainment area and is currently implementing a 10-year plan for continuing to meet and maintain air quality standards.

Due to increased requirements for cleaner vehicles, equipment, and fuels, CO levels in the state have dropped substantially. All air basins are attainment or maintenance areas for CO. Therefore, more recent screening procedures based on more current methodologies have been developed. The Sacramento Metropolitan Air Quality Management District developed a screening threshold in 2011, which states that any project involving an intersection experiencing 31,600 vehicles per hour or more will require detailed analysis. In addition, the Bay Area Air Quality Management District developed a screening threshold in 2010 which states that any project involving an intersection experiencing 44,000 vehicles per hour would require detailed analysis. This analysis conservatively assesses potential CO hot spots using the Sacramento Metropolitan Air Quality Management District screening threshold of 31,600 vehicles per hour.

Based on SANDAG traffic projections, the busiest intersection in the vicinity of the project site is the intersection of Cottonwood Avenue and Mission Gorge Road. The year 2050 daily traffic volume on Cottonwood Avenue will be 4,400 ADT and the daily traffic volume on Mission Gorge Road will be 17,600 ADT (SANDAG 2020). Peak hour volumes can conservatively be estimated as 10 percent the daily volume, resulting in peak hour volumes of 440 and 1,760 for Cottonwood Avenue and Mission Gorge Road, respectively. Based on the traffic volumes on roadways in the vicinity of the project (SANDAG 2020), intersection traffic volumes would be significantly less than 31,600 vehicles per hour. Therefore, the project is not anticipated to result in a CO hot spot.

d. Less than Significant Impact. The project would develop a self-storage facility with a caretaker's unit. These uses are not associated with the generation of objectionable odors. During construction, the use of fuels, including diesel, would generate some nuisance odors. However, these odors generated during construction would be temporary, intermittent, disperse quickly, and would not affect a substantial number of people. Therefore, the project would not generate odors adversely affecting a substantial number of people, and impacts would be less than significant.

15.4 Biological Resources

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Have substantial adverse effects, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife (CDFW) or U.S. Fish and Wildlife Service (USFWS)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the CDFW or USFWS?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Conflict with any local policies or ordinances protecting biological resources, such as tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources: City of Santee Draft Multiple Species Conservation Program Subarea Plan; Biological Survey for the All Right Self-Storage Project, Santee, California, prepared by RECON Environmental [August 26, 2020; Appendix B].

a. Less than Significant with Mitigation. The following discussion is based on the Biological Survey (see Appendix B) completed for the project. The 3.0-acre project site consists entirely of Urban/Developed Land composed of pavement and ornamental vegetation with no native habitat present. This vegetation community is not considered sensitive.

The majority of non-paved areas consist primarily of non-native grasses with occasional trees, primarily Mexican fan palm (*Washingtonia robusta*). Other prominent species include lemon (*Citrus limon*), acacia (*Acacia* sp.), weeping bottlebrush (*Melaleuca viminalis*), and broom baccharis (*Baccharis sarothroides*). Several gum trees (*Eucalyptus* sp.) and a western sycamore (*Platanus racemosa*) are adjacent to the southern project boundary. None of these plant species are considered sensitive, nor are any sensitive plants anticipated to occur. The project site was previously developed, still maintains remnants of the old concrete foundations through much of the site, and is surrounded by development on all sides. Therefore, the project site no longer supports suitable habitat to support sensitive plant species.

The filed survey identified nine common species that are not considered sensitive. A single osprey (*Pandion haliaetus carolinensis*), a CDFW Watch List species, was observed flying overhead. However, no osprey nesting activity is anticipated to occur within the project area due to a lack of aquatic habitat within or adjacent to it. Although tree roosting bats may utilize fan palms, there is a low potential for occurrence and bats have the ability to vacate when trees are disturbed. Due to the developed nature of the project site, lack of suitable habitat, and isolation from any areas of natural habitat, no sensitive wildlife species, no sensitive wildlife species are anticipated to occur.

However, the project site has potential to support avian species, including migratory birds and raptors, protected by California Fish and Game Code (CFG) Sections 3503 and 3503.3, respectively. Raptors may occur in the adjacent gum trees and western sycamore tree and may include red-tailed hawk (*Buteo jamaicensis*) and Cooper’s hawk (*Accipiter cooperii*). Other nesting migratory birds have a moderate potential to occur within smaller trees, shrubs, and grasses within the project area. Therefore, vegetation removal during construction would have the potential to cause indirect impacts to nesting raptors and direct

impacts to other nesting migratory birds. Implementation of mitigation measure BIO-1 would reduce these impacts to a level less than significant.

Mitigation Measures

BIO-1: Nesting Migratory Birds and Raptors

To remain in compliance with the CFGC Section 3503, no direct impacts shall occur to any nesting birds or their eggs, chicks, or nests during the typical raptor and migratory bird breeding season (i.e., February 1–September 15). If project grading/brush management is proposed during the bird breeding season, the project biologist shall conduct a pre-grading survey for active nests in the development area and the gum trees and western sycamore tree adjacent to it. If active nests are detected, mitigation in conformance with applicable state and federal law (i.e., appropriate follow-up surveys, monitoring schedules, construction, and/or noise barriers/buffers, etc.) may be required. If no nesting birds are detected, no mitigation would be required.

To avoid potential direct impacts to nesting migratory birds and indirect impacts to nesting raptors protected by CFGC Sections 3503 and 3503.3, respectively, it is recommended that vegetation removal, grading, or other heavy construction activity within the project area, which may support nesting migratory birds or occur adjacent to trees supporting raptor nests, be conducted between September 16 and January 31, to avoid the avian breeding season. If such construction activities must be conducted during the breeding season, a nesting bird survey of the project area and the adjacent gum trees and western sycamore should be conducted by a qualified biologist prior to the activities to determine if any migratory bird or raptor nests are present. If an active migratory bird or raptor nest is discovered, a buffer should be established around the nest to ensure that indirect impacts do not occur. The required buffer is typically 500 feet for raptors or 300 feet for nesting migratory birds, though it may be reduced if construction is conducted with a biological monitor present to observe any disturbance to nesting activity. No construction activity may occur within this buffer area until a biologist determines that the fledglings are independent of the nest or that no disturbance due to construction activities is observed. Indirect impacts, such as noise impacts, may cause the abandonment of an active nest.

b. No Impact. The 3.0-acre project site consists entirely of Urban/Developed Land that does not qualify as riparian habitat. Therefore, there is no riparian habitat located on the project site. No impact would occur.

c. No Impact. No drainages, wetlands, or waters were observed within the project site. Therefore, there are no state or federally protected wetlands located on the project site. No impact would occur.

d. Less than Significant with Mitigation. The project site consists of Urban/Developed Land, is surrounded by development on all sides, and does not connect separate isolated areas of habitat. Therefore, the project does not function as a wildlife corridor, nor are there any wildlife corridors adjacent to the project site within the surrounding urban environment. However, as described in Section 15.4.a above, removal of the existing trees/vegetation and

development of the project site during construction would have the potential to cause indirect impacts to nesting raptors and direct impacts to other nesting migratory birds through displacement of suitable nesting habitat. This would potentially affect existing native wildlife nursery sites, which would be considered a significant impact. Implementation of mitigation measure BIO-1 would reduce impacts to native wildlife nursery sites to a level less than significant.

e. No Impact. The City’s Urban Forestry Ordinance “sets forth tree-related policies, regulations, and generally accepted standards for planting, trimming, and removing trees on public property and public rights-of-way” (Ord. 561 § 3, 2019). The ordinance identifies native tree species such as Coast live oak (*Quercus agrifolia*), Canyon live oak (*Quercus chrysolepis*), Englemann oak (*Quercus engelmannii*), and western sycamore as “protected trees”. However, there are no native trees located on the project site that would require protection under the City’s Urban Forestry Ordinance. Furthermore, the project would not impact the western sycamore located adjacent to the southern project boundary. Therefore, the project would not conflict with any local policies or ordinances protecting biological resources, such as tree preservation policy or ordinance. No impact would occur.

f. No Impact. The City does not have an adopted Habitat Conservation Plan. The project site is classified as Developed Land is not located within the Draft Subarea Preserve of the City’s Draft MSCP Subarea Plan. The project site is not proposed for conservation and is not adjacent to any preserve areas. The project would not conflict with any local policies or ordinances protecting biological resources. Therefore, the project would not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan. No impact would occur.

15.5 Cultural Resources

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Cause a substantial adverse change in the significance of an historical resource pursuant to §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Disturb human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Sources: Archaeological Survey for the All Right Self-Storage Project, prepared by RECON Environmental, Inc. (July 8, 2020; Appendix C).

a. No Impact. The term “historic resources” applies to any such resource that is at least 50 years old and is listed or determined eligible for listing in the California Register of Historical Resources. The project site is currently undeveloped. On February 5, 2020, RECON performed a records search of the project area with a one-mile radius buffer at the California Historical Resources Information Center South Coastal Information Center (SCIC) at San Diego State University. Historic aerial photographs were also checked in order to see past development within and near the project area. The record search indicated that there have been 24 archaeological investigations and 20 cultural resources within a one-mile radius of the project parcel. Six prehistoric sites, nine historic sites, one multi-component site, one prehistoric isolated artifact, two non-sites, and one site with no information have been recorded within the search area. The non-sites consist of shell scatters within disturbed contexts and with the likelihood that the soils were imported fills. The prehistoric sites consist of lithic, ground stone, and bedrock milling features. The historic sites consist of single-family properties, industrial properties, water conveyance systems, and historic trash scatters. None of these cultural resources occur within the project area. Additionally, 23 historic addresses have been filed at the SCIC. However, none of these historic addresses occur on, or immediately adjacent to, the project site. A field survey of the project site was conducted on February 7, 2020 by RECON archaeologist Carmen Zepeda-Herman, accompanied by Native American monitor, Shuuluk Linton, from Red Tail Environmental. No historic or cultural material was observed during the field survey of the project site. Therefore, the project would not affect a known historical resource pursuant to CEQA Guidelines Section 15064.5. No impact would occur.

b. Less than Significant With Mitigation. As described in Section 15.5.a above, none of the cultural resources identified in the SCIC records search are located on the project site. Review of Figure 6-2 of the General Plan Conservation Element determined that the project site is not located within an area identified as having moderate potential for register eligible archaeological sites. Similarly, no prehistoric or historic cultural material was observed during the field survey of the project site. However, the project site is located in the mapped Late Pleistocene alluvial and floodplain deposits from the San Diego River (Tan 2002), which would have the potential to possess subsurface cultural resources. Additionally, subsurface deposits have been recorded in prehistoric sites in the vicinity of the project. A letter was sent to the NAHC on February 5, 2020 requesting a search of their files to identify spiritually significant and/or sacred sites or traditional use areas in the project vicinity. A response from the NAHC was received on February 21, 2020 indicating the search was positive and recommending the Barona Group of the Capitan Grande, the Viejas Band of Kumeyaay Indians, and KCRC be contacted for more information. RECON sent emails to the Viejas Band on February 28, 2020 and the Barona Band on June 24, 2020. RECON left a voicemail for the KCRC on June 24, 2020 as well. To date, no responses have been received by RECON. In addition, the City initiated consultation with Native American Tribes pursuant to AB 52 and notified KCRC and 13 Native American Tribes as requested by the NAHC. The responses are discussed in Section 15.18 Tribal Cultural Resources. Due to project subsurface conditions, the recording of subsurface deposits in the vicinity of the project, and the positive results of the NAHC search to identify spiritually significant and/or sacred sites or traditional use areas, construction would have the potential to encounter unknown buried archaeological

deposits that would be considered a significant impact. Implementation of mitigation measures CUL-1 and CUL-2 would reduce impacts to a level less than significant.

Mitigation Measures

CUL-1: Archaeological Monitoring

If during grading or construction activities, unanticipated cultural resources are discovered on the project site, work shall be halted immediately within 50 feet of the discovery and the resources shall be evaluated by both a qualified archaeologist and a Kumeyaay Tribal Cultural Monitor to determine whether it is either a historic resource or unique cultural resource. Any unanticipated cultural resources that are discovered shall be evaluated and a final report prepared by the qualified archaeologist. The report shall include a list of the resources discovered, documentation of each site/locality, and interpretation of the resources identified, and the method of preservation and/or recovery for identified resources. If the qualified archaeologist and Kumeyaay Tribal Cultural Monitor determine the cultural resources to be either historic resources or unique archaeological resources, avoidance and/or mitigation will be required pursuant to and consistent with CEQA Guidelines Section 15064.5(c) and Public Resources Code Section 21083.2. This mitigation measure shall be incorporated into all construction contract documentation.

CUL-2: Tribal Cultural Monitoring

A Kumeyaay Tribal Cultural Monitor shall be present for all ground disturbing activities associated with the project. Should any cultural or tribal cultural resources be discovered, no further grading shall occur in the area of the discovery until the Director of Development Services, or designee, is satisfied that treatment of the resource has occurred. In the event that a unique archaeological resource or tribal cultural resource is discovered, and in accordance with Public Resources Code Section 21083.2(b)(1), (2), and (4), the resource shall be moved and buried in an open space area of the project site, such as slope areas, which will not be subject to further grading activity, erosion, flooding, or any other ground disturbance that has the potential to expose the resource. The on-site area to which the resource is moved shall be protected in perpetuity as permanent open space. No identification of the resource shall be made on-site; however, the project applicant shall plot the new location of the resource on a map showing latitudinal and longitudinal coordinates and provide that map to the NAHC for inclusion in the Sacred Lands File. The City will consult with the qualified archaeologist and Kumeyaay Tribal Cultural Monitor while determining the location for burial of the resource.

With implementation of Mitigation Measures CUL-1 and CUL-2, the project will not cause a substantial adverse change in the significance of an archaeological resource as defined in CEQA Guidelines Section 15064.5. Therefore, impacts would be less than significant with mitigation incorporated.

c. Less Than Significant With Mitigation. There are no formal cemeteries or recorded burials in the vicinity of the project site. In the unlikely event that unknown human burials are encountered during project grading and construction, they would be handled in accordance with procedures of the Public Resources Code Section 5097.98, the California

Government Code Section 27491, and the Health and Safety Code Section 7050.5. These regulations detail specific procedures to follow in the event of a discovery of human remains. Compliance with these regulations would reduce impacts to a level less than significant. Implementation of Mitigation Measure CUL-3 would further reduce impacts to a level less than significant.

Mitigation Measures

CUL-3: Human Remains

If during grading or construction activities, human remains are encountered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the San Diego County (County) Coroner has made the necessary findings as to origin. Further, pursuant to California Public Resources Code Section 5097.98(b), remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the County Coroner determines the remains to be Native American, the NAHC shall be contacted within a reasonable time frame. Subsequently, the NAHC shall identify the most likely descendant. The most likely descendant shall then make recommendations and engage in consultations concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. This mitigation measure shall be incorporated into all construction contract documentation.

15.6 Energy

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources: Project Description, Energy Use Calculations prepared by RECON Environmental, Inc. (August 20, 2020, Appendix D), Air Quality Model Results (CalEEMod Output Files) prepared by RECON Environmental, Inc. (August 20, 2020, Appendix A), EMission FACTors (EMFAC) 2017 model, CARB OFF-ROAD Model, CARB Tier 3 In-Use Off-Road Diesel Engine Standards, California Green Building Standards Code (CALGreen) and the California Energy Code (Title 24, Part 6 of the California Code of Regulations).

a. Less Than Significant Impact.

Construction-Related Energy Use

During construction, energy use would occur in two general categories: fuel use from vehicles used by workers commuting to and from the construction site, and fuel use by vehicles and other equipment to conduct construction activities. The construction equipment and worker trips required for the project were determined as a part of the air quality and greenhouse gas (GHG) modeling prepared for the project (see Appendix A). Heavy-duty construction equipment is usually diesel powered.

Fuel consumption associated with on-road worker trips and delivery trips were calculated using the total trips and trip lengths calculated in the air quality and GHG modeling and EMFAC 2017 fuel consumption rates (see Appendix D). Fuel consumption associated with on-site construction equipment was calculated using the equipment quantities and phase lengths calculated in the air quality and GHG modeling and CARB OFF-ROAD model (see Appendix D). Off-site and on-site fuel consumption that would occur over the entire construction period is summarized in Tables 5 and 6, respectively.

Table 5			
Off-site Construction Vehicle Fuel Consumption			
Trip Type	Total Vehicle Miles Traveled	Total Fuel Consumption (gallons)	
		Gasoline	Diesel
PHASE I			
Workers	218,700	7,364	47
Deliveries	153	--	26
Total	218,853	7,364	73
PHASE II			
Workers	121,414	3,465	24
Deliveries	88	--	13
Total	121,502	3,465	37

Table 6					
On-site Construction Equipment Fuel Consumption					
Phase	Phase Length (days)	Equipment	Amount	Total Usage Hours	Total Diesel Fuel Consumption (gallons)
PHASE I					
Site Preparation	5	Rubber Tired Dozer	3	120	612
		Tractors/Loaders/Backhoes	4	160	330
Grading	10	Excavators	1	80	248
		Graders	1	80	317
		Rubber Tired Dozer	1	80	408
		Tractors/Loaders/Backhoes	3	240	733
Building Construction	358	Cranes	1	2,506	8,667
		Forklifts	3	8,592	8,778
		Generator Sets	1	2,864	10,217
		Tractors/Loaders/Backhoes	3	7,518	22,977
		Welders	1	2,864	3,403
Paving	16	Pavers	1	128	361
		Paving Equipment	2	192	471
		Rollers	2	192	335
		Cement and Mortar Mixers	2	192	56
		Tractors/Loaders/Backhoes	1	128	391

Table 6 On-site Construction Equipment Fuel Consumption					
Phase	Phase Length (days)	Equipment	Amount	Total Usage Hours	Total Diesel Fuel Consumption (gallons)
Architectural Coatings	179	Air Compressors	1	1,074	2,308
Total					60,612
PHASE II					
Site Preparation	5	Rubber Tired Dozer	1	35	179
		Tractors/Loaders/Backhoes	1	40	136
		Graders	1	40	158
Building Construction	364	Cranes	1	2,184	7,553
		Forklifts	1	2,184	2,231
		Generator Sets	1	2,912	10,389
		Tractors/Loaders/Backhoes	1	2,184	6,675
		Welders	3	8,736	10,379
Paving	18	Pavers	1	108	304
		Paving Equipment	1	144	353
		Rollers	1	126	220
		Cement and Mortar Mixers	1	108	31
		Tractors/Loaders/Backhoes	1	144	440
Architectural Coatings	182	Air Compressors	1	1,092	2,346
Total					41,394

Consistent with federal requirements, all equipment was assumed to meet CARB Tier 3 In-Use Off-Road Diesel Engine Standards. There are no known conditions in the project area that would require nonstandard equipment or construction practices that would increase fuel-energy consumption above typical rates. Therefore, the project would not result in the use of excessive amounts of fuel or other forms of energy during construction, and impacts would be less than significant during construction.

Operation-Related Energy Use

During operation, energy use would be associated with transportation-related fuel use (gasoline, diesel fuel, and electric vehicles), and building-related energy use (electricity and natural gas).

Transportation-Related Energy Use

Buildout of the project and vehicle trips associated with the storage and caretaker unit would result in transportation energy use. Trips by individuals traveling to and from the project site would result from use of passenger vehicles, RVs, and moving trucks. Vehicles would be mostly powered by gasoline, with some fueled by diesel or electricity. Based on trip generation calculations provided in Table 3 in Section 15.3a above, the project would generate 182 average daily trips (ADT) after completion of Phase I and 299 ADT after completion of Phase II. Vehicle emission factors and fleet mix were based on regional averages from the CARB EMFAC 2017 model. Based on regional data compiled by CARB as part of the EMFAC 2017 model, the average regional trip length for all trips in San Diego County will be 7.48 miles in 2022 and 7.22 miles in 2027 (CARB 2017). Total gasoline and diesel fuel consumption was calculated using EMFAC 2017 fuel consumption rates and fleet data for light duty autos. The results are summarized in Table 7.

Table 7 Vehicle Fuel/Electricity Consumption					
Fuel Type	Daily VMT	Fuel Efficiency (miles per gallon)	Gallons of Fuel per Day	Electric Efficiency (kWh per mile)*	Electric Vehicle kWh per day
PHASE I					
Gasoline	1,318	31.31	42	--	--
Diesel	16	46.63	<1	--	--
Electric	27	--	--	3.4	8
TOTAL	1,361		42		8
PHASE II					
Gasoline	2,056	35.94	57	--	--
Diesel	25	53.18	<1	--	--
Electric	78	--	--	3.4	23
TOTAL	2,159		58		23
kWh = kilowatt hour *EMFAC does not provide estimates for energy used by electric vehicles. This data was estimated using existing kWh/mile data and estimates of future electric vehicle efficiencies provided by the Federal Highway Administration.					

Project fuel consumption would decline over time beyond initial operational year of the project as a result of continued implementation of increased federal and state vehicle efficiency standards. There is no component of the project that would result in unusually high vehicle fuel use during operation. Therefore, operation of the project would not create a land use pattern that would result in wasteful, inefficient, or unnecessary use of energy, and impacts would be less than significant.

Non-Transportation-Related Energy Use

Non-transportation energy use would be associated with electricity and natural gas. The Renewables Portfolio Standard (RPS) promotes diversification of the state’s electricity supply and decreased reliance on fossil fuel energy sources. Originally adopted in 2002 with a goal to achieve a 20 percent renewable energy mix by 2020 (referred to as the “Initial RPS”), the goal has been accelerated and increased by Executive Orders (EOs) S-14-08 and S-21-09 to a goal of 33 percent by 2020. In April 2011, Senate Bill (SB) 2 (1X) codified California’s 33 percent RPS goal. In September 2015, the California Legislature passed SB 350, which increases California’s renewable energy mix goal to 50 percent by year 2030. SB 100 (2018) further increased the standard set by SB 350 establishing the RPS goal of 44 percent by the end of 2024, 52 percent by the end of 2027, and 60 percent by 2030, and requires all the state’s electricity come from carbon-free resources by 2045. Renewable energy includes (but is not limited to) wind, solar, geothermal, small hydroelectric, biomass, anaerobic digestion, and landfill gas. Once operational, the project would be served by San Diego Gas & Electric (SDG&E). Based on the most recent annual report, SDG&E has already procured 44 percent (CPUC 2019) renewable energy and is on track to procure 60 percent by 2030 as outlined in SDG&E’s 2019 RPS Procurement Plan.

The California Code of Regulations, Title 24, is referred to as the California Building Code. It consists of a compilation of several distinct standards and codes related to building construction, including plumbing, electrical, interior acoustics, energy efficiency, handicap

accessibility, and so on. Of particular relevance to GHG reductions are the California Building Code's (CBC) energy efficiency and green building standards as outlined below.

Title 24, Part 11 of the California Code of Regulations is CALGreen. Beginning in 2011, CALGreen instituted mandatory minimum environmental performance standards for all ground-up new construction of commercial and low-rise residential buildings, state-owned buildings, schools, and hospitals. It also includes voluntary tiers (I and II) with stricter environmental performance standards for these same categories of residential and non-residential buildings. Local jurisdictions must enforce the minimum mandatory requirements and may adopt CALGreen with amendments for stricter requirements.

The project would, at a minimum, be required to comply with the mandatory measures included in the current 2019 Energy Code (California Code of Regulations, Title 24, Part 6) and the 2019 CALGreen standards. The mandatory standards require the following:

- solar on single- and multi-family residential buildings;
- outdoor water use requirements as outlined in local water efficient landscaping ordinances or current Model Water Efficient Landscape Ordinance standards, whichever is more stringent;
- requirements for water conserving plumbing fixtures and fittings;
- 65 percent construction/demolition waste diverted from landfills;
- inspections of energy systems to ensure optimal working efficiency;
- low-pollutant emitting exterior and interior finish materials such as paints, carpets, vinyl flooring, and particle boards;
- dedicated circuitry to facilitate installation of electric vehicle charging stations in newly constructed attached garages for single-family and duplex dwellings; and
- installation of electric vehicle charging stations for at least three percent of the parking spaces for all new multi-family developments with 17 or more units.

Similar to the compliance reporting procedure for demonstrating Energy Code compliance in new buildings and major renovations, compliance with the CALGreen operational water reduction requirements must be demonstrated through completion of water use reporting forms for new low-rise residential and non-residential buildings. The water use compliance form must demonstrate a 20 percent reduction in indoor water use by either showing a 20 percent reduction in the overall baseline water use as identified in CALGreen or a reduced per-plumbing-fixture water use rate.

Electricity and natural gas service to the project site is provided by SDG&E. Once operational, the proposed residential units would use electricity and natural gas to run various appliances and equipment, including space and water heaters, air conditioners, ventilation equipment, lights, and numerous other devices. Generally, electricity use is

higher in the warmer months due to increased air conditioning needs, and natural gas use is highest when the weather is colder as a result of high heating demand. Residential uses would likely require the most energy use in the evening as people return from work. As a part of the air quality and GHG modeling prepared for the project (see Appendix A), CalEEMod was used to estimate the total operational electricity and natural gas consumption associated with the project. Table 8 summarizes the anticipated operational energy and natural gas use.

Table 8 Operational Electricity and Natural Gas Use	
	Total Use
Electricity	539,071 kWh/Year
Natural Gas	255,928 BTU/Year
kWh = kilowatt hour; BTU = British thermal units	

Buildout of the project would result in an increase of operational electricity and natural gas usage when compared to the existing condition. The project would be required to meet the mandatory energy requirements of 2019 CALGreen and the California Energy Code (Title 24, Part 6 of the California Code of Regulations) and would benefit from the efficiencies associated with these regulations as they relate to building heating, ventilating, and air conditioning mechanical systems, water-heating systems, and lighting. The project would include solar panels. Further, electricity would be provided to the project by SDG&E, which currently has an energy mix that includes 44 percent renewables and is on track to achieve 60 percent by 2030 as required by RPS. Therefore, there are no project features that would support the use of excessive amounts of energy or would create unnecessary energy waste, or conflict with any adopted plan for renewable energy efficiency, and impacts would be less than significant.

b. Less Than Significant Impact. The applicable state plans that address renewable energy and energy efficiency are CALGreen, the California Energy Code, and RPS. As discussed in Section 15.6.a above, the project would be required to meet the mandatory energy requirements of 2019 CALGreen and the 2019 California Energy Code. The project would not conflict with or obstruct implementation of CALGreen and the California Energy Code, or with SDG&E’s implementation of RPS. Impacts would be less than significant.

15.7 Geology and Soils

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:				
(i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
e. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Report of Preliminary Geotechnical Investigation Cottonwood Industrial Site prepared by Geotechnical Exploration, Inc. (July 10, 2014, Appendix E-1); Updated Geotechnical Investigation and Infiltration Testing prepared by Geotechnical Exploration, Inc. (March 28, 2018, Appendix E-2); Update and Grading Plan Review prepared by Geotechnical Exploration, Inc., August 19, 2019 (March 3, 2020, Appendix E-3).

a(i). Less than Significant Impact. The project site is not located within a State of California Alquist-Priolo fault zone and there are no known faults that traverse the project. Therefore, the risk from fault rupture is low, and impacts related to the exposure of people or structures to rupture of a known earthquake fault would be less than significant.

a(ii). Less than Significant Impact. The project site is located in the seismically active Southern California region. The nearest known active faults are the Rose Canyon and Coronado Bank fault zones located approximately 13 and 26 miles to the southwest, respectively. Additionally, the Elsinore and San Jacinto fault zones are located approximately 29 and 50 miles to the northeast, respectively (Appendix E-1). Therefore, the site could be affected by seismic activity associated with these faults. However, the project would adhere to the City’s grading guidelines and seismic design parameters of the 2019 CBC (Appendix E-3). Additionally, grading for the building pads would require removal and recompaction of all existing fill soils, or to a depth of three feet beneath the pad subgrade levels, whichever is deeper (Appendix E-2). These site preparation activities would remove any soils that would be seismically unstable. The project would also adhere to all other geotechnical recommendations provided in the Geotechnical Investigation and Updated Geotechnical Investigation related to seismic safety. Therefore, the project would not expose people or structures to strong seismic shaking, and impacts would be less than significant.

a(iii). Less than Significant Impact. Exploratory borings completed under the Geotechnical Investigation (Appendix E-1) and Updated Geotechnical Investigation (Appendix E-2) did not encounter any groundwater at the project site. Additionally, the project would remove and recompact all existing fill soils, or to a depth of three feet beneath the pad subgrade levels, whichever is deeper (Appendix E-2). These site preparation activities would remove any groundwater that was not previously identified, as well as any soils that would be seismically unstable. The project would also adhere to all other geotechnical

recommendations provided in the Geotechnical Investigation and Updated Geotechnical Investigation related to seismic safety, as well as the seismic design parameters of the 2019 CBC. Therefore, the project would not expose people or structures to adverse effects from seismic-related ground failure, including liquefaction, and impacts would be less than significant.

a(iv). Less than Significant Impact. The project site and surrounding area are relatively flat and do not possess any slopes that could generate a landslide. Therefore, the project would not expose people or structures to adverse effects related to landslides, and impacts would be less than significant.

b. Less than Significant Impact. Prior to construction, the project applicant shall prepare a site-specific stormwater pollution prevention plan (SWPPP) consistent with the State Water Resources Control Board (SWRCB) Construction General Permit as a condition of approval. The SWPPP shall describe BMPs to be used during construction to prevent discharge of sediment and other pollutants in storm water runoff from the project site. Typical construction BMPs include silt fencing, fiber rolls, and sweeping. Specific BMPs would be determined by the project contractor and engineer based on site-specific conditions. As part of the project, the contractor will monitor the construction BMPs, including conducting routine inspections of disturbed areas to ensure that the BMPs remain intact and effective. Adherence to these BMPs would ensure that the project would not result in substantial soil erosion or loss of topsoil, and impacts would be less than significant.

c. Less than Significant Impact. As described in Section 15.7.a(ii) above, the project would remove and recompact all existing fill soils, or to a depth of three feet beneath the pad subgrade levels, whichever is deeper. These site preparation activities would remove any soils that would be seismically unstable. The project would also adhere to all other geotechnical design recommendations provided in the Geotechnical Investigation and Updated Geotechnical Investigation related to seismic safety, as well as the seismic design parameters of the 2019 CBC. Therefore, the project would not be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and impacts would be less than significant.

d. Less than Significant Impact. As described in Section 15.7.a(ii) above, the project would remove and recompact all existing fill soils, or to a depth of three feet beneath the pad subgrade levels, whichever is deeper. These site preparation activities would remove any soils that would be seismically unstable. The project would also adhere to all other geotechnical design recommendations provided in the Geotechnical Investigation and Updated Geotechnical Investigation related to seismic safety, as well as the seismic design parameters of the 2019 CBC. Therefore, the project would not be located on expansive soil, and impacts would be less than significant.

e. No Impact. The project would connect to the Padre Dam Municipal Water District (PDMWD) sewer system and would not utilize a septic tank or alternative wastewater disposal system. No impact would occur.

f. Less than Significant Impact. The project site is located within the Coastal Plain Region of the Peninsular Range Province. The Geotechnical Investigation (Appendix E-1) and Updated Geotechnical Investigation (Appendix E-2) determined that the project site is underlain by fill soils and older alluvium soils. Review of the *County of San Diego, Guidelines for Determining Significance, Paleontological Resources* determined that fill soils and older alluvium soils have not been assigned moderate or high paleontological sensitivity rating. Consequently, it is unlikely that paleontological resources would be located beneath the project site. In the unlikely event that paleontological resources are discovered during construction, the resource would be transferred to the San Diego Natural History Museum or retained by the City and displayed to the public at an appropriate location such as a library or City Hall. Therefore, the project would not directly or indirectly destroy a unique paleontological resource or site or unique geologic feature, and impacts would be less than significant.

15.8 Greenhouse Gas Emissions

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources: Sources: Climate Change Scoping Plan (CARB 2008); CARB 2017 Scoping Plan Update; Sustainable Santee Plan Project Consistency Checklist, prepared by RECON Environmental, Inc. (July 10, 2020, Appendix F); and Sustainable Santee Plan (LSA 2020).

a. Less than Significant Impact.

The City adopted the Sustainable Santee Plan on January 8, 2020, which provides guidance for the reduction of GHG emissions within the city. The Sustainable Santee Plan provides policy direction and identifies actions the City and community will take to reduce GHG emissions consistent with State goals and targets. State GHG emissions reduction targets proposed and/or codified by EO S-3-05, AB 32, EO B-30-15, and SB 32 include achieving 1990 emission levels by 2020 (which the state has achieved); 40 percent below 1990 levels by 2030; and 80 percent below 1990 levels by 2050. The Sustainable Santee Plan would also work to achieve a per-capita GHG emission level by 2030 in conformance with SB 32 and the CARB 2017 Scoping Plan.

The Sustainable Santee Plan Project Consistency Checklist (Checklist) is intended to be a tool for development projects to demonstrate consistency with the Sustainable Santee Plan, which is a qualified GHG emissions reduction plan in accordance with CEQA Guidelines Section 15183.5. The Checklist has been developed as part of the Sustainable Santee Plan implementation and monitoring process and supports the achievement of individual GHG reduction measures as well as the City's overall GHG reduction goals. Additionally, the Checklist supports the City's sustainability goals and policies that encourage sustainable development and aim to conserve and reduce the consumption of resources, such as energy and water, among others. Projects that meet the requirements of the Checklist are considered consistent with the Sustainable Santee Plan and would have a less than significant contribution to cumulative GHG impacts (i.e., the project's incremental contribution to cumulative GHG effects is not cumulatively considerable), pursuant to CEQA Guidelines Sections 15064(h)(3), 15130(d), and 15183(b).

The project-specific Checklist is included in Appendix F. The project would be consistent with the existing General Plan and land use zoning designations, and therefore would be consistent with the land use assumptions used in the Sustainable Santee Plan. As demonstrated in the Checklist, the project would implement all applicable GHG reduction measures related to energy efficiency, solid waste, and clean energy required by the City's Sustainable Santee Plan. Specifically, the project would be consistent with the following goals:

- Increase Energy Efficiency (Goal 2 – New Residential Units, Goal 4 – New Commercial Units): The project, including the storage buildings and the residential caretaker unit, would implement all feasible and applicable CALGreen Tier 2 Building Standards. The CALGreen Checklist is provided in Appendix F. The CALGreen Tier 2 measures that would be implemented by the project are related to planning and design, energy efficiency, water efficiency and conservation, material conservation and resource efficiency, and environmental quality. Refer to the CALGreen Tier 2 Checklist in Appendix F for the detailed list of measures.
- Decrease Energy Demand through Reducing Urban Heat Island Effect (Goal 5): To achieve this goal, projects are required to utilize tree planting for shade and energy efficiency, and to use light-reflecting surfaces. The project landscape plan includes planting shade trees around the perimeter of the site. The tree species include strawberry tree, shoestring acacia, golden rain tree, Brisbane box, fern pine, coast live oak, and African sumac. Shade trees around the perimeter of the site would reduce on-site energy demand. Additionally, the project would reduce energy demand by constructing cool roofs.
- Electric Vehicles (Goal 7): The electric vehicle requirements outlined in Goal 7 of the Sustainable Santee Plan are not applicable to the project. However, the project would implement the electric vehicle measures required by CALGreen Tier 2. Refer to the CALGreen Checklist provided in Appendix F.

- Solid Waste (Goal 9): The project would reduce waste at landfills by providing on-site recycling storage per CALGreen Section 5.410. The project would also implement a construction waste management plan.
- Clean Energy (Goal 10): To achieve this goal, projects are required to install photovoltaic solar systems. The project would include rooftop solar panels.

Based on the project’s consistency with the City’s Sustainable Santee Plan demonstrated in the Checklist, the project’s contribution of GHGs to cumulative statewide emissions would be less than cumulatively considerable. Therefore, impacts associated with GHG emissions generated by the project would be less than significant.

b. Less than Significant Impact.

As described in Section 15.8(a) above, the project would be consistent with the existing General Plan and land use zoning designations, and therefore would be consistent with the land use assumptions used in the Sustainable Santee Plan. As demonstrated in the Checklist, the project would implement all applicable GHG reduction measures related to energy efficiency, solid waste, and clean energy required by the City’s Sustainable Santee Plan. Therefore, the project would not conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of GHGs, and impacts would be less than significant.

15.9 Hazards and Hazardous Materials

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Create a significant hazard to the public or the environment through routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources: Project Description, City of Santee General Plan–Safety Element; California Department of Toxic Substances Control–EnviroStor Database; State Water Resources Control Board–Geotracker Database; Gillespie Field Airport Land Use Compatibility Plan (ALUCP; Airport Land Use Commission 2010); Santee Municipal Code (Chapter 15.20.040); Santee Fire Department; Phase I Environmental Site Assessment (ESA) prepared by Partner Engineering and Science, Inc. (April 12, 2019; Appendix G); and Federal Aviation Administration Letter of Determination of No Hazard to Air Navigation (April 2, 2018; Appendix H-1).

a. Less than Significant Impact. Construction of the project would involve standard grading and construction activities that require temporary use of fuels and other hazardous materials. The use and handling of these materials during project construction would follow all applicable federal, state, and local regulations, including California Occupational Safety and Health Administration, California Department of Transportation (Caltrans), and the California Department of Environmental Health Hazardous Materials Division. Therefore, project construction would not create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials, and impacts would be less than significant.

The project is limited to a self-storage facility with a caretaker's unit that would not involve the routine transport, use, or disposal of significant hazardous materials. Operation of the project may involve the use of small amounts of solvents and cleaners that are not acutely hazardous. Such materials are ubiquitous and product labeling identifies appropriate handling and use of these materials. The self-storage facility would prohibit storage of hazardous materials. Therefore, operation of the project would not create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials, and impacts would be less than significant.

b. Less than Significant Impact. The project is limited to a self-storage facility with a caretaker's unit and would not include uses that would result in foreseeable upset and accident conditions from the release of hazardous materials into the environment. As described in Section 15.8.a above, operation of the project may involve the use of small amounts of solvents and cleaners that are not acutely hazardous. The project would be designed and constructed consistent with applicable safety regulations that would prevent the introduction of accident conditions, and the self-storage facility would prohibit storage of hazardous materials. Therefore, the project would not create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment, and impacts would be less than significant.

c. No Impact. The project site is not located within one-quarter mile of any schools. The nearest schools are Prospect Avenue School, located approximately 1.1 miles southwest of the project site, and Pepper Drive Elementary School, located approximately 1.2 miles southeast of the project site. The project would not result in hazardous emissions or include the handling of acutely hazardous materials, substances, or waste. No impact would occur.

d. Less than Significant Impact. The Phase I ESA completed for the project conducted a record search of standard federal, state, County, and City environmental record sources documenting known hazardous materials. The record search determined that the project site and all adjacent properties were not listed on any of these hazardous materials databases. Similarly, the record search did not identify the project site or adjacent properties as sites of concern. Additionally, site reconnaissance conducted in support of the Phase I ESA did not identify any recognized environmental conditions or environmental conditions on the project site. Site reconnaissance did not identify any evidence of hazardous substances, petroleum products, spills, stains, or other indications of a surficial release. Site reconnaissance did not identify any evidence of current or former aboveground or underground hazardous substance or petroleum product storage tanks, nor any polychlorinated biphenyls containing equipment. There are no permanent structures located on the project site except for a wooden electrical shed. Therefore, asbestos containing material is not an issue of concern. Should lead-based paint be present within the wooden electrical shed, the materials would be disposed of consistent with the requirements of the County of San Diego Department of Environmental Health Hazardous Materials Division. Therefore, the project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5, and impacts would be less than significant.

e. Less than Significant Impact. The Gillespie Field Airport is located approximately 0.3 mile south of the project site. The ALUCP for Gillespie Field Airport was adopted in January 2010 and amended in December 2010. The project site is located within Safety Zone 2 of the Gillespie Field ALUCP Safety Compatibility Policy Map (ALUCP Exhibit III-2). The Federal Aviation Administration conducted an aeronautical study that determined the project would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities (Appendix H-1). The project applicant would be required to file a Federal Aviation Administration Form 7460-2 Notice of Actual Construction or Alteration within 5 days after the construction reaches its greatest height.

Additionally, the San Diego County Regional Airport Authority (SDCRAA) determined that the project is conditionally consistent with the Gillespie Field ALUCP and issued an Airport Land Use Commission Consistency Determination (Appendix H-2). The SDCRAA stated that the proposed storage buildings would be located within Safety Zones 2 and 3, and the caretaker's living unit would be located within Safety Zone 2. The ALUCP identifies indoor and outdoor storage uses located within Safety Zones 2 and 3 as compatible with airport use. Although the ALUCP classifies residential uses as an incompatible within Safety Zone 2, the ALUCP considers a single residential unit as compatible if it is located on a legal lot of record and the residential use is permitted by local land use regulations. SDCRAA determined that the caretaker's living unit meets both requirements and determined that it would be compatible with Safety Zone 2. SDCRAA also determined that the caretaker residential unit is located outside the noise exposure contour, and the ALUCP identifies mini/other indoor and outdoor storage uses located within the 60 to 65 community noise equivalent level (CNEL) noise contour as compatible with airport uses (Appendix H-2). Therefore, the project would not result in a safety hazard or excessive noise for people residing or working in the project area, and impacts would be less than significant.

f. Less than Significant Impact. The project site is located in an existing developed area with access to major roadways that would allow for emergency evacuation. Consistent with comments provided by the Santee Fire Department, the project would construct a minimum 26-inch-wide, paved fire lane access roadway throughout the facility. Additionally, the fire lane access roadway would have a minimum inside turning radius of 28 inches and a minimum outside turning radius of 40 inches. Therefore, the project would not impair implementation of, or physically interfere with emergency response, and impacts would be less than significant.

g. Less than Significant Impact. Wildland fires present a significant threat in Santee, particularly in the summer months when temperatures are high and precipitation is limited. Areas in the city that are particularly susceptible to fires are designated as "very high hazard" or "high hazard" areas and are delineated on the Very High Fire Hazard Severity Zones for Local Responsibility Areas as recommended by the California Department of Forestry and Fire Protection. The project site is identified within an area considered a "non-very high fire hazard severity zone." Similarly, the project site is not located within a Wildland Urban Interface area. Additionally, the project would install fire prevention features consistent with comments provided by the Santee Fire Department, including an automatic fire sprinkler system. Therefore, the project would not expose people or structures

to a significant risk of loss, injury or death involving wildland fires, and impacts would be less than significant.

15.10 Hydrology and Water Quality

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or through the addition of impervious surfaces in a manner, which would:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. result in substantial erosion or siltation on- or off-site;	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii. substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site;	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii. create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv. impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
d. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources: Hydrology/Hydraulics Study, prepared by Excel Engineering (March 3, 2020; Appendix I); and Storm Water Quality Management Plan (SWQMP) for All Right Storage, Inc., prepared by Excel Engineering (March 4, 2020; Appendix J).

a. Less than Significant Impact. The project site is located in the San Diego Hydrologic Unit (907) and Lower San Diego River Watershed (907.12) (see Appendix I). The project site was previously configured as a mobile home park. The mobile homes have been removed, but the roads and drainage infrastructure remain. The existing drainage infrastructure includes a single ribbon gutter at the center of the road and two inlets reside on the easterly and westerly portions of the property. The topography of the project area is relatively flat with an average elevation of 350 feet above mean sea level. The existing drainage inlets are clogged, and runoff is conveyed overland to the westerly boundary of the property. The runoff then ponds and seeps through the wall joint and out to a curb and gutter within the neighboring property. The runoff then reaches Buena Vista Avenue, where it is then conveyed to the public storm drain system (see Appendix I). The public system conveys flows to the San Diego River, which ultimately outlets to the Pacific Ocean (Appendix J).

The project proposes to convey overland flow produced by storm runoff to inlets throughout the site that would convey storm water via an underground storm drain network to a storm storage tank that would treat the water with a Modular Wetland System. Runoff within the storage tank would then travel via gravity flow to a 12-inch storm drainpipe and outfall to the curb face near Buena Vista Avenue, and then flow to the public storm drain system. The overflow would be conveyed to the neighboring curb and gutter system, and ultimately to the same public storm drain system along Buena Vista Avenue utilized in the existing condition.

The San Diego River is listed as a 303(d) impaired water body that is polluted by benthic community effects, cadmium, nitrogen, phosphorus, total dissolved solids, and toxicity. The project would not adversely affect any beneficial uses of the San Diego River because the proposed Modular Wetland System would treat storm water on-site to ensure pollutants do not adversely affect receiving waters. Therefore, the project would not violate any water quality standards or waste discharge requirements, and impacts would be less than significant.

b. Less than Significant Impact. The project would obtain its water supply from the PDMWD and would not use groundwater supply for any purpose. Additionally, the proposed land uses would not be associated with activities known to degrade groundwater. The project would increase the amount of impermeable surfaces on-site from 1.96 acres to 2.81 acres. However, water would continue to infiltrate through 0.19 acre of the post-construction development footprint that would remain pervious. Furthermore, water would continue to infiltrate through undeveloped land throughout the groundwater basin. Therefore, the project would not substantially decrease groundwater supplies or interfere with groundwater recharge, and impacts would be less than significant.

c(i). Less than Significant Impact. Prior to construction, the project applicant shall prepare a site-specific SWPPP consistent with the SWRCB Construction General Permit as a condition of approval. The SWPPP shall describe BMPs to be used during construction to prevent discharge of sediment and other pollutants in storm water runoff from the project site. Typical construction BMPs include silt fencing, fiber rolls, and sweeping. Specific BMPs would be determined by the project contractor and engineer based on site-specific conditions. As part of the project, the contractor will monitor the construction BMPs, including conducting routine inspections of disturbed areas to ensure that the BMPs remain intact and effective. Adherence to these BMPs would ensure that project construction would not result in substantial soil erosion, and impacts would be less than significant.

As described in Section 15.10a above, the project would convey overland flow produced by storm runoff to inlets throughout the site that would convey storm water via an underground storm drain network to a storm storage tank that would treat the water with a Modular Wetland System. Runoff within the storage tank would then travel via gravity flow to a 12-inch storm drainpipe and outfall to the curb face near Buena Vista Avenue, and then flow to the public storm drain system.

Drainage in the existing condition generates approximately 7.40 cubic feet per second (cfs) of runoff during the peak flows during the 100-year storm event. Proposed drainage improvements described above would reduce peak flows during the 100-year storm event to 1.50 cfs. Therefore, the project would not substantially alter the drainage pattern of the site or the surrounding area in a manner that could result in substantial erosion, and impacts would be less than significant.

c(ii). Less than Significant Impact. As described in Section 15.10.c(i) above, the project would reduce peak flows during the 100-year storm event from 7.40 cfs to 1.50 cfs. Therefore, the project would not substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site, and impacts would be less than significant.

c(iii). Less than Significant Impact. As described in Section 15.10.c(i) above, the project would reduce peak flows during the 100-year storm event from 7.40 cfs to 1.50 cfs, and thereby reduce the amount of runoff being discharged into the existing storm water drainage system. As described in Section 15.10.a above, the proposed Modular Wetland System would treat storm water on-site to ensure pollutants do not adversely affect receiving waters. Therefore, project runoff would not exceed the capacity of storm water drainage systems and

would not provide substantial sources of polluted runoff, and impacts would be less than significant.

c(iv). Less than Significant Impact. Review of Figure 8-1 of the General Plan Safety Element determined that the project site is not located within the 100-year floodplain. As described in Section 15.10.c(i) above, the project would reduce peak flows during the 100-year storm event from 7.40 cfs to 1.50 cfs, and thereby reduce the potential for flooding. Therefore, the project would not impede or redirect flood flows, and impacts would be less than significant.

d. No Impact. Review of Figure 8-1 of the General Plan Safety Element determined that the project site is not located within the 100-year floodplain. The project site, along with the rest of the city, is located in the San Diego River valley. Reservoirs upstream of the project site include the San Vicente, El Capitan, and Lake Jennings. Review of Figure 8-2 of the General Plan Safety Element determined that project site is outside all these potential inundation areas. The project site is located approximately 17 miles inland from the Pacific Ocean, and therefore is not subject to risk associated with tsunamis. There are no rivers, reservoirs, ponds, or lakes near the project site, and therefore is not at risk from seiches. The project site is relatively flat and would not be subject to inundation by mudflow. There would be no risk from a seiche, as the site is not located near a large body of water, such as a lake. Therefore, the project would not risk the release of pollutants due to project inundation associated with flood hazards, tsunamis, or seiche zones. No impacts would occur.

e. Less than Significant Impact. As described in Section 15.10.c(i) above, the project applicant shall prepare a site-specific SWPPP that would document construction BMPs that would prevent discharge of sediment and other pollutants in storm water runoff from the project site. Operationally, the project would reduce peak flows during the 100-year storm event from 7.40 cfs to 1.50 cfs and would treat runoff with a Modular Wetland System. Therefore, the project would not generate substantial amounts of runoff that would conflict with or obstruct implementation of a water quality control plan, and impacts would be less than significant. As described in Section 15.10.b above, the increase in the amount of impermeable surfaces on-site from 1.96 acres to 2.81 acres would not substantially interfere with groundwater recharge. Water would continue to infiltrate through 0.19 acre of the post-construction development footprint that would remain pervious, and water would also continue to infiltrate through undeveloped land throughout the groundwater basin. Therefore, the project would not conflict with or obstruct a sustainable groundwater management plan, and impacts would be less than significant.

15.11 Land Use and Planning

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
b. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources: Project Description; City of Santee General Plan–Land Use Element.

a. No Impact. The project would construct a 148,458 sf self-storage facility on a 3.0-acre project site. The project site is located within an urbanized environment and is surrounded by single-family residences to the north, single-family residences and a commercial structure to the east, SR-52 to the south, and a business park consisting of commercial/industrial uses to the west. Residential uses are also located further west of the project site beyond the business park adjacent to the western property boundary, as well as further north across Buena Vista Avenue. The project would utilize the property’s existing vehicular access point onto Cottonwood Avenue just north of the underpass beneath SR-52. The proposed self-storage facility would be constructed entirely within the project site and would not affect any of the surrounding properties or land use pattern. Implementation of the project would not create any new land use barriers or otherwise divide or disrupt the physical arrangement of the surrounding established community. Therefore, the project would not physically divide an established community. No impact would occur.

b. Less than Significant Impact. The project site is zoned IL with an RB District Overlay. A Mini Storage/Public Storage requires a CUP in the IL zone and a recreational vehicle storage facility requires a MCUP in the IL zone. The caretaker’s residence is permitted as an ancillary use in the IL zone. Therefore, the project is subject to a CUP and the CUP would ensure that the project would be consistent with the existing general plan and zoning designations for the property. As described throughout this Draft Initial Study/Mitigated Negative Declaration, the project would mitigate all environmental impacts to a level less than significant. All impacts not requiring mitigation would be less than significant or would have no impact. As described in Section 15.8.a above, the project would be consistent with the Sustainable Santee Plan (see Appendix F). As described in Section 15.9.e above, the SDCRAA determined that the project is conditionally consistent with the Gillespie Field ALUCP and issued an Airport Land Use Commission Consistency Determination (see Appendix H-2). Therefore, the project would not result in a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect, and impacts would be less than significant.

15.12 Mineral Resources

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: City of Santee General Plan–Conservation Element.

a. No Impact. The Conservation Element of the General Plan documents that known mineral resources within Santee include sand, gravel, and crushed rock, which are collectively referred to as aggregate. These resources have been identified within the floodplain of the San Diego River. The project site is not located in the floodplain of the San Diego River and therefore has no known mineral resources. Additionally, the project site was previously developed as a single-family residence and then as a mobile home park that continued in this configuration until 2010. Furthermore, the project site is surrounded by commercial, commercial/industrial, residential, and roadway uses that would preclude the type of extraction operations typically associated with aggregate minerals (i.e., large-scale pits or quarries). Therefore, extraction of mineral resources is not a viable use of the site. No impact would occur.

b. No Impact. See response to 15.12.a. The project site is not delineated as a mineral resource recovery area on any land use plans. No impact would occur.

15.13 Noise

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
ordinance, or applicable standards of other agencies?				
b. Generation of excessive ground borne vibration or ground borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. For a project located within the vicinity of a private airstrip or an airport land use plan, or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources: City of Santee General Plan–Noise Element; Santee Municipal Code; Technical Noise Supplement (Caltrans 2013); Gillespie Field Airport Land Use Compatibility Plan (ALUC 2010); and Noise Analysis for the All Right Self-Storage Project prepared by RECON Environmental, Inc. (November 5, 2020; Appendix K).

a. Less than Significant Impact. Noise is defined as sound that is loud, unpleasant, unexpected, or undesired and, therefore, may cause general annoyance, interference with speech communication, sleep disturbance, and, in the extreme, hearing impairment. Decibels (dB) are the standard unit of measurement of the sound pressure generated by noise sources and are measured on a logarithmic scale that quantifies sound intensity in a manner similar to the Richter scale for earthquake magnitudes. A doubling of the energy of a noise source, such as doubling of traffic volume, would increase the noise level by 3 dB; a halving of the noise energy would result in a 3 dB decrease.

The human ear is not equally sensitive to all frequencies within the sound spectrum. To accommodate this phenomenon, the A-weighted scale, which approximates the frequency response of the average young ear when listening to most ordinary everyday sounds, was devised. Noise levels using A-weighted measurements are written as dB(A). It is widely accepted that the average healthy ear can barely perceive changes of 3 dB(A) (increase or decrease) and that a change of 5 dB(A) is readily perceptible. An increase of 10 dB(A) is perceived as twice as loud, and a decrease of 10 dB(A) is perceived as half as loud (Caltrans 2013).

The impact of noise is not a function of loudness alone. The time of day when noise occurs and the duration of the noise are also important. In addition, most noise that lasts for more than a few seconds is variable in its intensity. Consequently, a variety of noise descriptors has been developed. The noise descriptors used for this study are the equivalent noise level (L_{eq}), the maximum noise level, and the 24-hour day-night average noise level (L_{DN}).

The L_{eq} is the equivalent steady-state noise level in a stated period of time that is calculated by averaging the acoustic energy over a time period; when no period is specified, a 1-hour period is assumed. The maximum noise level is the highest sound level occurring during a specific period.

The L_{DN} is a 24-hour equivalent sound level. The L_{DN} calculation applies an additional 10 dB(A) penalty to noise occurring during the night, between 10:00 p.m. and 7:00 a.m. The increase for certain times is intended to account for the added sensitivity of humans to noise during the evening and night.

Construction Noise

Noise level limits for construction activities are established in Section 5.04.090 of the Santee Municipal Code. These limits state that a notice must be provided to all owners and occupants within 300 feet of the project site if the construction equipment has a manufacturer's noise rating of 85 dB and operates at a specific location for 10 consecutive workdays.

In addition, Section 5.04.090 of the Santee Municipal Code states that no construction equipment is permitted before 7:00 a.m. or after 7:00 p.m. on Mondays through Saturdays and all times on Sundays and holidays.

Construction noise would be generated by diesel engine-driven construction equipment used for site preparation and grading; loading, unloading, and placing materials; and paving. Diesel engine-driven trucks also would bring materials to the site and remove the spoils from excavation.

Construction equipment with a diesel engine typically generates maximum noise levels from 70 to 95 dB(A) L_{eq} at a distance of 50 feet (FHWA 2006). During excavation, grading, and paving operations, equipment moves to different locations and goes through varying load cycles, and there are breaks for the operators and for non-equipment tasks, such as measurement. Although maximum noise levels may be 70 to 95 dB(A) at a distance of 50 feet during most construction activities, hourly average noise levels would be less. For this analysis, the simultaneous operation of two large pieces of construction equipment, such as an excavator and a loader, was modeled. This equipment would generate an average hourly noise level of approximately 82 dB(A) L_{eq} at 50 feet from the center of construction activity.

Single-family residential properties are located at the eastern and northern project boundaries. Residential uses are also located further west of the project site beyond the business park adjacent to the western property boundary, as well as further north across Buena Vista Avenue. Noise associated with the grading, building, paving, and on-road delivery and hauling trips for the project would potentially result in short-term impacts to surrounding properties. As a part of the Noise Analysis prepared for the project, noise levels were modeled at a series of 16 receivers located at the adjacent uses. The results are summarized in Table 9. Modeled receiver locations and construction noise contours are shown in Figure 6.

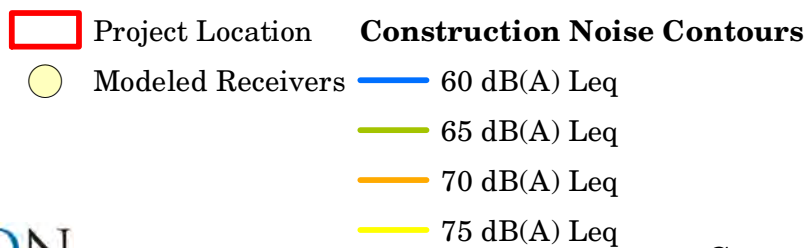


FIGURE 6
Construction Noise Contours

Receiver	Land Use	Construction Noise Level [dB(A) L_{eq}]
1	Residential	72
2	Residential	73
3	Residential	73
4	Residential	73
5	Residential	73
6	Residential	72
7	Residential	71
8	Residential	72
9	Residential	73
10	Residential	71
11	Residential	72
12	Residential	72
13	Residential	71
14	Industrial	72
15	Industrial	73
16	Industrial	73

Measured ambient noise levels on the project site ranged from 59.4 to 66.7 dB(A) L_{eq} . As shown in Table 9, construction noise levels are anticipated to range from 71 to 73 dB(A) L_{eq} at the adjacent land uses. Although the adjacent residences would be exposed to construction noise levels that could be heard above ambient conditions, the exposure would be temporary. In accordance with Santee Municipal Code Section 5.04.090, construction activities would not occur before 7:00 a.m. or after 7:00 p.m. on Mondays through Saturdays and would not occur any time on Sundays and holidays. Additionally, as required by the Municipal Code, a notice would be provided to all owners and occupants within 300 feet of the project site if the construction equipment has a manufacturer’s noise rating of 85 dB and operates at a specific location for 10 consecutive workdays. Although construction noise levels would exceed the existing ambient noise environment, construction noise impacts would be less than significant because construction activities would occur during the hours specified in the Santee Municipal Code and notice would be provided to nearby occupants. Therefore, project construction would not increase ambient noise levels in excess of standards established in the Santee Municipal Code, and impacts would be less than significant.

Off-site Traffic Noise

The City’s General Plan Noise Element provides noise compatibility guidelines and implementation strategies to reduce potential impacts. As specified in Section 8.1 of the Noise Element, noise impacts shall be considered significant if any of the following occur as a result of the project:

1. If, as a direct result of the proposed development, noise levels for any existing or planned development will exceed the noise levels considered compatible for that use as identified in Figure 7-3, Noise / Land Use Compatibility Guide.
2. If, as a direct result of the proposed development, noise levels which already exceed the levels considered compatible for that use are increased by 3 or more decibels.

Residential land uses are located in the vicinity of the project site. Based on the land use compatibility levels provided in Figure 7-3 of the Noise Element, residential land uses are considered normally acceptable with noise levels up to 65 CNEL. Thus, if noise levels already exceed 65 CNEL, a project-related noise increase of more than 3 dB would be considered significant. The Noise Element does not specify allowable noise level increases where existing noise levels are less than the compatibility standards. For the purposes of this analysis, the 3 dB threshold was also used to evaluate impacts where existing noise levels are less than 65 CNEL.

Existing ambient noise levels in the vicinity of the project are dominated by vehicle traffic on area roadways. Existing noise levels on the project site were measured on January 28, 2020. Measured ambient noise levels on the project site ranged from 59.4 to 66.7 dB(A) L_{eq} . Roadways in the vicinity of the project site include Cottonwood Avenue, Prospect Avenue Buena Vista Avenue, and Mission Gorge Road. The project would generate additional vehicle traffic on these area roadways. However, the project would not substantially alter the vehicle classifications mix on local or regional roadways, nor would the project alter the speed on an existing roadway or create a new roadway. Thus, the primary factor affecting off-site noise levels would be increased traffic volumes. Off-site traffic noise was modeled in the Noise Analysis prepared for the project. Existing (year 2020) traffic volumes were obtained from SANDAG traffic projections (SANDAG 2020). Project trip generation rates for Phase I and Phase II were calculated using SANDAG trip generation rates as well as a traffic study prepared for a similar facility with RV storage. As a worst-case analysis, total project traffic generated by each phase was added to the existing roadway volumes to determine the overall increase in noise due to traffic on each roadway. The results are summarized in Table 10.

Roadway Segment	Existing Noise Level	Existing + Buildout of Phase I		Existing + Buildout of Phase II	
		Noise Level	Increase Over Existing	Noise Level	Increase Over Existing
Cottonwood Avenue					
Prospect Avenue to Buena Vista Avenue	61	61	<1	61	<1
Buena Vista Avenue to Mission Gorge Road	52	53	1	54	2
Prospect Avenue					
West of Cottonwood Avenue	66	66	<1	66	<1
East of Cottonwood Avenue	64	64	<1	64	<1
Buena Vista Avenue					
West of Cottonwood Avenue	57	58	1	58	1
East of Cottonwood Avenue	59	60	1	60	1
Mission Gorge Road					
West of Cottonwood Avenue	69	69	<1	69	<1
East of Cottonwood Avenue	68	68	<1	68	<1

CNEL = Community Noise Equivalent Level
Source: Appendix K

As shown in Table 10, off-site noise level increases due to the project would be less than 3 dB, which would not be perceptible. Therefore, impacts associated with off-site generated traffic noise would be less than significant.

On-site Generated Noise

On-site generated noise is regulated by the City's Municipal Code, Title 5 Health and Safety, Chapter 5.04 Noise Abatement and Control. Section 5.04.040 of the Municipal Code states that "it is unlawful for any person to make, continue, or cause to be made or continued, within the limits of the City, any disturbing, excessive or offensive noise which causes discomfort or annoyance to reasonable persons of normal sensitivity residing in the area." Section 5.04.040 also provides the following requirements for heating, ventilation, and air conditioning (HVAC) units:

4. Heating and Air Conditioning Equipment and Generators.
 - a. It is unlawful for any person to operate or allow the operation of any generator, air conditioning, refrigeration or heating equipment in such manner as to create a noise disturbance on the premises of any other occupied property, or if a condominium, apartment house, duplex, or attached business, within any adjoining unit.
 - b. All generators, heating, air conditioning, or refrigeration equipment are subject to the setback and screening requirements in this code.

Section 5.04.130 provides the following limitations on loading and unloading operations:

- A. It is unlawful for any person to engage in loading, unloading, opening, idling of trucks, closing or other handling of boxes, crates, containers, building materials, garbage cans, dumpsters or similar objects between the hours of 10:00 p.m. and 7:00 a.m. in such a manner as to cause a noise disturbance within or adjacent to a residential district.

Section 5.04.160 provides the following limitations on sources of noise not otherwise addressed:

- A. Between 10:00 p.m. and 7:00 a.m., it is unlawful for any person to generate any noise on the public way that is louder than average conversational level at a distance of 50 feet or more, vertically or horizontally, from the source.
- B. Between 10:00 p.m. and 7:00 a.m., no person is permitted to generate any noise on any private open space that is louder than average conversational level at a distance of 50 feet or more, measured from the property line of the property from which the noise is being generated.

The noise sources on the project site after completion of construction are anticipated to be those that would be typical of any self-storage facility. Based on similar operational uses for self-storage facilities, on-site operational noise sources associated with the project are anticipated to be RVs, moving trucks (reverse signals) and HVAC units. As discussed, the project would be constructed in two phases. The operational noise sources associated with Phase I would include RVs, moving trucks, and HVAC units. The RV parking spaces would

be removed in Phase II, so the operational noise sources associated with Phase II would include moving trucks and HVAC units. Additionally, the project would include the construction of a six-foot masonry wall along the eastern and northern property lines. This wall was included in the noise modeling of operational sources. Property line noise levels due to these noise sources were modeled in the Noise Analysis prepared for the project. The project access hours would be 7:00 a.m. to 10:00 p.m. Monday through Friday, and 7:00 a.m. to 6:00 p.m. Saturday and Sunday. As a worst-case analysis, Phase I and Phase II noise sources were modeled during the daytime and nighttime hours. The results are summarized in Table 11. Phase I noise contours are shown in Figure 7, and Phase II noise contours are shown in Figure 8.

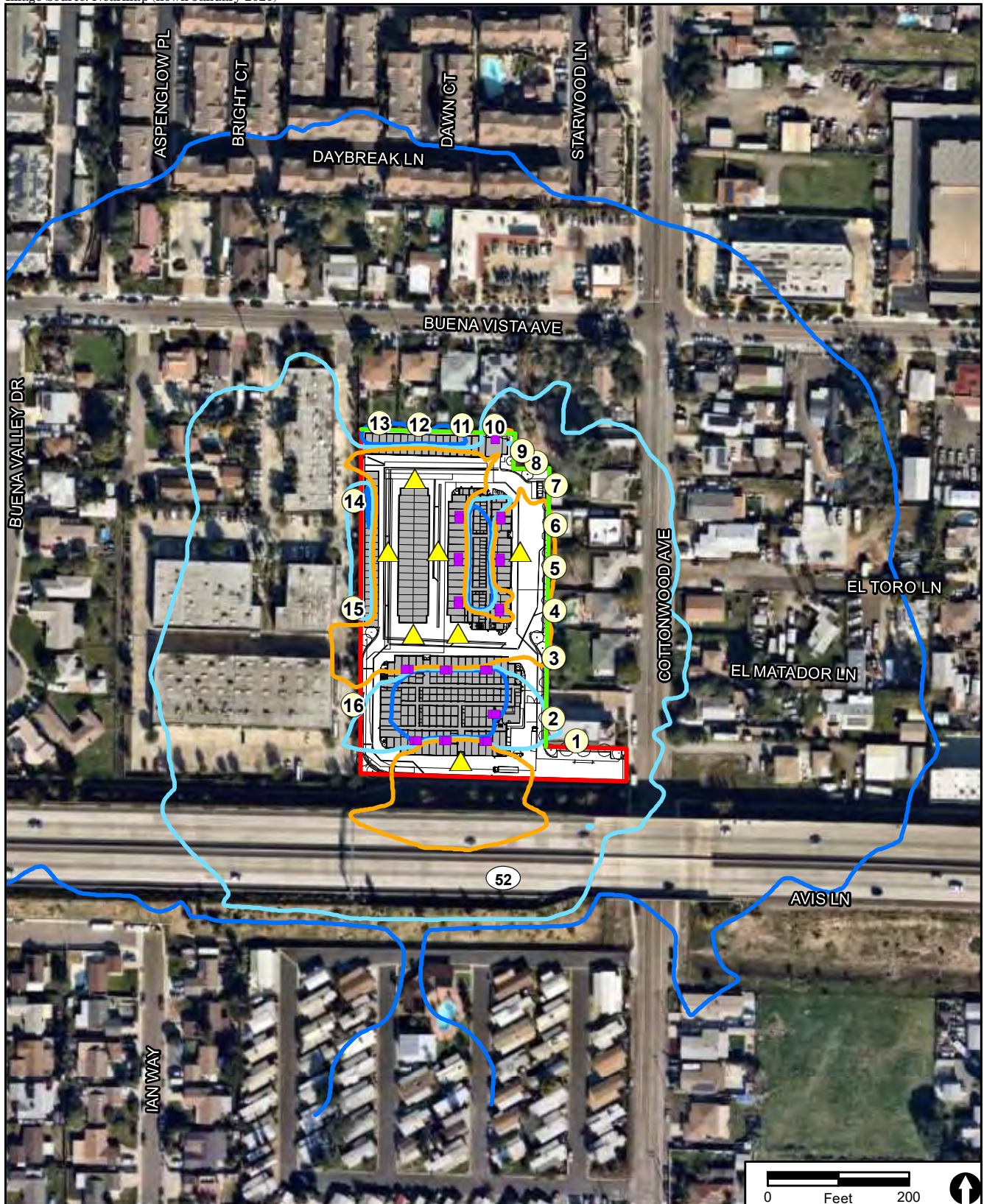
As shown in Table 11, Phase I noise levels are projected to range from 32 to 45 dB(A) L_{eq} at the adjacent residential uses, and 35 to 39 dB(A) L_{eq} at the adjacent industrial uses. Phase II noise levels are projected to range from 36 to 42 dB(A) L_{eq} at the adjacent residential uses, and 38 to 43 dB(A) L_{eq} at the adjacent industrial uses. The City’s Municipal Code does not specify property line noise level limits. Section 5.04.040 prohibits “any disturbing, excessive or offensive noise which causes discomfort or annoyance to reasonable persons of normal sensitivity residing in the area.” In other local jurisdictions, the most restrictive property line noise level limit for single-family residential uses is 45 dB(A) L_{eq} . As shown in Table 11, noise levels would not exceed 45 dB(A) L_{eq} at any property line during the daytime or nighttime hours.

Table 11 On-site Generated Noise Levels at Adjacent Property Lines			
Receiver	Land Use	Noise Level [dB(A) L_{eq}]	
		Phase I	Phase II
1	Residential	39	40
2	Residential	39	40
3	Residential	42	43
4	Residential	44	44
5	Residential	45	45
6	Residential	44	44
7	Residential	43	43
8	Residential	43	42
9	Residential	43	40
10	Residential	43	43
11	Residential	36	37
12	Residential	33	36
13	Residential	32	36
14	Industrial	35	38
15	Industrial	37	39
16	Industrial	39	43



- | | | |
|---------------------|-------------------|---------------------------------|
| Project Location | Modeled Receivers | On-Site Contours Phase I |
| Phase I Site Plan | HVAC | 35 dB(A) Leq |
| Buildings | Moving Trucks | 40 dB(A) Leq |
| 6-foot Masonry Wall | 45 dB(A) Leq | |

FIGURE 7
Phase I On-Site Noise Contours



- | | | |
|--|---|--|
| Project Location | Modeled Receivers | On-Site Contours Phase II |
| Phase II Site Plan | HVAC | 35 dB(A) Leq |
| Buildings | Moving Trucks | 40 dB(A) Leq |
| 6-foot Masonry Wall | | 45 dB(A) Leq |

FIGURE 8
Phase II On-Site Noise Contours

Additionally, the hourly noise levels shown in Table 11 are well less than the on-site measured noise levels which ranged from 59.4 to 66.7 dB(A) L_{eq} . Therefore, the property line noise levels generated by the project are not considered “disturbing, excessive or offensive.” The HVAC units would not create any noise disturbance. Additionally, in accordance with Section 5.04.130 of the Municipal Code, no on-site loading or unloading activities would occur between the hours of 10:00 p.m. and 7:00 a.m. Therefore, impacts associated with on-site generated noise would be less than significant.

b. Less than Significant Impact. Construction activities would have the potential to result in varying degrees of temporary ground vibration, depending on the specific construction equipment used and operations involved. Ground vibration generated by construction equipment spreads through the ground and diminishes in magnitude with increases in distance. The effects of ground vibration may be imperceptible at the lowest levels, low rumbling sounds and detectable vibrations at moderate levels, and damage to nearby structures at the highest levels. Vibration perception would occur at structures, as people do not perceive vibrations without vibrating structures.

Human reaction to vibration is dependent on the environment the receiver is in as well as individual sensitivity. For example, vibration outdoors is rarely noticeable and generally not considered annoying. Typically, humans must be inside a structure for vibrations to become noticeable and/or annoying. Based on several federal studies, the threshold of perception is 0.035 inch per second (in/sec) peak particle velocity (PPV), with 0.24 in/sec PPV being a distinctly perceptible (Caltrans 2013). Neither cosmetic nor structural damage of buildings occurs at levels below 0.1 in/sec PPV.

Project construction equipment used during site grading and excavation would have the greatest potential to generate vibrations that would affect nearby residential land uses. Construction equipment would include loaded trucks, an excavator, as well as a dozer or loader. Vibration levels from these pieces of equipment would generate vibration levels with a PPV ranging from 0.035 to 0.089 in/sec PPV at the nearest residence. This range of construction vibration levels would be below the distinctly perceptible threshold of 0.24 in/sec PPV and below the cosmetic and structural damage of buildings threshold of 0.1 in/sec PPV. Therefore, project construction would not generate excessive groundborne vibration or groundborne noise levels, and impacts would be less than significant.

c. Less than Significant Impact. The property is located within the Airport Influence Area, Review Area 1 of the Gillespie Field Airport. A majority of the project site is located outside the 60 CNEL noise contour for Gillespie Field Airport, and approximately 100 feet of the southern portion of the project site are located within the 60 CNEL noise contour. The caretaker’s unit would be located in the northern portion of the project site, outside of the 60 CNEL contour, and noise levels would not exceed the City’s normally acceptable compatibility level of 65 CNEL or the ALUCP’s compatible noise level limit of 60 CNEL for residential uses. Noise levels across the entire project site would not exceed the City’s standard of 75 CNEL for industrial uses or the ALUCP’s standard of 70 CNEL for storage uses. Furthermore, the SDCRAA determined that the project is conditionally consistent with the Gillespie Field ALUCP and issued an Airport Land Use Commission Consistency

Determination. SDCRAA determined that the caretaker residential unit is located outside the noise exposure contour, and the ALUCP identifies mini/other indoor and outdoor storage uses located within the 60 to 65 CNEL noise contour as compatible with airport uses (see Appendix H-2). Therefore, the project would not expose people to excessive noise levels from airport noise, and impacts would be less than significant.

15.14 Population and Housing

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Sources: Project Description; City of Santee General Plan–Land Use Element; and San Diego Association of Governments Data Surfer.

a. Less than Significant Impact. Per the SANDAG Series 13 growth forecast, the population within the City was estimated to be 59,497 in 2020 and is estimated to increase by 4,315 people to 63,812 in 2035. Consequently, the 1,130 sf caretaker’s living unit associated with the project would help accommodate anticipated population growth as projected by SANDAG. Furthermore, the project would not extend any existing roads or expand existing infrastructure facilities that could induce growth. Therefore, the project would not induce substantial population growth, either directly or indirectly, and impacts would be less than significant.

b. No Impact. The project site is vacant. Therefore, the project would not displace any existing people or housing. No impact would occur.

15.15 Public Services

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
(i) Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(ii) Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(iii) Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(iv) Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(v) Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources: City of Santee General Plan; City of Santee Fire Department; San Diego County Sheriff's Department; and Fire and Rescue Mutual Aid Operations (County of San Diego 2014).

a(i). Less than Significant Impact. The City operates two fire stations: one located at 8950 Cottonwood Avenue and the other at 9130 Carlton Oaks Drive. The City's Fire Department response time goal is to provide an average maximum initial response time of no more than six minutes, with an average maximum response time of no more than ten minutes for supporting paramedic transport units 90 percent of the time. The project would be consistent with the existing land use and zoning designations for the project site, and therefore would be consistent with the growth assumptions utilized in the City's fire protection planning. Furthermore, the project site is located approximately 0.5 roadway mile south of the fire station on Cottonwood Avenue, which would therefore be able to respond within the City's goal of six minutes. Based on a review of the project by the Santee Fire Department, existing fire services are available to serve the project and no new facilities would be needed. Therefore, the project would not result in the need for new or altered fire protection facilities, and impacts would be less than significant.

a(ii). Less than Significant Impact. Police protection for the project area is provided by the San Diego County Sheriff's Department under contractual agreement with the City and operating out of the Santee Substation at 8811 Cuyamaca Street. The average priority call response time for general law enforcement within the city is 8.2 minutes and the average for

traffic law enforcement is 7.5 minutes. Appropriate staffing levels for law enforcement personnel are evaluated at every contract renewal. The project would be consistent with the existing land use and zoning designations for the project site. Consequently, the project would be consistent with growth projections that were utilized to forecast future police protection within the City. Therefore, the project would not result in the need for new or altered police facilities, and impacts would be less than significant.

a(iii). No Impact. The project would introduce one residential use consisting of a 1,130 sf caretaker’s living unit that would be consistent with the existing Light Industrial (IL) district. Consequently, the project would be consistent with growth projections that were utilized to forecast future demand for school services. Pursuant to Government Code Section 65995 et seq., the project proponent would be required to pay applicable school fees before a construction permit is issued. No impact would occur. Therefore, the project would not result in the need for new or altered school facilities, and impacts would be less than significant.

a(iv). Less than Significant Impact. The project would introduce one residential use consisting of a 1,130 sf caretaker’s living unit that would be consistent with the existing Light Industrial (IL) district. Consequently, the project would be consistent with growth projections that were utilized to forecast future park demand within the City. Furthermore, the project would pay park-in-lieu fees that would fund City public park facilities based on this forecasted future park demand. Therefore, the project would not result in the need for new or altered park facilities, and impacts would be less than significant.

a(v). Less Than Significant Impact. The County Library operates a Santee Branch at 9225 Carlton Hills Boulevard, Suite 17. The project would introduce one residential use consisting of a 1,130 sf caretaker’s living unit that would be consistent with the existing Light Industrial (IL) district. Consequently, the project would be consistent with growth projections that were utilized to forecast future library demand within the City. Therefore, the project would not result in the need for new or altered library facilities, and impacts would be less than significant.

15.16 Recreation

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
b. Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Description.

a. Less than Significant Impact. The project would introduce one residential use consisting of a 1,130 sf caretaker’s living unit that would be consistent with the existing Light Industrial (IL) district. Consequently, the project would be consistent with growth projections that were utilized to forecast future park demand within the City. Furthermore, the project would pay park-in-lieu fees that would fund City public park facilities based on this forecasted future park demand. Therefore, the project would not result in a substantial increase in the use of parks that would accelerate their physical deterioration, and impacts would be less than significant.

b. No Impact. The project does not include the provision of recreational facilities or require the construction or expansion of recreational facilities. No impact would occur.

15.17 Transportation/Traffic

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Conflict with a program plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Conflict or be inconsistent with CEQA Guidelines Section 15064.3, subdivision (b)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources: City of Santee General Plan–Mobility Element; SANTEC/Institute of Transportation Engineers (ITE) Guidelines for Traffic Impact Studies in the San Diego Region; and ITE Guidelines for Traffic Impact Studies in the San Diego Region.

a. Less than Significant Impact. Access to the project site would be provided via Cottonwood Avenue just north of the underpass beneath SR-52. The City uses the 2000 *SANTEC/ITE Guidelines for Traffic Impact Studies in the San Diego Region* (SANTEC/ITE Guidelines) to evaluate potential impacts related to traffic. Per the SANTEC/ITE Guidelines, projects that would generate less than 1,000 ADT or less than 100 peak-hour trips, and would generate less than 20 peak-hour trips on any existing on- or off-ramp, do not require preparation of a TIS. As shown in Table 3 in Section 15.3a above, the proposed storage facility and caretaker’s unit would generate an additional 299 ADT, including 19 AM and 28 PM peak hour trips during ultimate buildout in Phase 2. Due to the project’s distance from existing on- or off-ramp, and that the storage facility would likely serve residents many residents within Santee who would not need to travel to the site via freeway, it is anticipated that the project would generate fewer than 20 peak-hour trips on any existing on- or off-ramp. Consequently, preparation of a TIS was not required, and it is expected that Cottonwood Avenue would operate at an acceptable level of service. Therefore, operation of the project would not conflict with a program plan, ordinance or policy addressing the performance of the roadway circulation system, and impacts would be less than significant.

Project construction activities would temporarily contribute additional vehicle trips on the local circulation system. However, it is anticipated that temporary construction trips would be fewer than 299 operational trips per day that were evaluated above and determined to be less than significant. Therefore, construction traffic volumes generated by the project would not conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, and impacts would be less than significant.

The nearest bus stops are located along Magnolia Avenue approximately 0.5 mile east of the project site. The nearest transit stop is the Santee Trolley Square located approximately 0.6 mile northwest of the project. Implementation of the project would not include any off-site improvements that would impact any of these facilities. Review of Figure 7-2 of the General Plan Mobility Element determined that a Class II Bike Lane is proposed along Cottonwood Avenue. However, the project would not result in any changes to Cottonwood Avenue that could affect future development of this Class II Bike Lane. Therefore, operation of the project would not conflict with a program plan, ordinance or policy addressing the performance of active transportation, and impacts would be less than significant.

b. Less than Significant Impact. The 2019 *ITE Guidelines for Traffic Impact Studies in the San Diego Region* (ITE Guidelines) provides guidance regarding the evaluation of impacts related to Vehicle Miles Traveled (VMT). The ITE Guidelines state that projects that are consistent with the existing designation and generate less than 1,000 ADT can be presumed to have a less than significant impact related to VMT. As shown in Table 3 in Section 15.3a above, the proposed storage facility and caretaker’s unit would generate an additional 299 ADT, including 19 AM and 28 PM peak hour trips during ultimate buildout in Phase 2.

Furthermore, the project would be consistent with the existing Light Industrial (IL) zoning designation. Therefore, preparation of a Vehicle Miles Traveled Analysis per CEQA Guidelines Section 15064.3, subdivision (b) was not required, and impacts would be less than significant.

c. Less than Significant Impact. The project would not result in changes to the existing traffic patterns or roadway design along Cottonwood Avenue. Therefore, the project would not increase hazards associated with any new design feature or create an incompatible use, and impacts would be less than significant.

d. Less than Significant Impact. The project has been reviewed by the City’s Fire Chief and determined to be consistent with all policies of that department. No impediments to emergency access were identified. Therefore, impacts would be less than significant.

15.18 Tribal Cultural Resources

Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:				
i. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
ii. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source(s): Archaeological Survey for the All Right Self-Storage Project prepared by RECON Environmental, Inc. (July 8, 2020; Appendix C).

a.i. No Impact

Tribal cultural resources are sites, features, places, cultural landscapes, sacred places, and objects with cultural value to a California Native American tribe that are either included or determined to be eligible for inclusion in the California Register of Historical Resources or included in a local register of historical resources as defined in subdivision (k) of Public Resources Code Section 5020.1. The Native American Heritage Commission (NAHC) was notified of the project on February 5, 2020 and the appropriate local tribes were notified of the project on August 27, 2020. On February 21, 2020, the NAHC indicated that results of a record search of the NAHC Sacred Lands File (SLF) were positive. As requested, the City contacted the KCRC and notified 13 Native American tribes that were provided by the NAHC to inform them of the proposed project and to request additional information of cultural resources on the project site or in the area. The City did not receive responses regarding cultural resources present on the project site or near the site. However, the City received a response from the San Pasqual Band of Mission Indians requesting a Kumeyaay monitor present during grading activities.

The City initiated consultation with Native American Tribes pursuant to Public Resources Code Section 21080.3.1 consistent, with AB 52. The City sent a notification letter on August 27, 2020 to the Barona Band of Mission Indians, the Jamul Indian Village, the Mesa Grande Band of Mission Indians, and the Kumeyaay Heritage Preservation Council traditionally and culturally affiliated with the geographic area of the project inviting them to consult regarding potential impacts to tribal cultural resources. The City received a consultation request from the Jamul Indian Village which resulted in Jamul Indian Village requesting a Kumeyaay approved tribal cultural monitor and requesting that the Kumeyaay approved cultural

monitor and the cultural monitor evaluate discovered cultural resources together. These requests are included in Mitigation Measures CUL-1 and CUL-2.

As described in Section 15.5.a above, there are no known historic or cultural resources located on the project site. Therefore, the project would not cause a substantial adverse change in the significance of a tribal cultural resource listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k). No impact would occur.

a.ii. Less Than Significant With Mitigation

As discussed in Section 15.5.b and 15.5.c above, project construction would have the potential to encounter unknown buried archaeological deposits and human remains that would be considered a significant impact. Implementation of Mitigation Measures CUL-1 through CUL-3 would ensure that any unknown cultural or tribal cultural resources or human remains discovered during project-related ground disturbing activities would be properly identified and protected over the long-term. Through consultation with the City, the Jamul Indian Village concurred that implementation of Mitigation Measures CUL-1 through CUL-3 would satisfactorily reduce impacts on unknown tribal cultural resources to a level less than significant.

Mitigation Measures

Implement Mitigation Measures CUL-1 to CUL-3.

15.19 Utilities and Service Systems

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry, and multiple dry years?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
c. Result in a determination by the wastewater treatment provided which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Sources: City of Santee, General Plan, Conservation Element; Public Service Availability Forms from the Padre Dam Municipal Water District, (December 3, 2019, Appendix L); Santee Municipal Code; Project Site Plan; County of San Diego Countywide Five-Year Review Report of the Countywide Integrated Waste Management Plan (September 2012); Hydrology/Hydraulics Study, prepared by Excel Engineering (March 3, 2020; Appendix I); and Padre Dam Municipal Water District website (<http://www.padredam.org/>).

a. Less than Significant Impact. Public Facility Availability Forms have been completed documenting that PDMWD has adequate water and sewer capacity available to serve the project (Appendix L). Existing water and sewer facilities are available adjacent to the site, and improvements would be limited to extension of pipelines onto the project site. Consequently, potential impacts associated with these water and wastewater connections have been evaluated throughout this Draft IS/MND. Therefore, the project would not require relocation or construction of new or expanded water or wastewater treatment facilities that would cause significant environmental effects, and impacts would be less than significant.

As discussed in Section 15.10.a and 15.10.c(i) above, the project would introduce a storm drain network and Modular Wetland System that would reduce peak runoff flows compared to existing condition (see Appendix I). These storm water facilities would be located within the project footprint. Consequently, potential impacts associated with construction of these storm water facilities have been evaluated throughout this Draft IS/MND. Therefore, the project would not require relocation or construction of new or expanded storm water drainage facilities, and impacts would be less than significant.

The project would be consistent with the existing land use and zoning designations. Consequently, the project would not consume additional electric power, natural gas, or

telecommunication services beyond what has been anticipated by regional growth projections. Existing energy and telecommunication facilities are available adjacent to the site, and improvements would be limited to extensions onto the project site. Consequently, potential impacts associated with these energy and telecommunication connections have been evaluated throughout this Draft IS/MND. Therefore, the project would not require relocation or construction of new or expanded electric power, natural gas, or telecommunication services facilities, and impacts would be less than significant.

b. Less than Significant Impact. A Public Facility Availability Form has been completed documenting that PDMWD has adequate water supplies available to serve the project (see Appendix L). Therefore, impacts would be less than significant.

c. Less than Significant Impact. A Public Facility Availability Form has been completed documenting that PDMWD has adequate wastewater treatment capacity to serve the project (see Appendix L). Therefore, impacts would be less than significant.

d. Less than Significant Impact. City Municipal Code Section 13.38.060 requires that a minimum of 65 percent by weight of construction and demolition debris be diverted from landfills through recycling, reuse, and diversion programs. The project would develop a construction and demolition debris management plan demonstrating how the project would comply with the City Municipal Code diversion requirements prior to issuance of a building or demolition permit.

Solid waste generated during operation of the project that cannot be recycled would be sent to area landfills. Based on the Five-Year Review Report of the County Integrated Waste Management Plan for the County of San Diego, remaining capacity at area landfills would be adequate to handle the project's solid waste disposal needs. Most solid waste collected in the City is disposed of at the Sycamore Sanitary Landfill, which has remaining capacity through the year 2054. Other landfills that handle waste from San Diego and Santee include the Miramar Landfill and the Otay Landfill, which have remaining capacity. Therefore, the project would be served by landfill(s) with sufficient permitted capacity, and impacts would be less than significant.

e. Less than Significant Impact. The project would comply with the City's construction and demolition recycling ordinance (Santee Municipal Code Section 13.38.060) and Solid Waste Ordinance #3239-A, which are consistent with state solid waste and recycling regulations requiring a minimum of 65 percent of the project's construction and demolition be diverted from the landfills. Therefore, the proposed would comply with applicable management and reduction statutes and regulations related to solid waste, and impacts would be less than significant.

15.20 Wildfire

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Substantially impair an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines, or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

a. Less than Significant Impact. As described in Section 15.9.f above, the project site is located in an existing developed area with access to major roadways that would allow for emergency evacuation. Consistent with comments provided by the Santee Fire Department, the project would construct a minimum 26-inch wide, paved fire lane access roadway throughout the facility. Additionally, the fire lane access roadway would have a minimum inside turning radius of 28 inches and a minimum outside turning radius of 40 inches. Therefore, the project would not impair implementation of, or physically interfere with emergency response and impacts would be less than significant.

b. Less than Significant Impact. As described in Section 15.9.g, the project site is identified within an area considered a “non-very high fire hazard severity zone” and is not located within a Wildland Urban Interface area. The project is located in a generally flat area and is surrounded by existing development on all sides. Therefore, there are no

characteristics of the surrounding environment that would exacerbate wildfire risks, and impacts would be less than significant.

c. Less than Significant Impact. As described in Section 15.19.a, above, the project would not require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities. Additionally, the project would not require construction or maintenance of any other infrastructure facilities. Therefore, the project would not require the installation or maintenance of associated infrastructure that may exacerbate fire risk, and impacts would be less than significant.

d. No Impact. As described in Section 15.9.g above, the project site is not within the 100-year floodplain, and is located outside the potential inundation areas delineated on Figure 8-2 of the General Plan Safety Element. Furthermore, the project site is located in a generally flat area and surrounded by existing development on all sides. Therefore, the project would not expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes. No impacts would occur.

15.21 Mandatory Findings of Significance

Does the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
a. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Issue	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
b. Have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable futures projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a. Less than Significant with Mitigation. As described in Section 15.4.a above, implementation of mitigation measure BIO-1 would reduce indirect impacts to nesting raptors and direct impacts to other nesting migratory birds to a level less than significant. The project does not have the potential to result in any other impacts that would substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory. As described in Section 15.5.a above, the project would not impact any historical resources. As described in Section 15.5.b above, implementation of mitigation measures Implementation of Mitigation Measures CUL-1 and CUL-2 would reduce potential impacts on unknown archaeological resources to a level less than significant. As described in Section 15.5.c above, implementation of Mitigation Measure CUL-3 would further reduce impacts related to human remains to a level less than significant.

b. Less than Significant Impact. In addition to evaluation of potential project-specific effects, this evaluation considered the project’s potential for incremental effects that may be cumulatively considerable when viewed in connection with the effects of past, current, or probable future projects in the area. Cumulative projects in the project area are shown in Table 12.

Table 12 Cumulative Project List			
Project	Location	Description	Status
Fanita Ranch	Northern edge of City	Master Plan Residential Community (approx. 2,949 residences)	Approved
RiverView	RiverView Parkway	128-detached condominium units	Under Construction
Walker Trails	Magnolia Ave., north of State Route 52 and west of State Route 67	Specific Plan Amendment for 83 residences at the RCP Block & Brick site.	Under Construction
Slope Street Estates	South side of Slope Street	11 single-family units	Application Under Review
Gas Station/Car Wash	Mission Gorge Road and West Hills Parkway	New gas station with renovated convenience market	Approved
Parkside	Eastern Terminus of Mast Boulevard	128 condominium units	Application under review
Caribbean project	East side of Caribbean Way	42 condominium units	Under Construction
Tyler Street Subdivision	Southern terminus of Tyler Street	14 single-family units	Application under review
Gas Station	Cuyamaca Street and Prospect Avenue	New gas station, convenience market and car wash	Approved
Coffee shop and mini-market	Graves Avenue and Prospect Avenue	New coffee shop and mini market	Approved
Palm Tree Homes	Prospect Avenue and Our Way	4 single-family detached homes	Application Under Review
Pinnacle Peak	Mission Gorge Road	113 condominium units	Under Construction
Lantern Crest III	Graves Avenue	113 congregate care units	Under Construction
Carlton Oaks Country Club	Inwood Drive	232 condominium units, 53 single-family residences, assisted living, hotel, and restaurant expansion	Application Under Review
Palazzo Villas	West side of Olive Lane	8 condominium units	Approved
Atlas View	Atlas View and Prospect Avenue	11 condominium units	Application Under Review
Prospect Estates II	North of Prospect Avenue, east of Marrokal Lane --	38 attached condominiums and 15 single-family residences --	Approved
D'Lazio	Fanita Drive	20 condominium units	Under Construction
Woodside Terrace	Woodside Terrace	4 single-family units	Under Construction
E Heaney Circle	Carlton Oaks	10 townhomes	Approved
Mission Greens	Buena Vista Drive and Mission Greens	40 condominium units	Under Construction
Robinson Lane	Robinson Lane near Caribbean Drive	10 condominium units	Under Construction
SOURCE: City of Santee, Department of Development Services			

As discussed in this Initial Study, all impacts would be mitigated to a level less than significant. Air quality is a regional issue and the cumulative study area for air quality impacts encompasses the SDAB as a whole. Therefore, the cumulative analysis addresses regional air quality plans and policies, such as the RAQS, as well as the project’s contribution to a net increase of any criteria pollutant for which the SDAB is listed as a non-attainment area. As described in Section 15.3.a, the project would not be significantly different from the growth projections of the General Plan, and would not result in an increase in emissions that are already accounted for in the RAQS. As described in Section 15.4.a, implementation of mitigation measures BIO-1 would reduce indirect impacts to nesting raptors and direct

impacts to other nesting migratory birds to a level less than significant consistent with the requirements of the Natural Community Conservation Plan (NCCP). Projects that comply with the NCCP would not result in a significant cumulative impact for biological resources. Cumulative projects listed in Table 12 would also be required to comply with the NCCP and mitigate for impacts to biological resources as necessary. As described in Section 15.5.b above, implementation of mitigation measures CUL-1 and CUL-2 would reduce impacts on unknown archaeological resources to a level less than significant. As described in Section 15.5.c above, implementation of Mitigation Measure CUL-3 would further reduce impacts related to human remains to a level less than significant. Climate change is, by its nature, a cumulative issue. As described in Section 15.8.b, the project would not conflict with the applicable plans developed to reduce GHG emissions at the regional level. As described in Section 15.13.a, potential impacts associated with noise would be mitigated to a level less than significant. Due to the varied schedules and for construction of cumulative projects listed in Table 12, it is unlikely construction activities would overlap, thereby avoiding significant cumulative noise impacts on sensitive receptors. All other project impacts were determined to be less than significant, and due to the limited scope of the project would result in cumulatively considerable impacts.

c. Less than Significant Impact. As discussed throughout this document, no hazardous conditions on the project site or in the surrounding area were identified that could adversely affect human beings. It is not anticipated that demolition or construction activities would create conditions that would significantly directly or indirectly impact human beings. Development of the project site would comply with all State and City regulations that would ensure the building is safe and designed to protect future occupants. The project would not result in any substantial adverse effects on human beings directly or indirectly.

16.0 Mitigation, Monitoring, and Reporting Program

Section 21081.6 of the CEQA Guidelines requires that a Mitigation, Monitoring, and Reporting Program (MMRP) be adopted upon certification of an Environmental Impact Report or adoption of a Mitigated Negative Declaration to ensure that the mitigation measures are implemented. The MMRP specifies the mitigation for the project, when in the process it should be accomplished, and the entity responsible for implementing and/or monitoring the mitigation. Public Resources Code Section 21081.6 requires monitoring of only those impacts identified as significant or potentially significant. After analysis, potentially significant impacts requiring mitigation were identified for biological resources, cultural resources, geology and soils, and noise. The MMRP is presented below in Table 13.

Table 13 Mitigation, Monitoring, and Reporting Program			
Mitigation Measure	Timing of Verification	Responsible for Verification	Status/Date/Initials
Biological Resources			
<p>BIO-1: Nesting Migratory Birds and Raptors</p> <p>To remain in compliance with the CFGC Section 3503, no direct impacts shall occur to any nesting birds or their eggs, chicks, or nests during the typical raptor and migratory bird breeding season (i.e., February 1–September 15). If project grading/brush management is proposed during the bird breeding season, the project biologist shall conduct a pre-grading survey for active nests in the development area and the gum trees and western sycamore tree adjacent to it. If active nests are detected, mitigation in conformance with applicable state and federal law (i.e., appropriate follow-up surveys, monitoring schedules, construction, and/or noise barriers/buffers, etc.) may be required. If no nesting birds are detected, no mitigation would be required.</p> <p>To avoid potential direct impacts to nesting migratory birds and indirect impacts to nesting raptors protected by CFGC Sections 3503 and 3503.3, respectively, it is recommended that vegetation removal, grading, or other heavy construction activity within the project area, which may support nesting migratory birds or occur adjacent to trees supporting raptor nests, be conducted between September 16 and January 31, to avoid the avian breeding season. If such construction activities must be conducted during the breeding season, a nesting bird survey of the project area and the adjacent gum trees and western sycamore should be conducted by a qualified biologist prior to the activities to determine if any migratory bird or raptor nests are present. If an active migratory bird or raptor nest is discovered, a buffer should be established around the nest to ensure that indirect impacts do not occur. The required buffer is typically 500 feet for raptors or 300 feet for nesting migratory birds, though it may be reduced if construction is conducted with a biological monitor present to observe any disturbance to nesting activity. No construction activity may occur within this buffer area until a biologist determines that the fledglings are independent of the nest or that no disturbance due to construction activities is observed. Indirect impacts, such as noise impacts, may cause the abandonment of an active nest.</p>	<p>Prior to Construction</p>	<p>City/ Qualified Biologist</p>	

Table 13 Mitigation, Monitoring, and Reporting Program			
Mitigation Measure	Timing of Verification	Responsible for Verification	Status/Date/Initials
Cultural Resources			
<p>CUL-1: Archaeological Monitoring If during grading or construction activities, unanticipated cultural resources are discovered on the project site, work shall be halted immediately within 50 feet of the discovery and the resources shall be evaluated by both a qualified archaeologist and a Kumeyaay Tribal Cultural Monitor to determine whether it is either a historic resource or unique cultural resource. Any unanticipated cultural resources that are discovered shall be evaluated and a final report prepared by the qualified archaeologist. The report shall include a list of the resources discovered, documentation of each site/locality, and interpretation of the resources identified, and the method of preservation and/or recovery for identified resources. If the qualified archaeologist and Kumeyaay Tribal Cultural Monitor determine the cultural resources to be either historic resources or unique archaeological resources, avoidance and/or mitigation will be required pursuant to and consistent with CEQA Guidelines Section 15064.5(c) and Public Resources Code Section 21083.2. This mitigation measure shall be incorporated into all construction contract documentation.</p>	During Construction	City/ Qualified Archaeologist	
<p>CUL-2: Tribal Cultural Monitoring A Kumeyaay Tribal Cultural Monitor shall be present for all ground disturbing activities associated with the project. Should any cultural or tribal cultural resources be discovered, no further grading shall occur in the area of the discovery until the Director of Development Services, or designee, is satisfied that treatment of the resource has occurred. In the event that a unique archaeological resource or tribal cultural resource is discovered, and in accordance with Public Resources Code Section 21083.2(b)(1), (2), and (4), the resource shall be moved and buried in an open space area of the project site, such as slope areas, which will not be subject to further grading activity, erosion, flooding, or any other ground disturbance that has the potential to expose the resource. The on-site area to which the resource is moved shall be protected in perpetuity as permanent open space. No identification of the resource shall be made on-site; however, the project applicant shall plot the new location of the resource on a map showing latitudinal and longitudinal coordinates and provide that map to the NAHC for inclusion in</p>	During Construction	City/ Qualified Archaeologist	

Table 13 Mitigation, Monitoring, and Reporting Program			
Mitigation Measure	Timing of Verification	Responsible for Verification	Status/Date/Initials
the Sacred Lands File. The City will consult with the qualified archaeologist and Kumeyaay Tribal Cultural Monitor while determining the location for burial of the resource.			
<p>CUL-3: Human Remains If during grading or construction activities, human remains are encountered, California Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to California Public Resources Code Section 5097.98(b), remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the County Coroner determines the remains to be Native American, the NAHC shall be contacted within a reasonable time frame. Subsequently, the NAHC shall identify the most likely descendant. The most likely descendant shall then make recommendations and engage in consultations concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. This mitigation measure shall be incorporated into all construction contract documentation.</p>	During Construction	City/ Qualified Archaeologist	

17.0 Checklist References

1. Project documents—including all plans, documents, departmental comments and information contained in the files for the All Right Self-Storage Project CUP2019-05/AEIS2019-10.
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4. CAPCOA, California Emissions Estimator Model Version 2016.3.1, 2017.
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6. CARB, 2005 Air Quality and Land Use Handbook: A Community Health Perspective. April 2005.
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10. California Department of Transportation, Technical Noise Supplement, November 2013.
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12. City of Santee Community Services Department.
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22. California Department of Conservation California Important Farmland Finder. Accessed on January 31, 2020 at <https://maps.conservation.ca.gov/dlrp/ciff/>.
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26. LOS Engineering, Inc. Transportation Access Analysis for the Sun Ridge Vista RV/Mini Storage Facility. City of San Diego PTS 534380. Fifth Revision. February 2019.
27. LSA. Initial Study for the Sustainable Santee Plan. Prepared for City of Santee, August 2017.
28. Nationwide Environmental Title Research LLC. Historic Aerials. February 2020. Accessed at <http://www.historicaerials.com/>.
29. Office of Environmental Health Hazard Assessment (OEHHA) Air Toxics Hot Spots Program Guidance Manual for the Preparation of Risk Assessments (Guidance Manual), February 2015.
30. San Diego Air Pollution Control District (SDAPCD) Resolution Adopting Amended Rule 20.1 – New Source Review – General Provisions; Rule 20.2 – New Source Review – Non-Major Stationary Sources; Rule 20.3 – New Source Review – Major Stationary Sources And Prevention of Significant Deterioration (PSD) Stationary Sources; Rule 20.4 – New Source Review – Portable Emission Units; and Rule 20.6 – Standards for Permit to Operate Air Quality Analysis, of Regulation II of the Rules and Regulations of the San Diego Air Pollution Control District. Resolution Number 16-041, April 2016.
31. San Diego Association of Governments (SANDAG). (Not So) Brief Guide of Vehicular Traffic Generation Rates for the San Diego Region. April 2002.
32. SANDAG. Transportation Forecast Information Center. Series 13 Year 2020 Forecast, February 2020. Accessed at <http://tfic.sandag.org>.
33. SANDAG Data Surfer, Series 13 Forecast, January 31, 2020. Accessed at http://datasurfer.sandag.org/download/sandag_forecast_13_jurisdiction_santee.pdf on

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APPENDICES
(Under Separate Cover)

**Initial Study/Environmental Checklist Form
for the All Right Self-Storage Project
Santee, California**

CUP2019-05/AEIS2019-10

Letters of Comment and Responses

The following letters of comment were received from agencies, organizations, and individuals during the public review period (January 22, 2021 to February 22, 2021) of the Draft IS/MND. A copy of each comment letter along with corresponding staff responses is included here. Some of the comments did not address the adequacy of the environmental document; however, staff has attempted to provide appropriate responses to all comments as a courtesy to the commenter. The comments received did not affect the conclusions of the document, and no changes to the text of the Draft IS/MND were required.

Letter	Author	Page Number
A	California Department of Transportation	RTC-2
B	Edward Campbell	RTC-3

Letter A

STATE OF CALIFORNIA—CALIFORNIA STATE TRANSPORTATION AGENCY

Govin Newsom, Governor

DEPARTMENT OF TRANSPORTATION

DISTRICT 11
4050 TAYLOR STREET, MS-240
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PHONE (619) 688-8075
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*Making Conservation
a California Way of Life*

Governor's Office of Planning & Research

Feb 19 2021

STATE CLEARINGHOUSE

11-SD-52
PM 16:14

All Right Self Storage, Santee
MND/SCH #2021010248

February 19, 2021

Ms. Christina Rios
Associate Planner
City of Santee
Department of Development Services
10601 Magnolia Avenue
Santee, CA 92071-1266

Dear Ms. Rios:

A-1 Thank you for including the California Department of Transportation (Caltrans) in the environmental review of the Mitigated Negative Declaration (MND), State Clearinghouse (SCH) # 2021010248 for the proposed All Right Self Storage project at 8703 Cottonwood Avenue near State Route 52 (SR-52) in Santee. The mission of Caltrans is to provide a safe, sustainable, integrated and efficient transportation system to enhance California's economy and livability. The Local Development-Intergovernmental Review (LD-IGR) Program reviews land use projects and plans to ensure consistency with Caltrans' mission and state planning priorities.

Caltrans has the following comments:

Right-of-Way

- A-2 1. The existing fence is not the R/W. Caltrans often has offsets from the fence line to the actual Caltrans R/W.
- A-3 2. If there are gaps between the existing chain link fence and any future wall on private property, weeds and trash tend to collect in this area. There may need to be a discussion on maintaining this area in the future if any such wall is built.

Creating a safe, sustainable, and efficient transportation system to enhance California's economy and livability.

A-1 This comment is informational in nature and does not raise a significant environmental issue for which a response is required.

A-2 The applicant acknowledges that the existing fence along the southern project boundary is not represented as the actual Caltrans Right-of-Way. A boundary survey has been prepared for this project to show the location of the actual record property lines.

A-3 The applicant acknowledges that if a gap is created by the future southern property wall or fence, maintenance of this area would be the responsibility of the property owner and/or the site's property manager of the storage facility.

Ms. Christina Rios
February 19, 2021
Page 2

- A-4 3. The construction of any wall (including footings) needs to be completely within the proposed project's property. There is no additional setback within the property being developed, unless an easement is in place.
- A-5 4. Any work performed within Caltrans R/W will require discretionary review and approval by Caltrans. An encroachment permit from Caltrans will be required for any work within the Caltrans R/W prior to construction.

Additional information regarding encroachment permits may be obtained by contacting the Caltrans Permits Office at (619) 688-6158 or by visiting the website at <https://dot.ca.gov/programs/traffic-operations/ep/ep-manual>. Early coordination with Caltrans is strongly advised for all encroachment permits.

- A-6 If you have any questions, please contact Mark McCumsey, of the Caltrans Development Review Branch, at (619) 985-4957 or by e-mail sent to mark.mccumsey@dot.ca.gov.

Sincerely,

electronically signed by

MAURICE EATON, Branch Chief
Local Development and Intergovernmental Review Branch

"Provide a safe, sustainable, integrated and efficient transportation system to enhance California's economy and livability"

A-4 The applicant acknowledges that any wall or fence construction along the southern property line must be constructed on the subject property only, including footings.

A-5 The applicant acknowledges that an encroachment permit would be required as a separate review and approval process by Caltrans if any work is performed within the Caltrans Right-of-Way. The applicant is also in receipt of the e-mail correspondence from Mark McCumsey, Associate Transportation Planner, dated February 24, 2021, which stated that an encroachment permit would be required for the project. The applicant acknowledges this requirement and would submit a copy of the project construction drawings to Caltrans to process an encroachment permit, which would be necessary to construct the American with Disabilities Act/driveway ramp approach into the site.

A-6 Conclusory remarks.

Letter B

2/19/21

B-1 Regarding the old trailer park property located at 8708 Cottonwood Ave [Assessor's Parcel Number 384-370-25-00]

My property located at 8730 Cottonwood ave , adjoins the 8708 property .

When the trailer park was built , the raised asphalt of the trailer park formed an island , that rain water flowed around . The asphalt lot itself was slopped , so that water did not flow off the property , but slopped into the park to underground drains .

This whole part of Santee drains to the northwest .

The properties on the West side of Cottonwood Ave , from Highway 52 north to Buena Vista have always drained west , to the back of the lots & then north along the old fence & raised asphalt of the old trailer park .

During construction of Highway 52 , Caltrans used the old trailer park to store materials . During the process of stacking & storing materials against the fence . They damaged the fence & behind one house , knocked the fence completely down .

For a number of reasons , Caltrans tore down , what was left of the old fence & installed a new one , approximately 18 inches east of the old fence , that lined up with our next door neighbor's 5 ft block wall around his lot .

It saved Caltrans building a large section of fence , which I think was one of the reasons the new fence was moved East .

Caltrans said the fence was on our property now , so it was our fence & it was up to us to maintain it . As far as I know every body was fine with losing 18 inches off their back yard , but we had a new fence . Because our properties are lower than the old trailer park asphalt & the new fence , there was now an 8 to 12 inch or better step down from the park's asphalt to the new fence & what used to be the back part of our yards . It now looked like a ditch from the old trailer park's side of the fence .

But it was still OK , because the rainwater could still drain west across our lots , under or around the new fence & continue north along the parks asphalt , north toward Buena Vesta Ave , like it has since the park was built .

But over a year ago , All Right Storage brought in fill dirt , with building materials mixed in , to fill up the ditch that was formed between the old trailer park's asphalt lot & the new fence . There by changing the natural flow of rainwater . Now instead of a ditch to handle rainwater runoff , we have a dam that backs up rainwater , back into our yard until it gets deep enough to flow over the dam & across the trailer park's sloped asphalt lot & then into the parks drains

Last year , during a long hard rain , 25% of our back yard was flooded . With the help of 2 ladders , my wife climbed over the fence & tried to clean out the ditch where our property drains , so that water would drain out of our yard . I told her it was a waste of time , because she would have to clean out at least 100 ft of ditch , before the water level in our yard would drop .

I found out who had bought the property & filled in the drainage ditch . I called & told the owner [I believe] about the problem caused by his company filling in the drainage ditch .

Never heard back & the drainage ditch is still full except for the little area that my wife dug out trying to help our flooded lot drain .

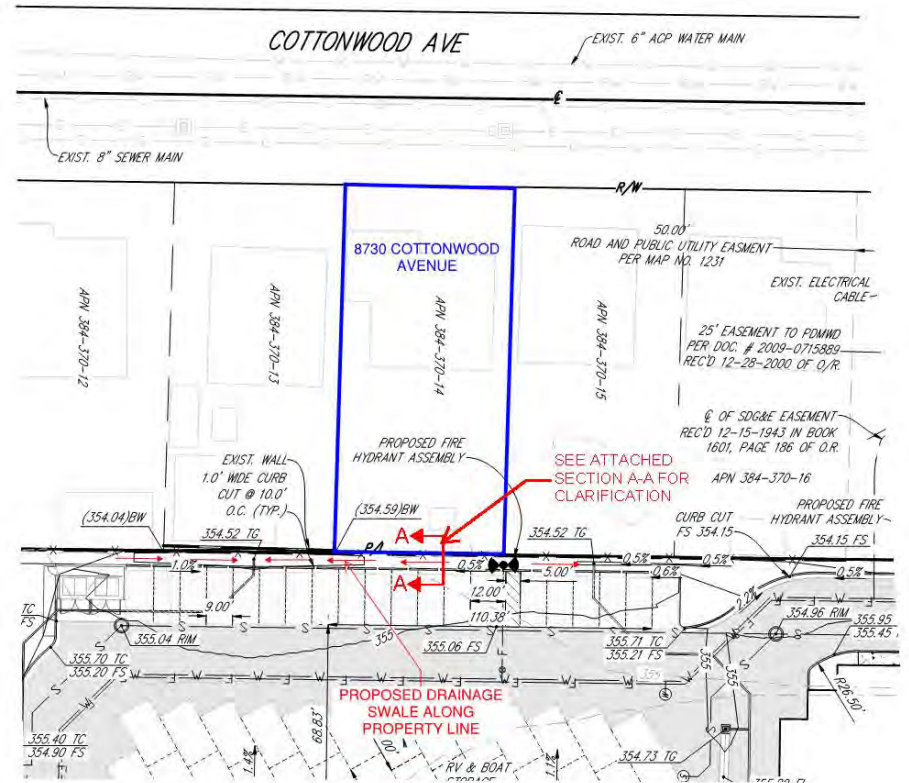
Pictures 1 & 2 are of our backyard , rain water has to pool higher than bottom of blue tape to drain out of our yard , since All Right Storage filled in drainage ditch .

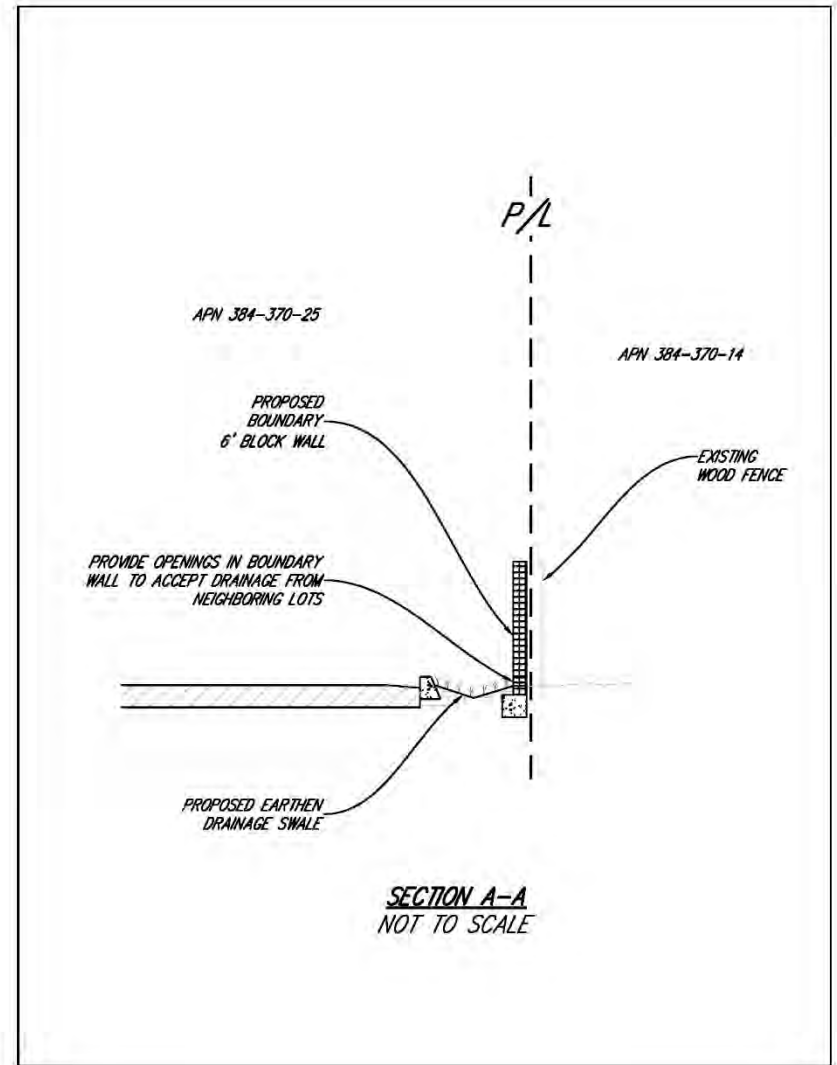
Pictures 3 through 6 are of the filled in drainage ditched .

Edward C Campbell

B-1 The applicant, who is the current property owner of the project site, has reviewed this comment letter and has stated that they never directed anyone to fill or place materials on the subject property, and were not aware of the existing drainage ditch that had been filled in adjacent to Mr. Campbell's fence.

The project's new site layout and design would construct a new drainage swale along the easterly property line, directly adjacent to Mr. Campbell's fence. Please see the site plan drawing below for the location of this new drainage swale. The proposed boundary wall or fence would provide openings for the flow of the stormwater from the neighboring property to the new drainage swale. Please see the see the site plan drawing and Section A-A below for more detail. Prior to grading permit issuance, the applicant is required to provide a drainage study with a design that will adequately convey storm water runoff without damage or flooding of surrounding properties.





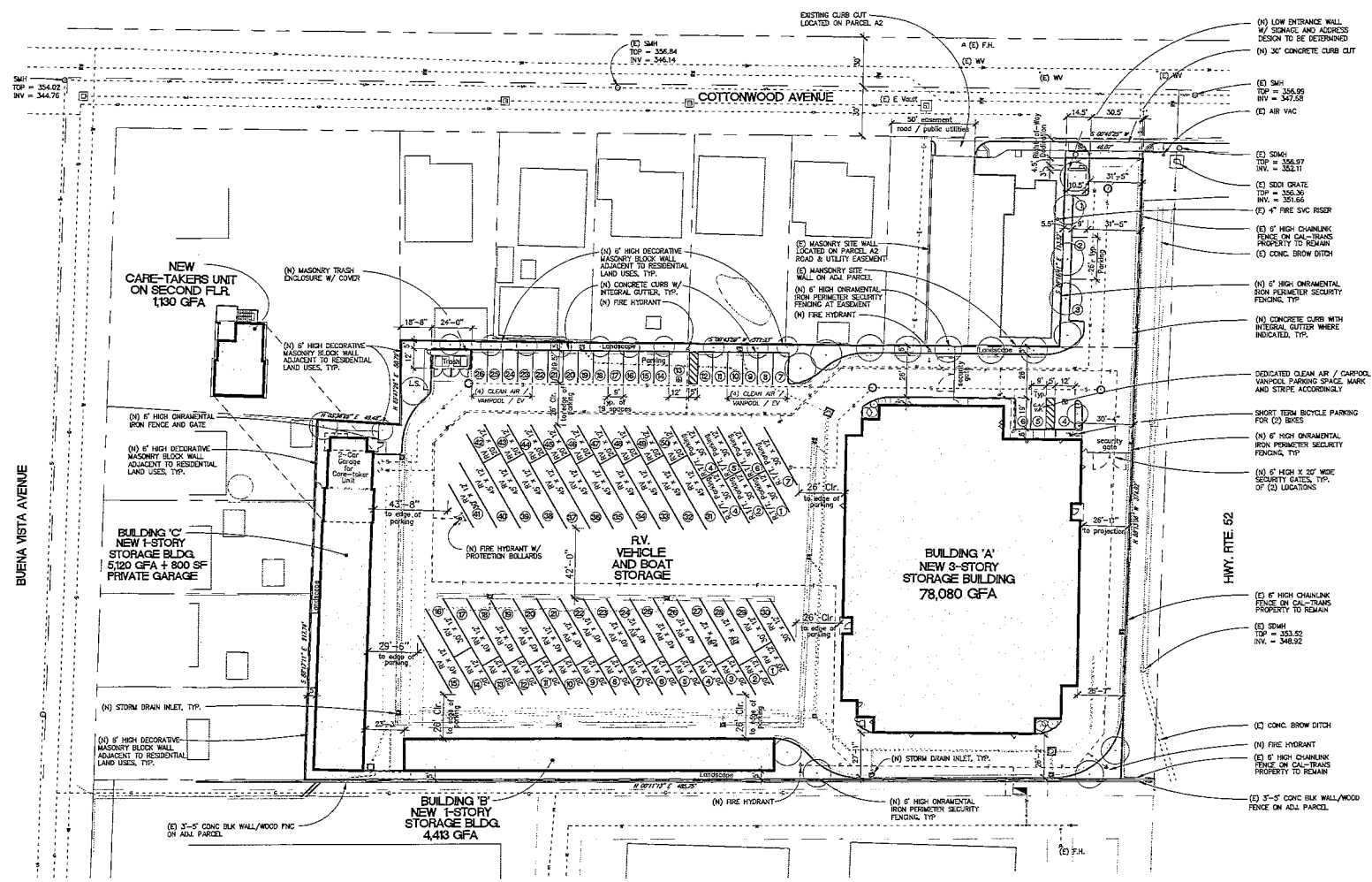




DATE: 09-24-2018
 DRAWING: CTH0102303PH
 REVISION:
 09-16-2019
 07-10-2020

DATE: 09-24-2018
 DRAWING: CTH0102303PH
 REVISION:
 09-16-2019
 07-10-2020

PROPOSED SITE
 PLAN: PHASE I
A1
 2 OF 26



ALRIGHT SELF-STORAGE
 8708 COTTONWOOD AVENUE
PROPOSED SITE PLAN - PHASE I

0" 5" 15" 30" 60" 1" = 30'-0"

SITE LEGEND

- DRAINWAY, ISLAND AND PLANTER CURBS AS NOTED ON THE SITE PLAN
- PARCEL PROPERTY LINE
- ▭ NEW STRUCTURE AS NOTED
- LANDSCAPE OR L.S.
- LANDSCAPED AREAS - SEE ATTACHED LANDSCAPE PLANS
- ⊠ DISABLED PARKING SPACE, LOCATION WITH ACCESS ASILE
- NUMBER OF PARKING STALLS IN ROW OR AREA
- RECREATIONAL VEHICLE STORAGE PARKING (FOR RENT)
- RV/RVTR Parking
- RENTAL TRUCK / TRAILER DEDICATED PARKING
- ACCESSIBLE ROUTE OF TRAVEL FROM DISABLED PARKING SPACE OR PARCEL RIGHT OF WAY TO PRIMARY ENTRANCE OF NEW BUILDING

GENERAL SITE AND UTILITY NOTES:

1. SEE CIVIL PLANS FOR EASEMENTS ON THIS SITE.
2. THERE IS NO BUS (TRANSIT) STOP ADJACENT TO PROPERTY.
3. ADDRESS NUMBERS SHALL BE PLACED NEAR THE HOUSING OF ALL STRUCTURES VISIBLE FROM THE FIRE LANES OR STREET. NUMBERS SHALL BE BLOCK STYLE, 15 INCHES IN HEIGHT, BLACK IN COLOR, OR IN CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ILLUMINATED FOR NIGHTTIME VISIBILITY.

TYPE II-B, SPR
 S1 OCCUPANCY GROUP



ALL RIGHT STORAGE
 8708 COTTONWOOD AVENUE
CONDITIONAL USE PERMIT
 SHEET 2 OF 26

REVISION 5	.....
REVISION 4	.....
REVISION 3	.....
REVISION 2	.....
REVISION 1	July 10, 2020

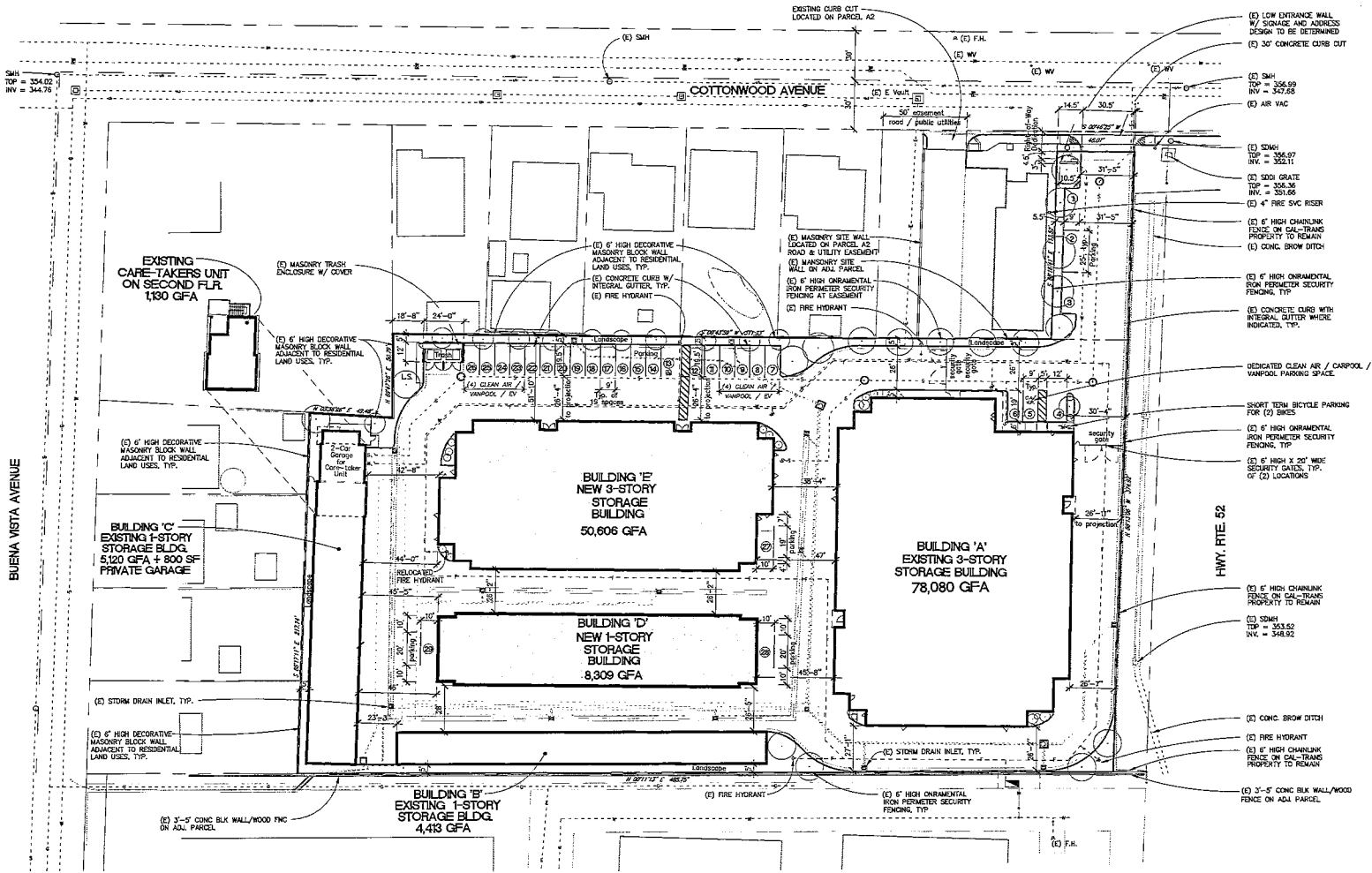
SUBMITTAL DATE: September 16, 2019



DATE: 09-24-2018
 DRAWING: CTRNO/PSDUP28
 REVISIONS:
 09-16-2018
 09-16-2018

PROPOSED SITE PLAN: PHASE II

A2
 3 OF 26



ALRIGHT SELF-STORAGE
 8708 COTTONWOOD AVENUE
 PROPOSED SITE PLAN - PHASE II

0' 5' 15' 30' 60'

SITE LEGEND

- DRIVEWAY, ISLAND AND PLANTER CURBS AS NOTED ON THE SITE PLAN
- PARCEL PROPERTY LINE
- NEW STRUCTURE AS NOTED (PHASE 2)
- EXISTING STRUCTURE FROM PHASE I
- DISABLED PARKING SPACE LOCATION WITH ACCESS ANGLE
- NUMBER OF PARKING STALLS IN ROW OR AREA
- ACCESSIBLE ROUTE OF TRAVEL FROM DISABLED PARKING SPACE OR PUBLIC RIGHT OF WAY TO PRIMARY ENTRANCE OF NEW BUILDING
- LANDSCAPE OR L.S. LANDSCAPED AREAS - SEE ATTACHED LANDSCAPE PLANS

GENERAL SITE AND UTILITY NOTES

1. SEE CIVIL PLANS FOR EASEMENTS ON THIS SITE.
2. THERE IS NO BUS (TRANSIT) STOP ADJACENT TO PROPERTY.
3. ADDRESS NUMBERS SHALL BE PLACED NEAR THE MIDDLE OF ALL STRUCTURES VISIBLE FROM THE FIRE LANS OR STREET. NUMBERS SHALL BE BLOCK STYLE 15 HOURS IN HEIGHT, BLACK IN COLOR, OR IN CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ILLUMINATED FOR NIGHTTIME VISIBILITY.

TYPE II-B, SPFL
 S1 OCCUPANCY GROUP



ALL RIGHT STORAGE
 8708 COTTONWOOD AVENUE
 CONDITIONAL USE PERMIT
 SHEET 3 OF 26

REVISION 5	.....
REVISION 4	.....
REVISION 3	.....
REVISION 2
REVISION 1	July 10, 2020
SUBMITTAL DATE: September 16, 2019	

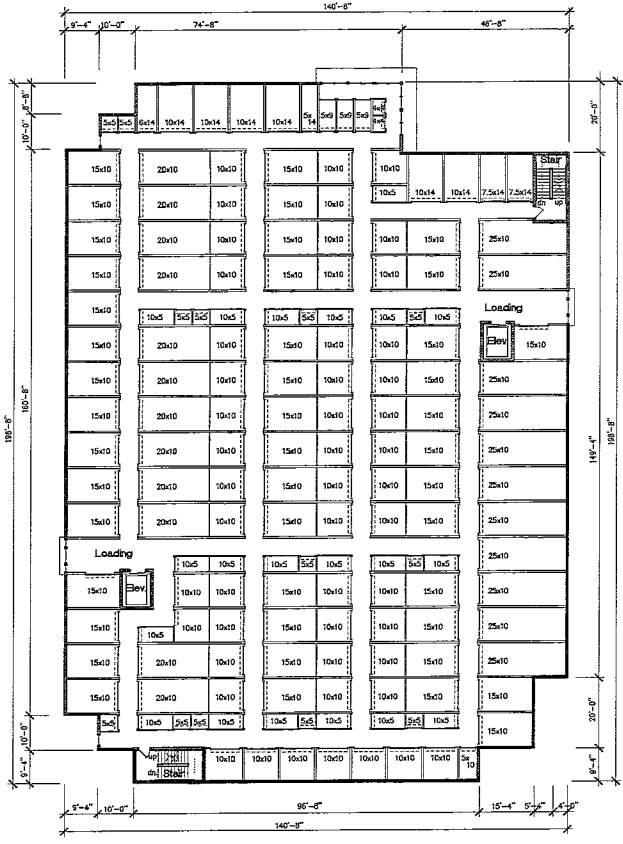


DATE: 09-24-2019
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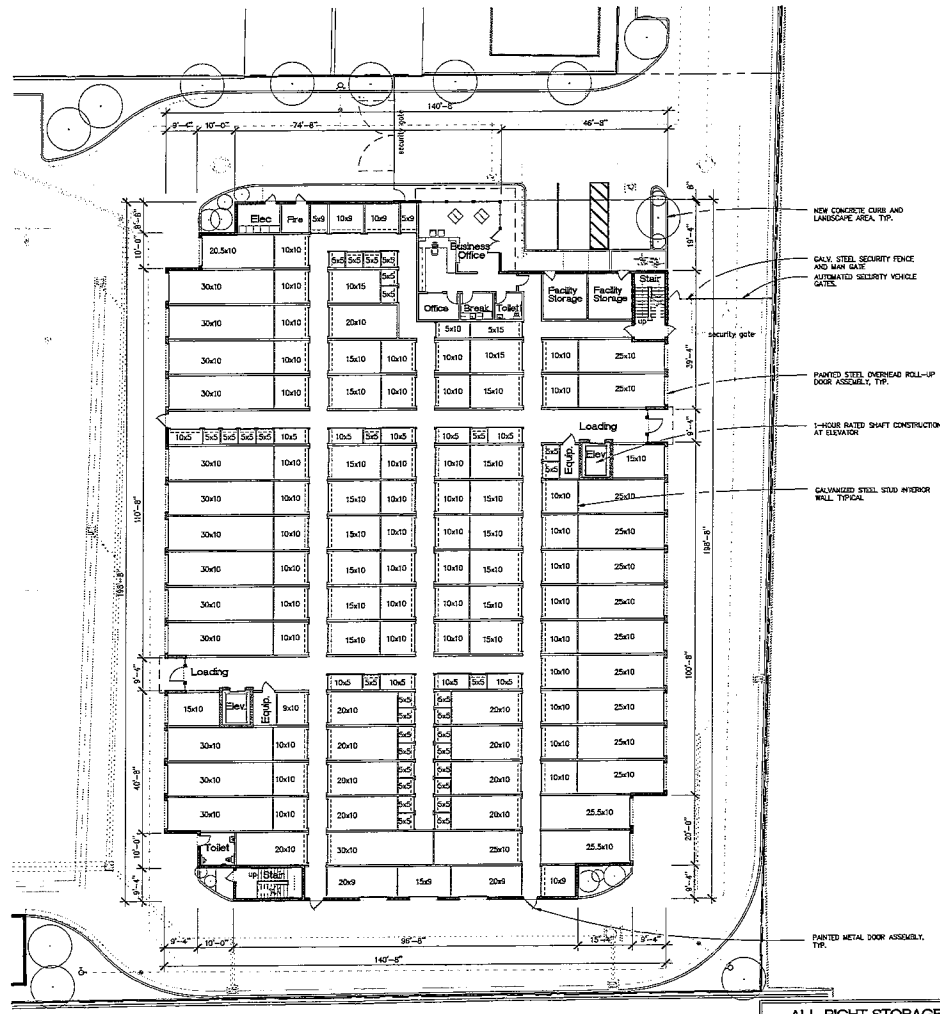
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 REVISION 2
 REVISION 1 July 10, 2020

SUBMITTAL DATE: September 16, 2019

A5
 6 OF 26



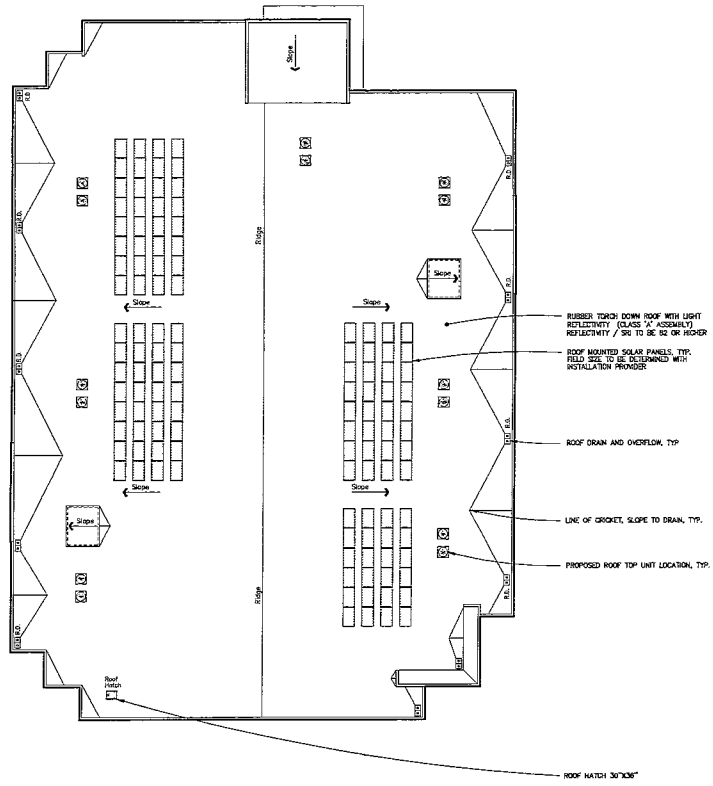
ALL RIGHT STORAGE, INC. 26,060 SF. G.F.A. / F.L.R.
BUILDING 'A': PROPOSED SECOND FLOOR PLAN
 Type II-B, Sprinklered
 SI Occupancy



ALL RIGHT STORAGE, INC. 25,960 SF. G.F.A.
BUILDING 'A': PROPOSED FIRST FLOOR PLAN
 Type II-B, Sprinklered
 SI Occupancy W/ Incidental B use

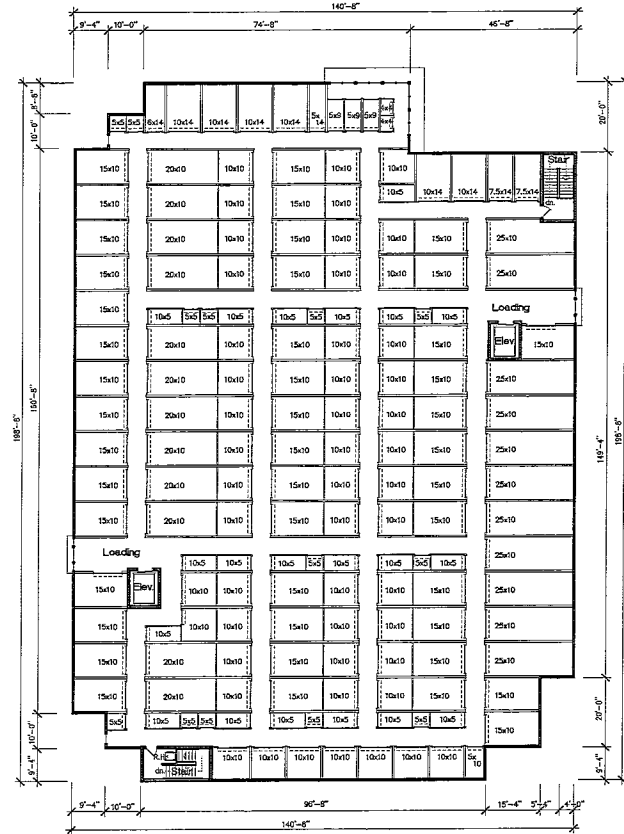
- NEW CONCRETE CURB AND LANDSCAPE AREA, TYP.
- GAULY STEEL SECURITY FENCE AND MAIN GATE
- AUTOMATED SECURITY VEHICLE GATE
- PAINTED STEEL OVERHEAD ROLL-UP DOOR ASSEMBLY, TYP.
- 1-HOUR RATED SHAFT CONSTRUCTION AT ELEVATOR
- CALVANIZED STEEL STUD INTERIOR WALL TYPICAL
- security gate
- PAINTED METAL DOOR ASSEMBLY, TYP.

ALL RIGHT STORAGE
 8708 COTTONWOOD AVENUE
CONDITIONAL USE PERMIT
 SHEET 6 OF 26



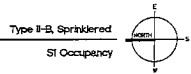
ALL RIGHT STORAGE, INC. 26,060 SF. G.A.
 BUILDING 'A' : PROPOSED ROOF PLAN

1/16" = 1'-0"



ALL RIGHT STORAGE, INC. 26,060 SF. G.F.A. / F.L.R.
 BUILDING 'A' : PROPOSED THIRD FLOOR PLAN

1/16" = 1'-0"



PROPOSED NEW DEVELOPMENT : C.U.P.
ALL RIGHT STORAGE, INC.
 8708 COTTONWOOD AVENUE, SANTEE, CALIFORNIA 92071

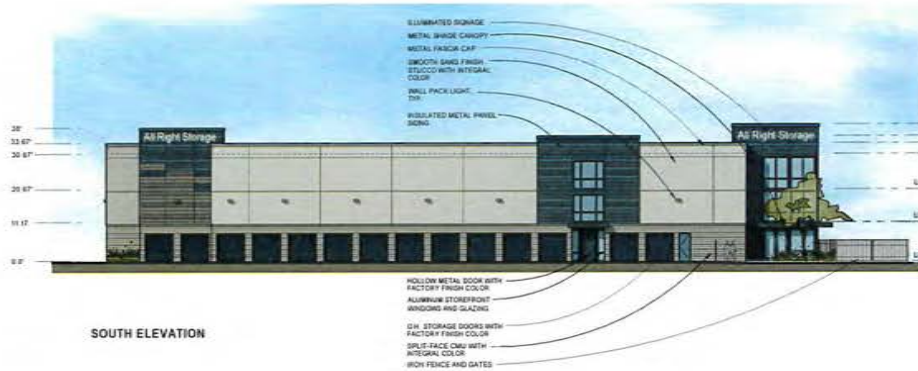


ALL RIGHT STORAGE
 8708 COTTONWOOD AVENUE
 CONDITIONAL USE PERMIT
 SHEET 7 OF 26

REVISION 5
 REVISION 4
 REVISION 3
 REVISION 2
 REVISION 1 July 10, 2020
 SUBMITTAL DATE: September 16, 2019

DATE: 09-24-2019
 DRAWING: C:\WD\VF42-14
 REVISIONS:
 09-16-2019
 07-29-2020

BUILDING A
 FLOOR PLANS
A6
 7 OF 26



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



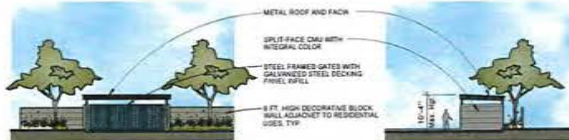
WEST ELEVATION

ALL RIGHT STORAGE, INC.
BUILDING 'A': PROPOSED EXTERIOR ELEVATIONS

1/8" = 1'-0"



NORTH ELEVATION



WEST ELEVATION

SOUTH ELEVATION

ALL RIGHT STORAGE, INC.
TRASH ENCLOSURE: PROPOSED EXTERIOR ELEVATIONS

1/8" = 1'-0"

ALL RIGHT STORAGE
 8708 COTTONWOOD AVENUE
 CONDITIONAL USE PERMIT
 SHEET 8 OF 26

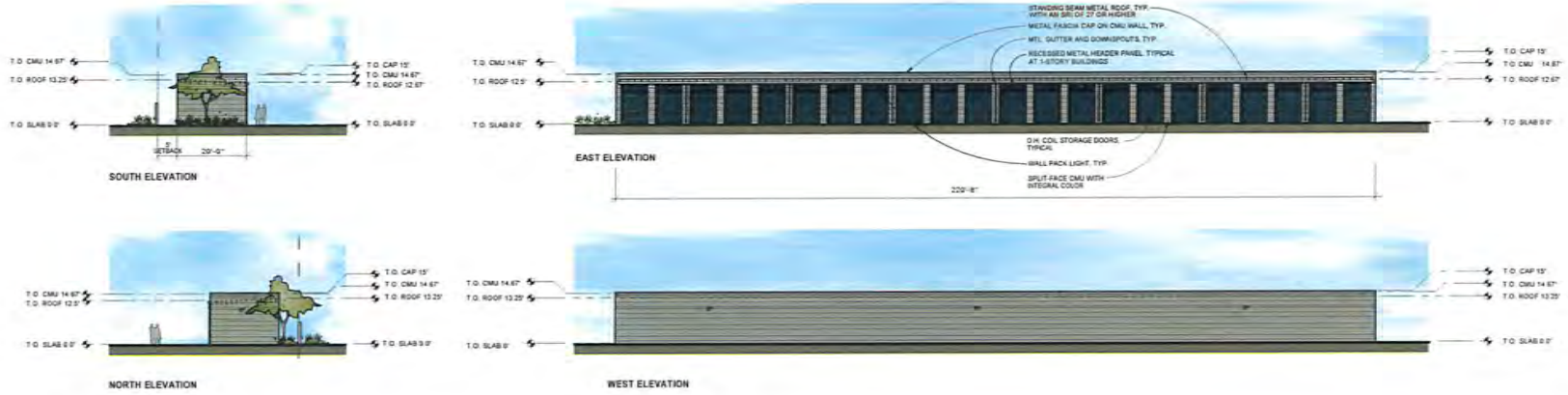
REVISION 5
 REVISION 4
 REVISION 3
 REVISION 2
 REVISION 1 July 10, 2020

SUBMITTAL DATE: September 16, 2019

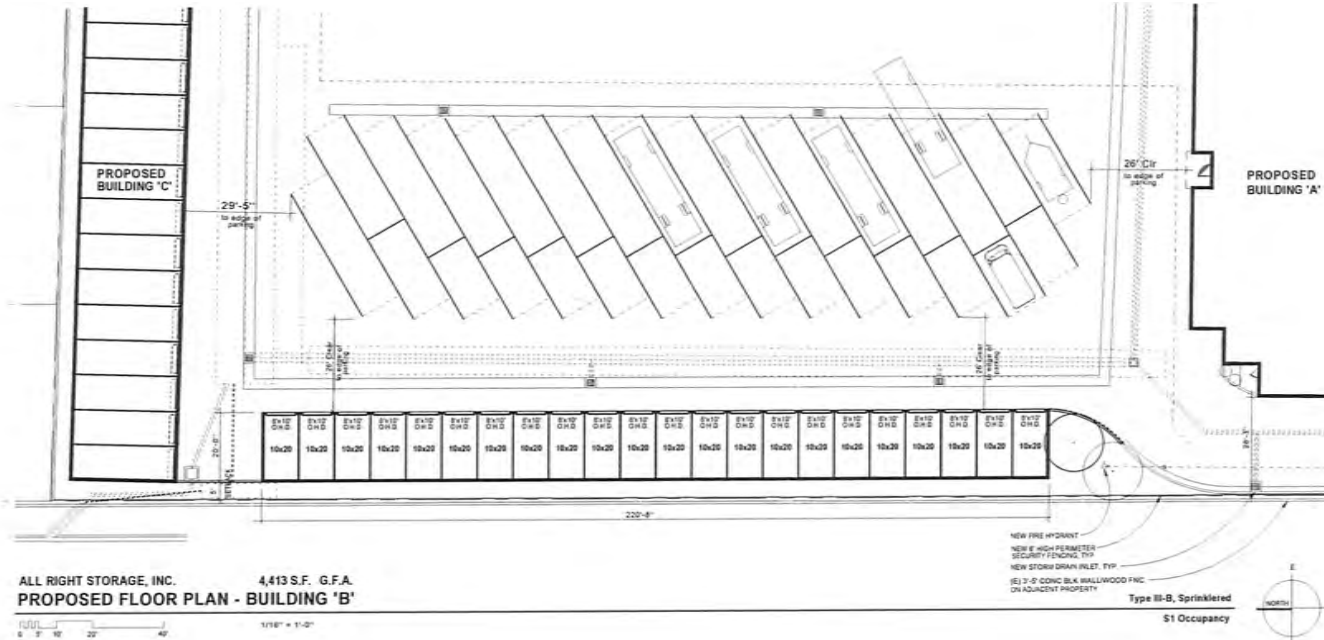
DATE: 09-24-2019
 DRAWING: C:\PROJECTS\84
 REVISION: 09-14-2019
 09-11-2019
 07-10-2020

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BUILDING A
 EXTERIOR ELEVATIONS
A7
 8 OF 26



ALL RIGHT STORAGE, INC.
CONCEPTUAL ELEVATIONS - BUILDING 'B'



ALL RIGHT STORAGE, INC. 4,413 S.F. G.F.A.
PROPOSED FLOOR PLAN - BUILDING 'B'



ALL RIGHT STORAGE
5708 COTTONWOOD AVENUE
CONDITIONAL USE PERMIT
SHEET 9 OF 26

REVISION 5
REVISION 4
REVISION 3
REVISION 2
REVISION 1

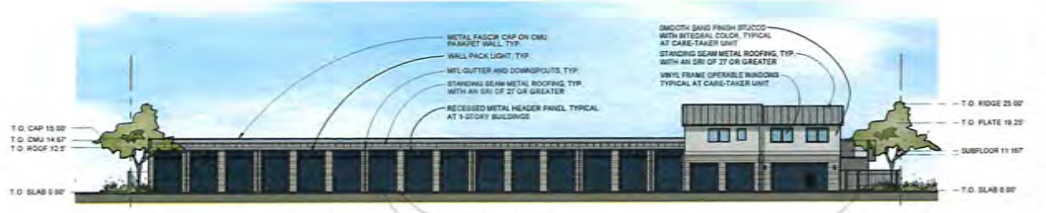
July 10, 2020

SUBMITTAL DATE: September 16, 2019



DATE: 09-24-2019
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REVISION: 09-16-2019 07-10-2020

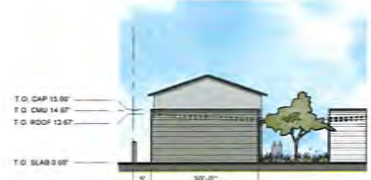
BUILDING FLOOR PLAN AND ELEVATIONS
A8
9 OF 26



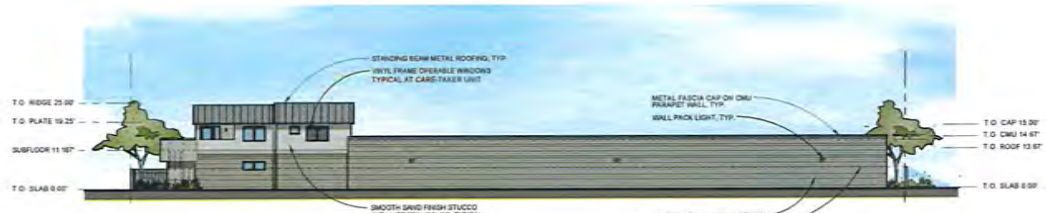
SOUTH ELEVATION



EAST ELEVATION

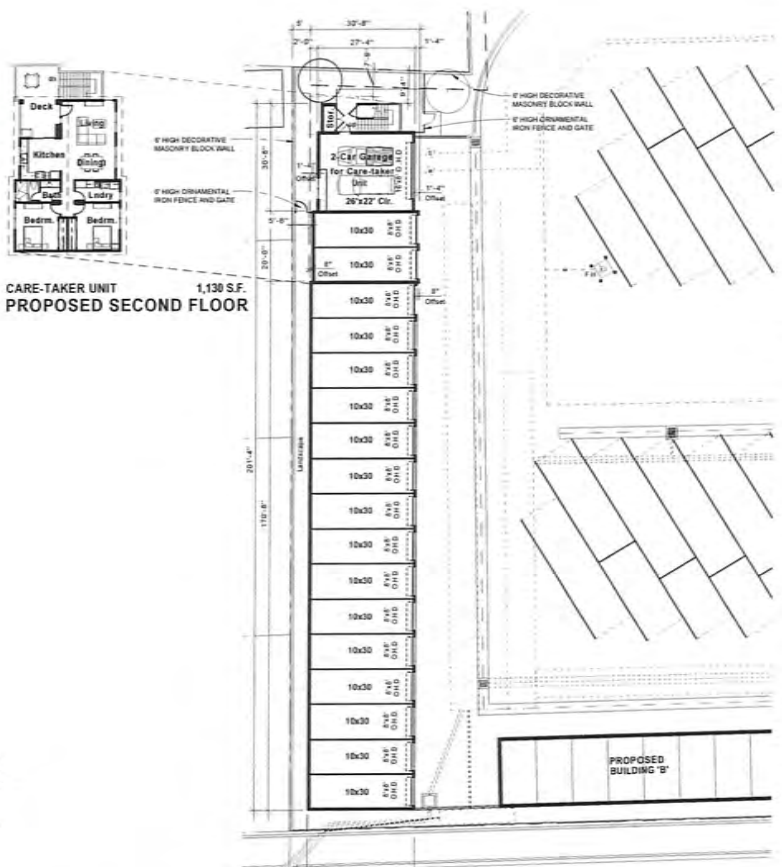
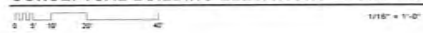


WEST ELEVATION



NORTH ELEVATION

ALL RIGHT STORAGE, INC.
CONCEPTUAL BUILDING ELEVATIONS - BUILDING 'C'



CARE-TAKER UNIT 1,130 S.F.
PROPOSED SECOND FLOOR

ALL RIGHT STORAGE, INC.
PROPOSED FIRST FLOOR PLAN - BUILDING 'C'



5,120 S.F. SELF-STORAGE
800 S.F. CARETAKER GARAGE / STORAGE

Type III-B, Sprinklered
 S1 Occupancy W/ R-3 use above



ALL RIGHT STORAGE
 8708 COTTONWOOD AVENUE
CONDITIONAL USE PERMIT
 SHEET 10 OF 26

REVISION 5
 REVISION 4
 REVISION 3
 REVISION 2
 REVISION 1 July 10, 2020

SUBMITTAL DATE: September 16, 2019

DATE: 09-24-2018
 DRAWN: CTMWD/PC/RV
 REVISION: 09-16-2019
 07-16-2020

BUILDING C
 FLOOR PLANS AND
 ELEVATIONS

A9
 10 OF 26



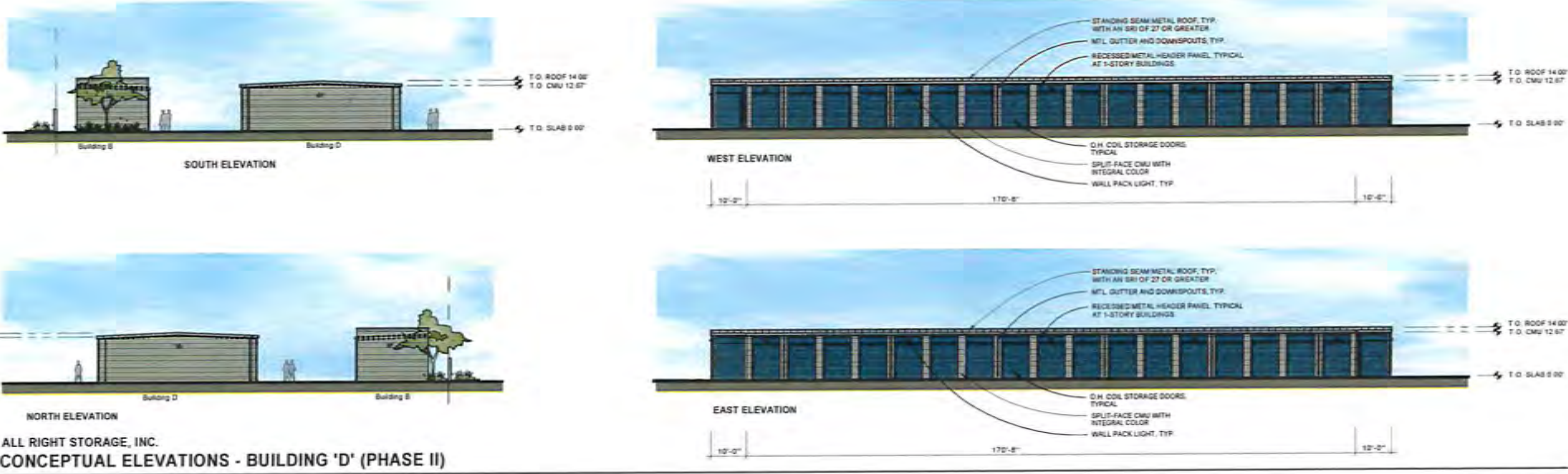
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 09-15-2019

REVISION 5
 REVISION 4
 REVISION 3
 REVISION 2
 REVISION 1

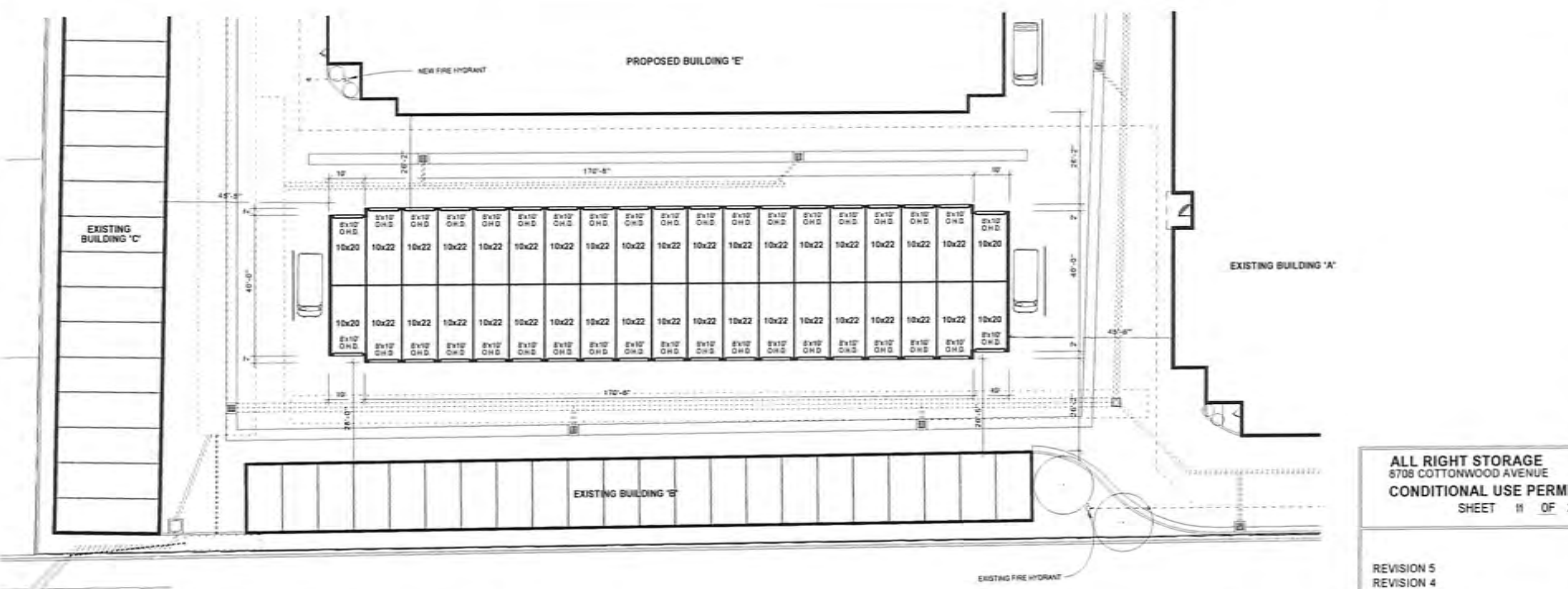
BUILDING 2
 FLOOR PLANS AND
 ELEVATIONS
A10
 11 OF 26

ALL RIGHT STORAGE
 8708 COTTONWOOD AVENUE
 CONDITIONAL USE PERMIT
 SHEET 11 OF 26

July 10, 2020
 SUBMITTAL DATE: September 16, 2019



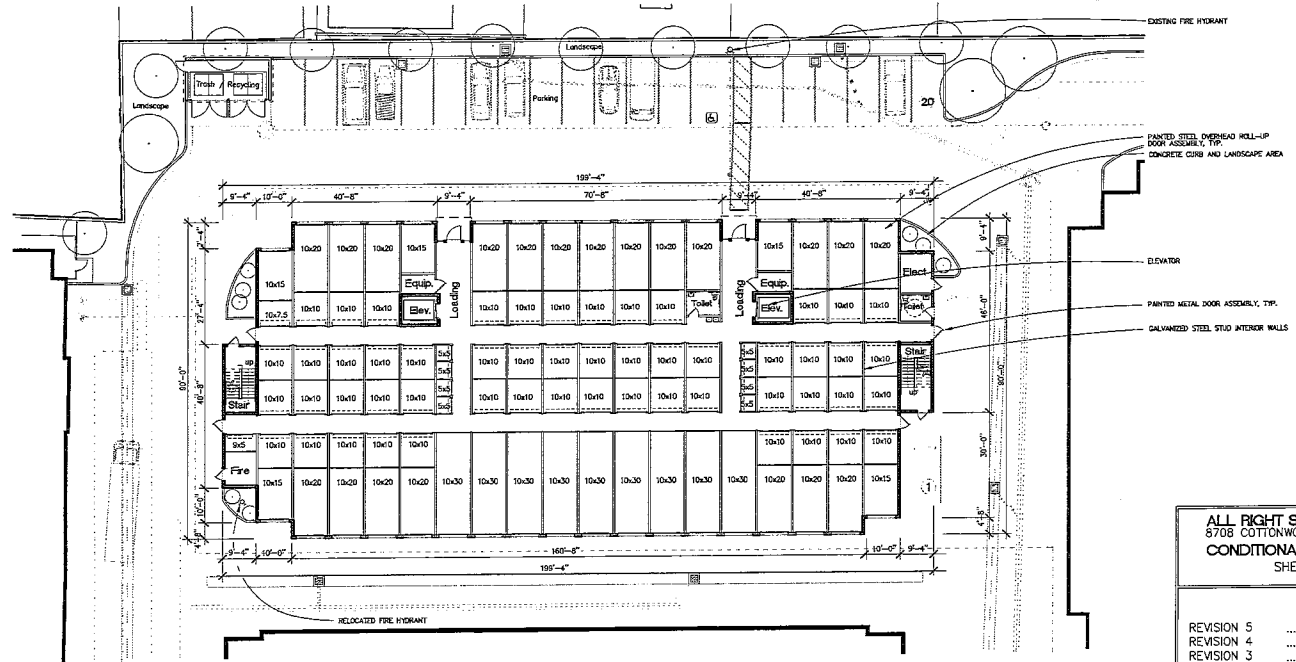
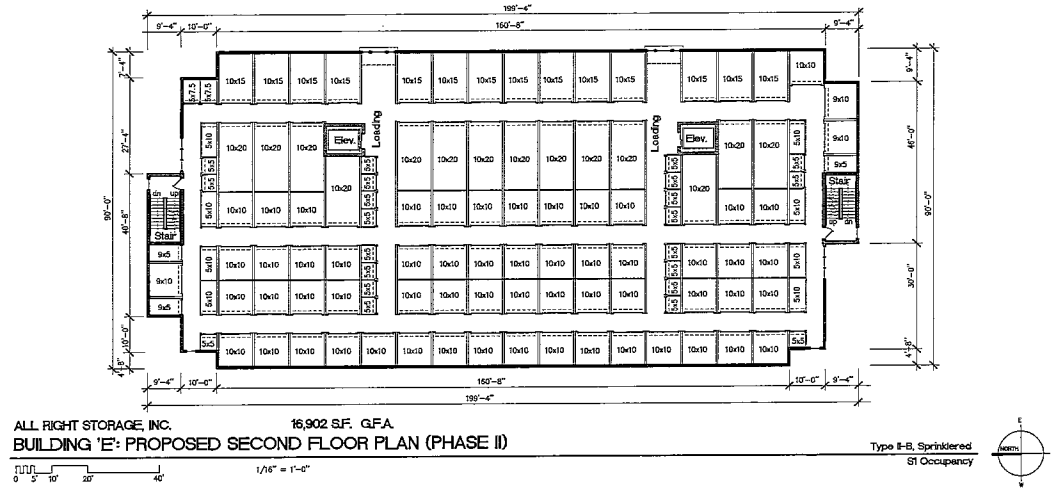
ALL RIGHT STORAGE, INC.
CONCEPTUAL ELEVATIONS - BUILDING 'D' (PHASE II)



ALL RIGHT STORAGE, INC. 8,309 S.F. G.F.A.
BUILDING 'D': PROPOSED FLOOR PLAN (PHASE II)
 1/16" = 1'-0"

Type III-B, Sprinklered
 S1 Occupancy





ALL RIGHT STORAGE
 8708 COTTONWOOD AVENUE
 CONDITIONAL USE PERMIT
 SHEET 12 OF 26

REVISION 5
 REVISION 4
 REVISION 3
 REVISION 2
 REVISION 1 July 10, 2020

SUBMITTAL DATE: September 16, 2019

PROPOSED NEW DEVELOPMENT - C.U.P.
ALL RIGHT STORAGE, INC.
 8708 COTTONWOOD AVENUE, SANTEE, CALIFORNIA 92071



DATE: 09-24-2019
 DRAWING: CTM/WY/ET-BA
 R/S/DWG

REVISION 5
 REVISION 4
 REVISION 3
 REVISION 2
 REVISION 1 July 10, 2020

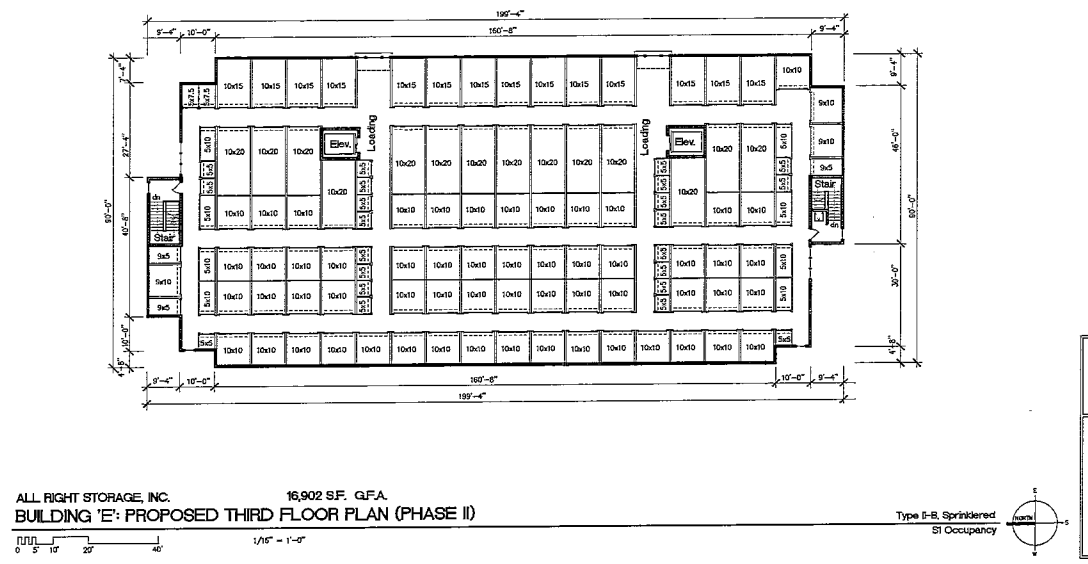
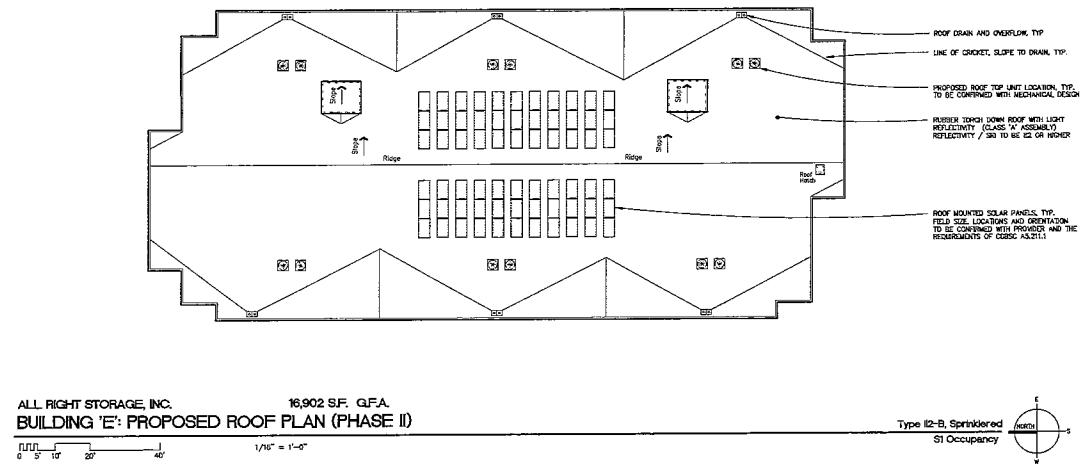
BUILDING E
 FLOOR PLANS
A11
 12 of 26



DATE: 02-24-2019
 DRAWING: CIV/VEZ-024
 REVISIONS:
 15-11-2020
 07-10-2020

ALL RIGHT STORAGE, INC. (C.U.P.) PROJECT
 8708 COTTONWOOD AVENUE, SANTEE, CALIFORNIA 92071
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BUILDING E
 FLOOR PLAN:
A12
 13 OF 25



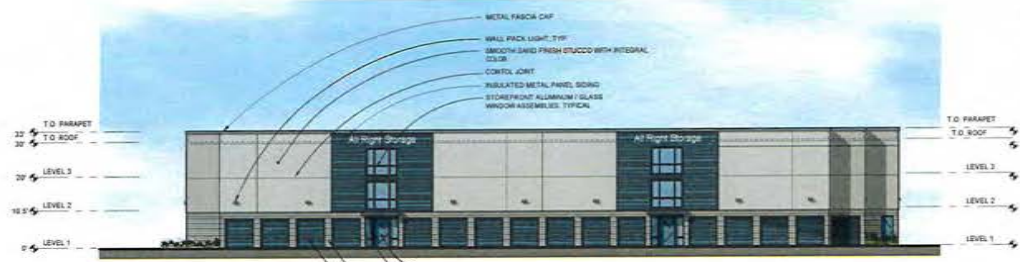
ALL RIGHT STORAGE
 8708 COTTONWOOD AVENUE
CONDITIONAL USE PERMIT
 SHEET 13 OF 26

REVISION 5	.....
REVISION 4	.....
REVISION 3	.....
REVISION 2	.....
REVISION 1	JULY 10, 2020

SUBMITTAL DATE: September 16, 2019



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

ALL RIGHT STORAGE, INC.
 BUILDING 'E' (PHASE II): CONCEPTUAL EXTERIOR ELEVATIONS



DATE: 09-24-2019
 DRAWING: CTX/WE/E/E/ALL
 REGION: 10-14-2019
 07-10-2020

ALL RIGHT STORAGE 8708 COTTONWOOD AVENUE CONDITIONAL USE PERMIT SHEET 14 OF 26	
REVISION 5 REVISION 4 REVISION 3 REVISION 2 REVISION 1	July 10, 2020
SUBMITTAL DATE: September 16, 2019	

BUILDING E EXTERIOR ELEVATIONS A13 14 of 26

SUMMARY: STREET AND REMAINING YARD RETAIL / COMMERCIAL PHASE 1			
STREET YARD	QTY.	REMAINING YARD	QTY.
TOTAL AREA	959 S.F.	TOTAL AREA	8,112 S.F.
PLANTING AREA:		PLANTING AREA:	
REQUIRED (0.05 T.A.):	245 S.F.	REQUIRED (0.05 T.A.):	2,494 S.F.
PROVIDED:	302 S.F.	PROVIDED:	2,084 S.F.
EXCESS:	57 S.F.	EXCESS:	4,650 S.F.
PLANT POINTS:		PLANT POINTS:	
REQUIRED (0.05 T.A.):	48 PTS.	REQUIRED (0.05 T.A.):	456 PTS.
PROVIDED:	81 PTS.	PROVIDED:	1,910 PTS.
EXCESS:	200 PTS.	EXCESS:	2,104 PTS.
PLANTING AREA POINTS PROVIDED:	81 PTS.	PLANTING AREA POINTS PROVIDED:	600 PTS.
TREE PTS. (10 TREES @ 20 PTS.) PROVIDED:	200 PTS.	TREE PTS. (20 TREES @ 20 PTS.) PROVIDED:	400 PTS.
EXCESS:	223 PTS.	EXCESS:	2,104 PTS.

NOTE: 40 SQ. FT. MIN. SHALL BE PROVIDED FOR EACH TREE

SUMMARY: VEHICULAR USE AREA PHASE 1			
V.U.A. INSIDE STREET YARD	QTY.	V.U.A. OUTSIDE STREET YARD	QTY.
TOTAL AREA	1,075 S.F.	TOTAL AREA	89,795 S.F.
PLANTING AREA:		PLANTING AREA:	
REQUIRED (0.6 T.A.):	54 S.F.	REQUIRED (0.6 T.A.):	2,492 S.F.
PROVIDED:	302 S.F.	PROVIDED:	3,886 S.F.
EXCESS:	248 S.F.	EXCESS:	3,174 S.F.
PLANT POINTS:		PLANT POINTS:	
REQUIRED (0.05 T.A.):	54 PTS.	REQUIRED (0.05 T.A.):	2,492 PTS.
PROVIDED:	81 PTS.	PROVIDED:	1,561 PTS.
EXCESS:	27 PTS.	EXCESS:	600 PTS.
PLANTING AREA POINTS PROVIDED:	81 PTS.	PLANTING AREA POINTS PROVIDED:	1,561 PTS.
TREE PTS. (10 TREES @ 20 PTS.) PROVIDED:	200 PTS.	TREE PTS. (20 TREES @ 20 PTS.) PROVIDED:	400 PTS.
EXCESS:	223 PTS.	EXCESS:	2,104 PTS.

NOTE: (1) CANOPY TREE WITHIN 30 FT OF EACH PARKING SPACE

LANDSCAPE CALCULATIONS
 TOTAL PARKING AREA: 75,296 SQ. FT.
 REQUIRED PLANTING (0.06): 7,229 SQ. FT.
 PLANTING AREA ADJACENT PARKING: 3,973 SQ. FT.

CONCEPT PLANT SCHEDULE

TOTAL PLANTING AREA: 7693 SQ. FT.

BOTANICAL NAME	COMMON NAME	WUCOLS	SIZING	QUANTITY
PROPOSED TREES				
EVERGREEN & DECIDUOUS TREE W/ 20'-50'	MATURE H1 - SUCH AS: STARBUCK TREE	L	24' BOX MIN.	PHASE 1: 31
ARBUSTRUM SPECIES	STARBUCK TREE	L		PHASE 2: 33
ACACIA STENOCHRYLLA	SHOES TRENG ACACIA	L		
INDIGULISA PANICULATA	GOLDEN HORN TREE	M		
LOM-COSTERUM COMPACTUS	BASSANE BOX	M		
PODOCARPUS GRANDIOR	FISH TAIL	M		
CUSCUS HORSFORDII	COAST LINE CAX	M		
RUSUS LANZEA	AFRICAN SUMAC	L		

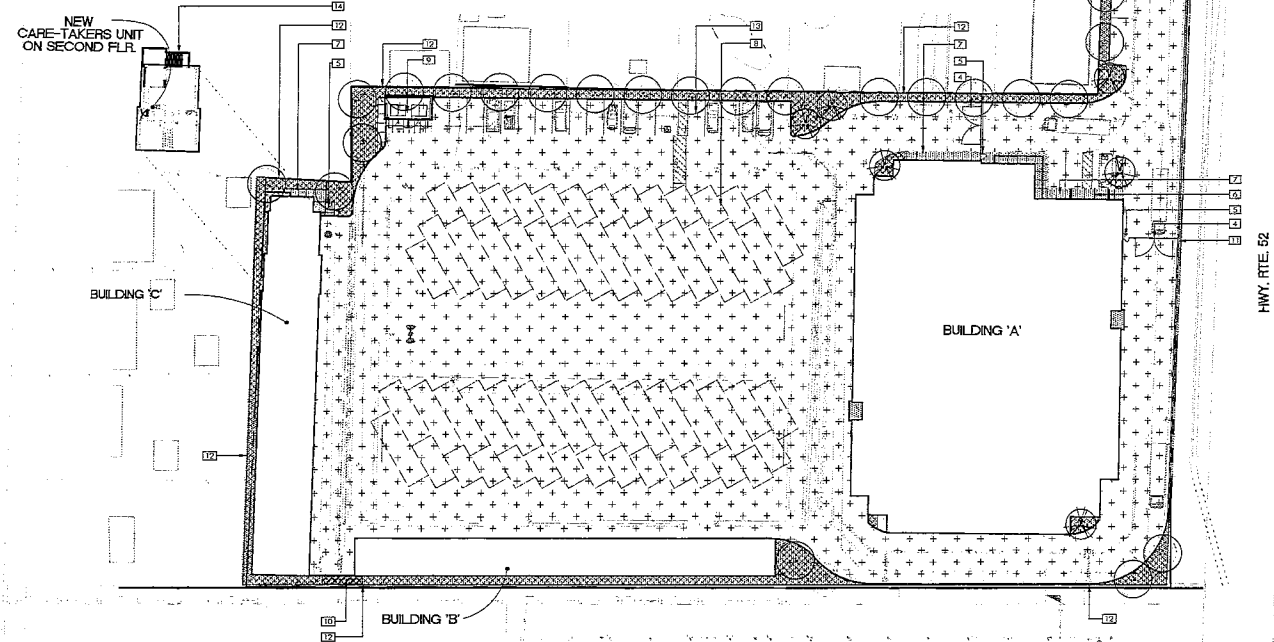
PROPOSED SHRUBS AND GROUNDCOVER	COMMON NAME	WUCOLS	SIZING	QUANTITY
ARECATE GONOLYDORA	GLOSSY ARECA	M	40% @ 5 GAL 30" O.C.	PHASE 1: 891
AGAVE X SPECIES	AGAVE	L	40% @ 1 GAL 24" O.C.	PHASE 2: 892
ALOE X SPECIES	ALOE	L		PHASE 2: 925
ARBUSTRUM LINEARIS COMPACTA	STARBUCK TREE COMPACTA	L		
SAUCONIA PULILLAS PIGEON PT	DWARF COYOTE BUSH	L		
CORDEA FRAGRANS	CALIFORNIA FELD SEDGE	M	GROUNDCOVERS	
CORDEA FRAGRANS	CALIFORNIA FELD SEDGE	M	100% @ 1 GAL	
CANISSA HAZOCORPA 'GREEN CARPET'	GREEN CARPET NATAL PALM	L	30" O.C. MPK	
DIANELLA 'SUNSHINE' 'SUN RED'	BURLEY SEDGE	L		
DIETES RICHOBI	WHITE FORTNIGHT LILY	L		
ECHINOCYBA X SPECIES	ECHINOCYBA	L		
LEUCOSTEMUM JAPONICUM 'TEXANUM'	WAXLEAF PRIVET	M		
PENNSYLVANIA TARRY TALS	EMERALD FOUNTAIN GRASS	M		
PRODRACIS TRANK	NEW ZEALAND FLUE	M		
RHAPHANIS INDICA SPECIES	INDIAN HAWTHORNE	M		
ROSMARINUS OFFICINALIS	HUNTINGTON CARPET ROSEMARY	M		
TRACHYPOGONUM JAPONICIDES 'STAR'	STAR JEWEL	M		

COTTONWOOD ALL RIGHT SELF STORAGE WATER MANAGEMENT AB-1881

PLANT TYPE / HYDROZONE	TREES (BU/BLER)	PALMS (BU/BLER)	SHRUBS (DR/P)	TURF (DR/P)	TOTALS
SITE ETO (IN/P)	47.00	47.00	47.00	47.00	
PLANT FACTORS KC	0.50	0.70	0.30	0.80	
HYDROZONE AREA (sq ft)	825.50	0.00	7,200.00	0.00	8,025.50
IRRIGATION EFFICIENCY	0.81	0.81	0.81	0.81	
CONVERSION FACTOR	0.62	0.62	0.62	0.62	
MAWA (gal) = (ETx) / (Kx) / (Lx) / (Z)	30,818.23	0.00	95,315.40	0.00	126,133.63
MAWA (cst)	14.49	0.00	127.43	0.00	141.92
ETWL (gal) = (ETx) / (PPx) / (Kx) / (Z)	14,839.81	0.00	78,453.36	0.00	93,293.17
ETWL (cst)	19.84	0.00	104.89	0.00	124.73
AVERAGE RAINFALL IN.	10.42	10.42	10.42	10.42	
EFFECTIVE RAINFALL IN.	2.61	2.61	2.61	2.61	
EFFECTIVE RAINFALL (gallons)	1,338.57	0.00	11,862.63	0.00	13,201.20
TOTAL WATER USAGE (gallons)					80,148.79
TOTAL WATER USAGE (cst)					107.15

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
[1]	PROPOSED DRIVEWAY
[2]	ENTRY SIGN
[3]	SITE ENTRY
[4]	AUTOMATED VEHICULAR ENTRY GATE
[5]	PEDESTRIAN ENTRY GATE
[6]	ADA RAMP
[7]	CONCRETE PEDESTRIAN WALKWAY
[8]	RV AND BOAT STORAGE
[9]	TRASH ENCLOSURE
[10]	MODULAR WETLAND SYSTEM
[11]	EXISTING 6' HIGH CHAINLINK FENCE TO REMAIN - PROTECT IN PLACE
[12]	PROPOSED 6' HIGH CHAINLINK FENCE
[13]	PARKING AREA
[14]	STAIRCASE ACCESS



1. ALL SIDEWALKS IN CITY RIGHT-OF-WAY ADJACENT TO STREETS TO BE NATURAL GRAY CONCRETE TO MATCH EXISTING.
2. ALL ON-SITE PAVING TO BE NATURAL GRAY CONCRETE WITH BROOM FINISH.
3. ALL LANDSCAPED AREAS, EXCEPT TURF AREAS, TO RECEIVE A 3" LAYER OF SHREDED BARK MIXTURE.
4. LANDSCAPED AREAS WITHIN THE PROJECT SHALL RECEIVE A FULLY AUTOMATIC IRRIGATION SYSTEM THAT PROVIDES 100% COVERAGE TO ALL PROPOSED PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE ZONED ACCORDING TO PLANT TYPES, SOLAR EXPOSURE, SLOPE RATIO, AND TYPE OF SPRINKLER HEAD TO BE USED. DRIP AND LOW PRECIPITATION RATE SPRINKLER HEADS SHALL BE USED WHERE APPROPRIATE TO ENCOURAGE WATER INFILTRATION INTO THE SOIL AND DISCOURAGE WATER RUN-OFF. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
5. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
6. MINIMUM TREE / IMPROVEMENT SEPARATION DISTANCE: TRAFFIC SIGNALS / STOP SIGN - 20 FEET UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SIGNAL) ABOVE GROUND UTILITY STRUCTURES - 10 FEET; DRIVEWAYS - 10 FEET; INTERSECTIONS INTERSECTING CURBS LINES OF TWO STREETS - 25 FEET.
7. SOIL AMENDMENTS AND LANDSCAPE SOIL QUALITY: COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PLANTABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL ARE DEEMED FROM ADDING COMPOST AND MULCH.

ALRIGHT SELF-STORAGE
 8708 COTTONWOOD AVENUE
 PROPOSED SITE PLAN - PHASE 1

1" = 30'-0"

0' 5' 15' 30' 60'

TYPE II-B, SPR
 S1 OCCUPANCY GROUP



PROPOSED NEW DEVELOPMENT : C.U.P.
ALL RIGHT STORAGE, INC.
 8708 COTTONWOOD AVENUE, SANTEE, CALIFORNIA 92071



13300 Serrano Valley Road, Suite 220
 San Diego, CA 92171
 619.452.0174

CONDITIONAL USE PERMIT	
SHEET 25 OF 26	
REVISION 5	
REVISION 4	
REVISION 3	
REVISION 2	
REVISION 1	7-10-2020
SUBMITTAL DATE: September 16, 2019	



SUMMARY: STREET AND REMAINING YARD RETAIL / COMMERCIAL PHASE 2			
STREET YARD	QTY.	REMAINING YARD	QTY.
TOTAL AREA:	969 S.F.	TOTAL AREA:	8,432 S.F.
PLANTING AREA:		PLANTING AREA:	
REQUIRED (25% T.A.):	242 S.F.	REQUIRED (20% T.A.):	2,500 S.F.
PROVIDED:	302 S.F.	PROVIDED:	7,424 S.F.
EXCESS:	57 S.F.	EXCESS:	4,874 S.F.
PLANT POINTS:		PLANT POINTS:	
REQUIRED (0.05 x T.A.):	48 PTS.	REQUIRED (0.05 x T.A.):	422 PTS.
PLANTING AREA POINTS PROVIDED:	81 PTS.	PLANTING AREA POINTS PROVIDED:	1,994 PTS.
TREE PTS (1 TREE @ 20 PTS) PROVIDED:	20 PTS.	TREE PTS (2 TREES @ 20 PTS) PROVIDED:	640 PTS.
EXCESS:	53 PTS.	EXCESS:	2,214 PTS.

NOTE: 40 SQ. FT. MIN. SHALL BE PROVIDED FOR EACH TREE

SUMMARY: VEHICULAR USE AREA PHASE 2			
V.U.A. INSIDE STREET YARD	QTY.	V.U.A. OUTSIDE STREET YARD	QTY.
TOTAL AREA:	1,530 S.F.	TOTAL AREA:	65,606 S.F.
PLANTING AREA:		PLANTING AREA:	
REQUIRED (2% T.A.):	54 S.F.	REQUIRED (2% T.A.):	1,938 S.F.
PROVIDED:	202 S.F.	PROVIDED:	6,186 S.F.
EXCESS:	248 S.F.	EXCESS:	4,248 S.F.
PLANT POINTS:		PLANT POINTS:	
REQUIRED (0.03 x T.A.):	54 PTS.	REQUIRED (0.03 x T.A.):	1,938 PTS.
PROVIDED:	81 PTS.	PLANTING AREA POINTS PROVIDED:	1,608 PTS.
EXCESS:	27 PTS.	TREE PTS (2 TREES @ 20 PTS) PROVIDED:	640 PTS.
		EXCESS:	370 PTS.

NOTE: (1) CANOPY TREE WITHIN 30-FT OF EACH PARKING STALL

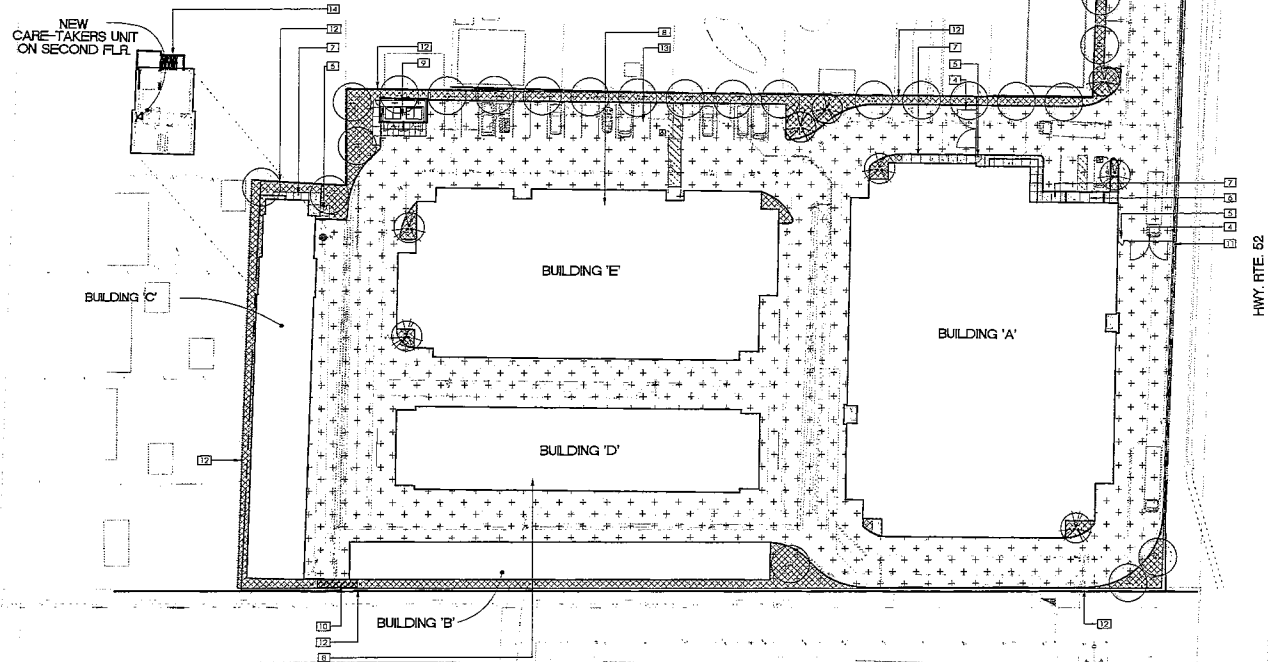
LANDSCAPE CALCULATIONS
 TOTAL PARKING AREA: 22,912 SQ FT
 REQUIRED PLANTING (10%): 2,291 SQ FT
 PLANTING AREA ADJACENT PARKING: 4,062 SQ FT

CONCEPT PLANT SCHEDULE

TOTAL PLANTING AREA: 7,273 SQ FT

BOTANICAL NAME	COMMON NAME	WUCOLS	SIZE	QUANTITY
PROPOSED TREES				
FRAXINUS BENDICULUS TREE W/ 20" DB	MADRID YU - SUCH AS:		24" BOK MIN.	PHASE 1: 31
ABUTILUS UNDO	STARBUERRY TREE	L		PHASE 2: 33
ACACIA STENOPIPTILA	SHOWSTRAW ACACIA	L		
KOCHUEBETSA PANICULATA	COUSON BAIN TREE	L		
LOPHOSTACHY COMPERLUS	IRISBANE BOX	M		
PODOCARPUS GRACILIS	FERN PINE	M		
GUERDIA AGROFOBA	COASTLINE OAK	VL		
MILVUS LANATA	AFRICAN SLAMC	L		

PROPOSED SHRUBS AND CROUDDCOVERS	COMMON NAME	WUCOLS	SIZE	QUANTITY
ARECA PALM	ARECA PALM	M	60" @ 5 GAL 20" O.C.	PHASE 1: 991
AGAVE X SPECIES	AGAVE	L	40" @ 1 GAL 24" O.C.	892
ALOE X SPECIES	ALOE	L		PHASE 2: 612
ABUTILUS UNDO COMPACTA	STARBUERRY TREE 'COMPACTA'	L		925
IMPATIENS PILLARS 'PIGION PT'	DWARF COYOTE SUEDE	L		
CAREX TRINGICULUS	CALIFORNIA FELD SEDGE	M		
CAREX TRINGICULUS	BERKELEY SEDGE	L		
CAREX TRINGICULUS	GREEN CARPET NATAL FLUM	L		
DIETES IRIDIODES	FLURLEY	L		
DIETES IRIDIODES	WHITE FORTNIGHT LILY	L		
LOCHNOLA SPICATA	LOCHNOLA	L		
LOCHNOLA SPICATA	WALKWAY FROET	M		
LOCHNOLA SPICATA	EMERALD MOUNTAIN GRASS	M		
PHOENIXIA 'BANK'	NEW ZEALAND FLAX	L		
RAPHANISTRUM INDIAN SPECIES	INDIAN HAWTHORNE	VL		
ROSMARINUS OFFICINALIS	HUNTINGTON CARPET ROSEMARY	VL		
TRACHELOSTEMUM JAMAICANOIDES 'STAR'	STAR JASMINE	M		



COTTONWOOD ALL RIGHT SELF STORAGE WATER MANAGEMENT AB-1881					
PLANT TYPE / HYDROZONE	TREES (BU/BL)	PALMS (BU/BL)	SHRUBS (DR/PI)	TURF (DR/PI)	TOTALS
SITE ETO (In/yr)	47.00	47.00	47.00	47.00	47.00
PLANT FACTORS KC	0.50	0.70	0.20	0.80	
HYDROZONE AREA (sq.ft.)	625.00	0.00	7,351.00	0.00	8,176.00
IRRIGATION EFFICIENCY	0.81	0.81	0.81	0.81	
CONVERSION FACTOR	0.62	0.62	0.62	0.62	
MAWA (gal) = (ETO) (AW) (AN) (C)	10,318.23	0.00	96,393.66	0.00	107,211.89
MAWA (ref)	14.46	0.00	128.87	0.00	143.33
ETUW (gal) = (ETOP) (P) (X) (A) (C) (D) (E) (F)	34,839.85	0.00	79,335.26	0.00	94,175.11
ETUW (ref)	19.84	0.00	106.06	0.00	125.90
AVERAGE RAINFALL IN.	10.42	10.42	10.42	10.42	
EFFECTIVE RAINFALL IN.	2.01	2.61	2.61	2.61	
EFFECTIVE RAINFALL (gallons)	1,350.57	0.00	11,933.55	0.00	13,274.12
TOTAL WATER USAGE (gallons)					80,906.64
TOTAL WATER USAGE (ref)					104.10

SYMBOL	DESCRIPTION
1	PROPOSED DRIVEWAY
2	ENTRY SIGN
3	SITE ENTRY
4	AUTOMATED VEHICULAR ENTRY GATE
5	PEDESTRIAN ENTRY GATE
6	ADA RAMP
7	CONCRETE PEDESTRIAN WALKWAY
8	RV AND BOAT STORAGE
9	TRASH ENCLOSURE
10	MODULAR WETLAND SYSTEM
11	EXISTING 6' HIGH CHAINLINK FENCE TO REMAIN - PROTECT IN PLACE
12	PROPOSED 6' HIGH CHAINLINK FENCE
13	PARKING AREA
14	STAIRCASE ACCESS

1. ALL SIDEWALKS IN CITY RIGHT-OF-WAY ADJACENT TO STREETS TO BE NATURAL GRAY CONCRETE WITH BROOM FINISH.
2. ALL ON-SITE FINING TO BE NATURAL GRAY CONCRETE WITH BROOM FINISH.
3. ALL LANDSCAPED AREAS, EXCEPT TURF AREAS, TO RECEIVE A 2" LAYER OF SHREDDED BARK MULCH.
4. LANDSCAPED AREAS WITHIN THE PROJECT SHALL RECEIVE A FULLY AUTOMATIC IRRIGATION SYSTEM THAT PROVIDES 100% COVERAGE TO ALL PROPOSED PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE ZONED ACCORDING TO PLANT TYPES, SOIL INfiltration, SLOPE RATIO, AND TYPE OF SPRINKLER HEAD TO BE USED. Drip and low precipitation rate sprinkler heads shall be used where applicable to encourage water infiltration into the soil and decrease water runoff. The design of the system shall provide adequate support for the vegetation selected.
5. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISPOSED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
6. MINIMUM TREE / IMPROVEMENT SEPARATION DISTANCE: TRAFFIC SIGNALS / STOP SIGN - 20 FEET; UNDERGROUND UTILITY LINES - 3 FEET (10 FEET FOR SEWER); ABOVE GROUND UTILITY STRUCTURES - 10 FEET; DRIVEWAYS - 10 FEET; INTERSECTIONS INTERSECTING CURB LINES OF TWO STREETS - 25 FEET.
7. SOIL AMENDMENTS AND LANDSCAPE SOIL QUALITY: COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF REMEDIATE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL ARE DUMPY FROM ADDING COMPOST AND TILLING.

ALRIGHT SELF-STORAGE
 8708 COTTONWOOD AVENUE
 PROPOSED SITE PLAN - PHASE 2

0' 5' 15' 30' 60'

1" = 30'-0"



CONDITIONAL USE PERMIT	
SHEET 26 OF 26	
REVISION 5	
REVISION 4	
REVISION 3	
REVISION 2	
REVISION 1	7-10-2020
SUBMITTAL DATE: September 16, 2019	

PROPOSED NEW DEVELOPMENT : C.U.P.
ALL RIGHT STORAGE, INC.
 8708 COTTONWOOD AVENUE, SANTEE, CALIFORNIA 92071

URBAN ARENA
 CC SD 024K
 11000 Serrano Valley Road, Suite 220
 San Diego, CA 92173
 619-521-0172

D:1572
 DATE: 09-16-2019
 DRAWN:
 REVISIONS:

L2

MEETING DATE April 28, 2021

ITEM TITLE A PUBLIC HEARING TO ADOPT A RESOLUTION APPROVING THE PROGRAM YEAR 2021 ANNUAL ACTION PLAN AND AUTHORIZING THE CITY MANAGER TO SUBMIT A GRANT APPLICATION FOR COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) FUNDS TO THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT (HUD)

DIRECTOR/DEPARTMENT Development Services, Melanie Kush 

SUMMARY

Cities requesting an allocation of CDBG funding in the coming fiscal year must submit an Annual Action Plan implementing their Three- or Five-Year Consolidated Plans to HUD by May 15 each year. The City of Santee has a Five-Year Consolidated Plan (Program Years 2020-2024). At the Public Hearing held February 24, 2021, the City Council selected program activities for CDBG Program funding during Program Year 2021 (July 2021 through June 2022) and directed staff to prepare and publish a Draft Annual Action Plan. This Program Year 2021 Action Plan will be the second Action Plan prepared in the implementation of the current Five-Year Consolidated Plan. Notice of the Availability of the Draft Action Plan was published on March 26, 2021 and posted on the City's website. No public comments were received during the 30-day public review and comment period.

On February 25, 2021, the Department of Housing and Urban Development (HUD) announced the Program Year 2021 allocations and the City of Santee's allocation is \$297,717 which is \$25,502 more than previously estimated. In accordance with City Council Resolution No. 012-2021 staff has proportionally increased the allocations for all activities from the City Council determined amounts.

ENVIRONMENTAL REVIEW

This item is exempt from environmental review under the California Environmental Quality Act ("CEQA") by CEQA Guidelines section 15061(b)(3).

FINANCIAL STATEMENT 

The amount of CDBG funding the City of Santee will receive in Program Year 2021 as announced by HUD is \$297,717. In addition, \$10 in program income and the carry forward of prior-year unexpended funds (\$5,877) would bring the total amount available for allocation in Program Year 2021 to \$303,604.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION 

1. Conduct and close the public hearing; and
2. Adopt the attached Resolution approving the Program Year 2021 Annual Action Plan and authorizing the City Manager to submit the grant application to HUD.

ATTACHMENTS

Resolution

Draft 2021 Annual Action Plan



**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA
ADOPTING A RESOLUTION APPROVING THE PROGRAM YEAR 2021 ANNUAL ACTION
PLAN AND AUTHORIZING THE CITY MANAGER TO SUBMIT A GRANT APPLICATION
FOR COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) FUNDS TO THE
DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT (HUD)**

WHEREAS, the Department of Housing and Urban Development (HUD) annually sets aside Community Development Block Grant (CDBG) funds for the City of Santee; and

WHEREAS, the City of Santee is required to prepare and adopt an Annual Action Plan to implement the Program Years 2020-2024 Consolidated Plan prior to the submittal of a grant application to HUD; and

WHEREAS, in Program Year 2021, the City of Santee will receive an allocation of \$297,717 in CDBG funds; and

WHEREAS, the City of Santee has an unexpended balance from the prior year allocation of \$5,877 available for allocation in Program Year 2021; and

WHEREAS, the City of Santee has \$10 in Program Income funds available for allocation in Program Year 2021, resulting in a total amount available for allocation of \$303,604; and

WHEREAS, the City of Santee has followed the prescribed format prior to submission of the required documents.

NOW, THEREFORE BE IT RESOLVED that the City Council of the City of Santee, California, does hereby:

1. Adopt the Program Year 2021 Action Plan; and
2. Authorize the City Manager to submit the Program Year 2021 Action Plan and Grant Application.

RESOLUTION NO. _____

ADOPTED by the City Council of the City of Santee, California, at a Regular meeting thereof held this 28th day of April, 2021.

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

ANNETTE ORTIZ, CMC, CITY CLERK



Second Program Year Action Plan, City of Santee

This document includes Narrative Responses to specific questions that grantees of the Community Development Block Grant, HOME Investment Partnership, Housing Opportunities for People with AIDS and Emergency Shelter Grants Programs must respond to in order to be compliant with the Consolidated Planning Regulations.

Executive Summary

AP-05 Executive Summary - 91.200(c), 91.220(b)

1. Introduction

The City of Santee 2020-2024 Consolidated Plan (Con Plan) outlines the community's strategies for meeting its identified housing and community development needs, developed through a citizen participation process as detailed in the 2020-2024 Citizen Participation Plan. The five-year Consolidated Plan includes a needs assessment, market analysis, and identification of priority needs and long-term strategies.

The Con Plan is a five-year planning document that identifies needs within low-to -moderate- income (LMI) communities and outlines how the City will address those needs. Ultimately, it guides investments in and helps achieve HUD's mission of providing decent housing, suitable living environments, and expanded economic opportunities for LMI populations.

An Annual Action Plan implements the strategies included in the Con Plan and provides a basis for allocating federal block grant resources. This document represents the City of Santee's Program Year 2021 CDBG Action Plan. It identifies the goals and programming of funds for activities to be undertaken in the second year of the five-year Consolidated Plan.

2. Summarize the objectives and outcomes identified in the Plan

This could be a restatement of items or a table listed elsewhere in the plan or a reference to another location. It may also contain any essential items from the housing and homeless needs assessment, the housing market analysis or the strategic plan.

In Program Year 2021, the Santee Annual Action Plan will generate the following estimated results:

- Render homeless prevention support and services for up to 150 persons;

DRAFT

- Assist up to 16,545 low- and moderate-income persons, many with special needs, via CDBG funded public services;
- Fund public facilities improvements in low- and moderate-income census tract areas of Santee;
- Assist up to 150 persons with fair housing issues funded with CDBG Administration Funds.

3. Evaluation of past performance

This is an evaluation of past performance that helped lead the grantee to choose its goals or projects.

Each program year of the Consolidated Plan period, the City must submit to HUD a Consolidated Annual Performance and Review Report (CAPER) with detailed information on progress towards the priorities, goals and objectives outlined in the Consolidated Plan.

In its most recent completed review of Consolidated Plan program funds, HUD has determined that the overall performance of the City's CDBG program was satisfactory.

4. Summary of Citizen Participation Process and consultation process

Summary from citizen participation section of plan.

The City of Santee conducted two public hearings to solicit public participation in the allocation of federal block grant resources. The first was held on February 10, 2021 during which public input on community needs and priorities was invited. The second hearing was conducted on February 24, 2021 during which the allocation of Program Year 2021 Community Planning and Development (CPD) funding was determined based on the estimated PY 2021 City of Santee allocation. A 30-day public review and comment period for the City of Santee Program Year 2021 Annual Action Plan began on March 26, 2021 and extended through April 26, 2021. A public hearing was held on April 28, 2021 by the Santee City Council where it sought input on the draft plan and ultimately approved the Program Year 2021 Action Plan. Public hearing dates and comment periods were published in the East County Californian and notices were published on the City's website.

5. Summary of public comments

This could be a brief narrative summary or reference an attached document from the Citizen Participation section of the Con Plan.

To be determined

DRAFT

6. Summary of comments or views not accepted and the reasons for not accepting them

To be determined.

7. Summary

This document represents the City Santee's Program Year 2021 CDBG Action Plan.

PR-05 Lead & Responsible Agencies - 91.200(b)

1. Agency/entity responsible for preparing/administering the Consolidated Plan

The following are the agencies/entities responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source.

Agency Role	Name	Department/Agency
CDBG Administrator	SANTEE	Department of Development Services

Table 1 – Responsible Agencies

Narrative

Consolidated Plan Public Contact Information

Melanie Kush, Director, City of Santee Department of Development Services,
mkush@cityofsanteca.gov

AP-10 Consultation - 91.100, 91.200(b), 91.215(l)

1. Introduction

The City of Santee conducted two public hearings to solicit public participation in the allocation of federal block grant resources. The first was held on February 10, 2021 during which public input on community needs and priorities was invited. The second hearing was conducted on February 24, 2021 during which the allocation of Program Year 2021 Community Planning and Development (CPD) funding was determined. A 30-day public review and comment period for the City of Santee Program Year 2021 Annual Action Plan began on March 26, 2021 and extended through April 26, 2021. A public hearing was held on April 28, 2021 by the Santee City Council where it sought input on the draft plan and ultimately approved the Program Year 2021 Action Plan. Public hearing dates and comment periods were published in the East County Californian and notices were published on the City's website.

Provide a concise summary of the jurisdiction's activities to enhance coordination between public and assisted housing providers and private and governmental health, mental health and service agencies (91.215(l)).

The City of Santee allocates CDBG resources to expand social services, prevent homelessness, provide emergency shelter, transitional housing, permanent supportive housing and other support services for homeless and special needs clients throughout the region. The City of Santee participates in the Regional Task Force on the Homeless (RTFH), an integrated array of stakeholders tasked with strategic planning and coordination of resources to strengthen its collective impact with the goal of ending homelessness in the San Diego region.

The City of Santee also participates in the East County Homeless Task Force (ECHTF), which is under the East County Chamber of Commerce Foundation. The role of the ECHTF is to;

- Increase service provider programs' capacity;
- Facilitate collaboration to bring funding to the region;
- Provide information about access to homeless resources;
- Act as a conduit for inserting East County needs into County-wide discussions; and
- Sponsor monthly coordinated homeless outreach meetings.

Describe coordination with the Continuum of Care and efforts to address the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans, and unaccompanied youth) and persons at risk of homelessness.

Santee is committed to addressing the needs of homeless citizens in relation to both physical and mental/behavioral health needs. The City of Santee participates in a regional Continuum of Care (Regional Task Force on the Homeless). The Regional Task Force on the Homeless provides direction on

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planning and policy issues that impact the homeless population by making updates to the Regional Plan to End Homelessness and a consolidated application to the U.S. Department of Housing and Urban Development in support of programming that assists the Santee's homeless and 'at risk' population.

Describe consultation with the Continuum(s) of Care that serves the jurisdiction's area in determining how to allocate ESG funds, develop performance standards for and evaluate outcomes of projects and activities assisted by ESG funds, and develop funding, policies and procedures for the operation and administration of HMIS

The City of Santee consulted with the Regional Task Force on the Homeless, however, the city does not directly receive HUD Emergency Solutions Grant (ESG) resources.

2. Agencies, groups, organizations and others who participated in the process and consultations

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Table 2 – Agencies, groups, organizations who participated

1	Agency/Group/Organization	CRISIS HOUSE, INC.
	Agency/Group/Organization Type	Services - Housing Services-Homeless Services – Victims of Domestic Violence
	What section of the Plan was addressed by Consultation?	Homeless Needs - Chronically homeless Homeless Needs - Families with children Homelessness Needs - Veterans Homelessness Strategy
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Attendance and testimony/involvement at public hearing. Recipient of \$30,000 in CDBG-CV funding for emergency housing services.
2	Agency/Group/Organization	SANTEE MINISTERIAL COUNCIL- SANTEE FOOD BANK
	Agency/Group/Organization Type	Services-Children Services-Elderly Persons Services-Persons with Disabilities Services-Persons with HIV/AIDS Services-homeless Services-Health

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	What section of the Plan was addressed by Consultation?	Housing Need Assessment Homeless Needs - Families with children Homelessness Needs - Veterans Homelessness Needs - Unaccompanied youth Homelessness Strategy Non-Homeless Special Needs Anti-poverty Strategy
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Attendance and testimony/involvement at public hearing.
3	Agency/Group/Organization	MEALS ON WHEELS OF GREATER SAN DIEGO
	Agency/Group/Organization Type	Services-Elderly Persons Services-Persons with Disabilities Services-Persons with HIV/AIDS
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Non-Homeless Special Needs Anti-poverty Strategy
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Attendance and testimony/involvement at public hearing.
4	Agency/Group/Organization	EAST COUNTY YMCA-CAMERON FAMILY FACILITY
	Agency/Group/Organization Type	Services-Children
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Attendance and testimony/involvement at public hearing.

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5	Agency/Group/Organization	ELDERHELP OF SAN DIEGO
	Agency/Group/Organization Type	Services-Elderly Persons Services-Persons with Disabilities Services-Persons with HIV/AIDS Services-Health
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Non-Homeless Special Needs Anti-poverty Strategy
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Attendance and testimony/involvement at public hearing.
6	Agency/Group/Organization	SANTEE SANTAS FOUNDATION
	Agency/Group/Organization Type	Services-Children Services – Families with Children Services-Elderly Persons Services-Persons with Disabilities
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs Anti-poverty Strategy
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Attendance and testimony/involvement at public hearing.
7	Agency/Group/Organization	CSA SAN DIEGO COUNTY
	Agency/Group/Organization Type	Service-Fair Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	Attendance and testimony/involvement at public hearing.

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Identify any Agency Types not consulted and provide rationale for not consulting

The citizen input process associated with the preparation of the Program Year 2021 Annual Action Plan was inclusive and involved many organizations, entities and persons.

Other local/regional/state/federal planning efforts considered when preparing the Plan

Name of Plan	Lead Organization	How do the goals of your Strategic Plan overlap with the goals of each plan?
Regional Task Force on the Homeless	San Diego Regional Continuum of Care	Seek to further the efforts of the RTFH.
City of Santee Housing Element, 2013-2021	City of Santee	The 2020-2024 City of Santee Consolidated Plan conforms with the adopted City of Santee Housing Element, 2013-2021

Table 3 - Other local / regional / federal planning efforts

Narrative

All of the Program Year 2021 CDBG applicants addressed the Mayor, City Council and members of the public viewing the virtual public hearing. The applicants provided information on the programs that would be funded by CDBG and the various needs and demographics of the persons their programs serve.

AP-12 Participation - 91.401, 91.105, 91.200(c)

**1. Summary of citizen participation process/Efforts made to broaden citizen participation
Summarize citizen participation process and how it impacted goal-setting**

Information regarding the CDBG program, resources, and local program contact information were all posted on the City website. Public notices were published in a local newspaper to inform the public of public meetings, public hearings and document public review periods, including the Program Year 2021 Annual Action Plan containing the proposed activities for the program year.

Citizen Participation Outreach

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (If applicable)
1	Newspaper Ad	Non-targeted/broad community	Notice of two Public Meetings (12/11/2020) in East County Californian	N.A.	N.A.	
2	Public Hearing	Non-targeted/broad community	Public Meetings on 2/10/2021, 2/24/2021 and 4/28/2021 to solicit public input.	Speakers at the February public hearings addressed needs of community, including elderly persons, homeless, youth, low-income and disabled.	All comments were considered.	www.cityofsanteca.gov

Table 4 – Citizen Participation Outreach

Expected Resources

AP-15 Expected Resources - 91.420(b), 91.220(c)(1,2)

Introduction

The City of Santee is a CDBG Entitlement jurisdiction. The City will receive \$297,717 in CDBG funds in Program Year 2021. The City of Santee is a member of the San Diego County HOME Investment Opportunities Consortium. The County of San Diego is recognized by HUD as a Participating Jurisdiction on behalf of the Consortium and includes HOME Program goals, activities and accomplishments in its Consolidated Plan and Annual Action Plans. The City of Santee does not receive Housing Opportunities for Persons with AIDS (HOPWA) or Emergency Solutions Grant (ESG) program funding. Please refer to the County of San Diego (www.sdhcd.com) and City of San Diego (www.sandiego.gov) Annual Action Plans for details on the goals and distribution of HOPWA and ESG funds.

The City does not anticipate a regular stream of Program Income over the course of this Consolidated Plan. Program income received from the repayment of home rehabilitation loans (CDBG and HOME) and First Time Homebuyer loans will be applied to approved current-year activities

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Anticipated Resources

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Remainder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
CDBG	public - federal	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	297,717	10	5,877	303,604	810,000	The City will make its final debt service payment for the Section 108 Loan to partially fund drainage and roadway improvements to Buena Vista and Railroad Avenues. However, the final payment will come from the prior program year allocation. The balance of resources of \$270,000/annum will be expended on public services, administration and public improvements in LMI areas of the city to be determined.

Table 5 - Expected Resources – Priority Table

Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied

While the CDBG program does not require matching funds, CDBG funds offer excellent opportunities to leverage private, local, state and other federal funds to allow for the provision of public service activities. For example, many State homes programs have scoring criteria that reward applicants who have matching funds.

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If appropriate, describe publicly owned land or property located within the jurisdiction that may be used to address the needs identified in the plan

As the housing crisis has worsened in California, utilizing publicly owned land for affordable housing development has become an increasingly popular policy solution. In January 2019, Governor Gavin Newsom issued an Executive Order directing State agencies to inventory and assess surplus State properties for their development potential. Unfortunately, the State owns just seven surplus properties, resulting in 25 total acres, in San Diego County (none are in Santee). For its part, the City regularly reviews its real estate portfolio and assesses if properties are being put to best use. However, the City has no property zoned for housing. Most City-owned properties are remnant parcels associated with improvements to the Prospect Avenue industrial collector.

Discussion

See Above.

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Annual Goals and Objectives

AP-20 Annual Goals and Objectives - 91.420, 91.220(c)(3)&(e)

Goals Summary Information

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
1	Improve community infrastructure and facilities.	2020	2024	Infrastructure		Improve Infrastructure and Facilities	CDBG: \$199,413	Public Facility or Infrastructure Activities other than Low/Moderate Income Housing Benefit: To be determined
2	Provide Public Services	2020	2024	Public Services		Public Services for LMI-Resident	CDBG: \$40,820	Public service activities other than Low/Moderate Income Housing Benefit: 16,500 Persons Assisted Homelessness Prevention: 860 Persons Assisted
3	Support Affordable Housing Opportunities LMI	2020	2024	Affordable Housing		Support Affordable Housing for LMI Residents.	CDBG: \$3,830	Public service activities for Low/Moderate Income Housing Benefit: 45 persons served – Caring Neighbors program suspended due to coronavirus pandemic.
4	Fair Housing	2020	2024	Fair Housing		Fair Housing	CDBG: \$15,500	Provide Fair Housing and Tenant\Landlord Mediation Services: 150 persons assisted.

Table 6 – Goals Summary

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Goal Descriptions

1	Goal Name	Improve community infrastructure and facilities.
	Goal Description	Provision of public facilities/infrastructure maintenance and support via CDBG resources, of which part are comprised of Section 108 loan funding.
2	Goal Name	Provide Public Services
	Goal Description	NAME: Provide public services and activities to improve the quality of life for residents, including special needs populations and individuals experiencing homelessness - Provision of housing and/or support services to clients of which many are comprised of special needs populations, to include those experiencing homelessness.
3	Goal Name	Support Affordable Housing Opportunities LMI
	Goal Description	Assist in facilitation the creation of new affordable rental and homeownership housing through acquisition, preservation, and rehabilitation.
4	Goal Name	Fair Housing
	Goal Description	Retain the services of a Fair Housing provider, promote fair housing education, and outreach within Santee.

AP-35 Projects - 91.420, 91.220(d)

Introduction

The following projects are based on the City’s identified priority needs and activities. Projects/programs that are operated citywide are noted. The majority of the projects are targeted low- and moderate-income persons, or neighborhoods in census tracts with 51% or more who are low- or moderate-income. All proposed activities are eligible and meet program service targets.

#	Project Name
1	Program Administration
2	Program Administration - Fair Housing – CSA San Diego
3	Public Services - East County Family YMCA
4	Public Services - Crisis House
5	Public Services - ElderHelp San Diego
6	Public Services - Meals on Wheels Greater San Diego
7	Public Services - Santee Food Bank
8	Public Services - Santee Santas
9	Public Services – Voices for Children
10	Public Facilities – Improvements in LMI Areas (TBD)

Table 7 – Project Information

Describe the reasons for allocation priorities and any obstacles to addressing underserved needs

Allocation priorities were established by the City of Santee City Council based on their collective knowledge of the community’s needs. The most significant obstacle to addressing underserved needs is the lack of sufficient resources to do so.

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AP-38 Project Summary

Project Summary Information

1	Project Name	Program Administration
	Target Area	Citywide
	Goals Supported	Public Facilities/Infrastructure Support Affordable Housing Production & Maintenance Public Services Support. Homeless Prevention Services Fair Housing Services
	Needs Addressed	Infrastructure Maintenance & Support Acquisition & Maintenance of Affordable Housing Support Services for Special Needs Clients Homeless Prevention & Services. Fair Housing Support
	Funding	CDBG: \$44,040
	Description	General program administration.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	N/A
	Location Description	Citywide
	Planned Activities	City of Santee administrative resources for the FY 2021/2021 CDBG program.
2	Project Name	Program Administration - Fair Housing -CSA San Diego
	Target Area	

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	Goals Supported	Fair Housing
	Needs Addressed	Fair Housing
	Funding	CDBG: \$15,500
	Description	Provide fair housing counseling and referral services. Conduct fair housing testing.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	Up to 150 residents will receive assistance with fair housing issues and landlord/tenant disputes.
	Location Description	Citywide.
	Planned Activities	Provide counseling and referral services to persons alleging violations of Fair Housing laws and persons seeking information and/or resolution regarding conflicts between tenants and landlords.
3	Project Name	Public Services - East County Family YMCA
	Target Area	Citywide
	Goals Supported	Provide Public Services
	Needs Addressed	Public Services for LMI-Residents
	Funding	CDBG: \$2,740
	Description	Provides class and program fees (scholarships) for disadvantaged youth.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	This activity will benefit up to 45 low-income and disadvantaged youth and teens (Kindergarten thru 8th Grade) in Santee schools.
	Location Description	East County (Cameron Family) YMCA, 10123 Riverwalk Drive, Santee, CA 92071

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4	Project Name	Public Services - Crisis House
	Target Area	
	Goals Supported	Provide Public Services
	Needs Addressed	Public Services for LMI-Residents
	Funding	CDBG: \$6,560
	Description	Homeless prevention/resolution through case management, food, shelter and referrals.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	Crisis House anticipates serving approximately 150 City of Santee residents. All will be at or below low- to moderate-income levels.
	Location Description	Citywide.
	Planned Activities	Address homeless issues through case management. Provide food, shelter vouchers and referrals.
5	Project Name	Public Services - ElderHelp San Diego
	Target Area	
	Goals Supported	Provide Public Services
	Needs Addressed	Public Services for LMI-Residents
	Funding	CDBG: \$3,830
	Description	Independent living support for Santee Seniors through case management and referrals.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	ElderHelp of San Diego anticipates serving 45 older adults, with an average age of 79, in the City of Santee. Ninety-six percent of those served are either low income or very low-income person, many of which are disabled.

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	Location Description	Citywide.
	Planned Activities	Provide case management and services through a trained social worker to help seniors remain in their homes by providing referrals and information.
6	Project Name	Public Services - Meals on Wheels Greater San Diego
	Target Area	
	Goals Supported	Provide Public Services
	Needs Addressed	Public Services for LMI-Residents
	Funding	CDBG: \$4,920
	Description	Administer home delivered meals to elder adults, most of whom are low- to extremely-low income.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	Meals on Wheels anticipates serving 63 unduplicated homebound low-income seniors in the city of Santee.
	Location Description	Citywide.
	Planned Activities	Provide meals to homebound Santee residents, including seniors and persons with special needs.
7	Project Name	Public Services - Santee Food Bank
	Target Area	
	Goals Supported	Provide Public Services
	Needs Addressed	Public Services for LMI-Resident
	Funding	CDBG: \$16,400
	Description	Provide emergency food assistance to community residents.

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	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	The Santee Food Bank anticipates serving 16,390 Santee residents in Program Year 2021.
	Location Description	Program serves residents citywide. Santee Food Bank is located at 9715 Halberns Blvd, Santee, CA 92071.
	Planned Activities	Provide an emergency food assistance and commodity distribution.
8	Project Name	Public Services - Santee Santas Foundation
	Target Area	
	Goals Supported	Provide Public Services
	Needs Addressed	Public Services for LMI-Resident
	Funding	CDBG: \$6,920
	Description	Provide meals, non-perishable food and school supplies to needy families and seniors.
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	The Santee Santas anticipates serving up to 710 persons with the city of Santee with food assistance through its December Holiday Program.
	Location Description	Citywide.
	Planned Activities	Assist families and individuals with nutritional assistance.
9	Project Name	Public Services - Voices for Children
	Target Area	
	Goals Supported	Provide Public Services

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	Needs Addressed	Public Services for LMI-Resident
	Funding	CDBG: \$3,280
	Description	Support Services-Abused and Neglected Foster Children
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	The Voices for Children anticipates serving two foster children with two Court Appointed Special Advocates (CASAs). CASAs are volunteers who provide a single child or sibling group with comprehensive advocacy in court and the community.
	Location Description	Citywide.
	Planned Activities	Provide CASAs for foster children in Santee.
10	Project Name	Public Facilities – Improvements in LMI Areas
	Target Area	
	Goals Supported	Improve community infrastructure and facilities.
	Needs Addressed	Infrastructure improvements in Low-and Moderate-Income Communities
	Funding	CDBG: \$199,413
	Description	Project to completed has yet to be determined. .
	Target Date	6/30/2022
	Estimate the number and type of families that will benefit from the proposed activities	To be determined.
	Location Description	LMI Census Tract areas in the City of Santee, California
	Planned Activities	To be determined.

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AP-50 Geographic Distribution - 91.420, 91.220(f)

Description of the geographic areas of the entitlement (including areas of low-income and minority concentration) where assistance will be directed

The geographic priority area for available CDBG resources is the City of Santee in its entirety. Public improvements which may occur in Program Year 2021 will be located within a CDBG-eligible census tract or otherwise qualified area.

Geographic Distribution

Target Area	Percentage of Funds
Citywide	

Table 8 - Geographic Distribution

Rationale for the priorities for allocating investments geographically

The geographic priority area for available CDBG resources is the City of Santee in its entirety. CDBG resources were allocated based on the quality and quantity of applications submitted. The allocation of CDBG in Program Year 2021 to fund public facilities will likely occur in CDBG-eligible low- and moderate-income areas and this rationale will continue through the Consolidated Plan planning period.

Discussion

The allocation of CDBG in Program Year 2021 to fund public facilities will likely occur in CDBG-eligible low- and moderate-income areas and this rationale will continue through the Consolidated Plan planning period.

AP-75 Barriers to affordable housing -91.420, 91.220(j)

Introduction

The City of Santee has a strong record of supporting affordable housing. The City has adopted numerous provisions in its Zoning Ordinance that facilitate a range of residential development types and encourage affordable housing, including flexible development standards, density bonus provisions, and reasonable accommodation procedures for persons with disabilities. In addition, the City and its former Redevelopment Agency have provided direct financial assistance to support affordable housing projects. The loss of Redevelopment Housing Funds after the dissolution of redevelopment in California in 2012, combined with reductions in federal HOME funds, has impaired the City's ability to provide direct financial assistance for future affordable housing production in the City.

In addition to funding constraints, the primary barrier to the provision of affordable housing in the City of Santee is the lack of vacant land suitable for residential development. Private lands owners hold much of the underdeveloped and residentially zoned land in the City. This calls for alternative policy tools such as local density bonus provisions, reduced on-site parking requirements and other standards ~~let consolidation and/or demolition of existing older structures~~ to accommodate higher density infill development.

Actions it planned to remove or ameliorate the negative effects of public policies that serve as barriers to affordable housing such as land use controls, tax policies affecting land, zoning ordinances, building codes, fees and charges, growth limitations, and policies affecting the return on residential investment

~~The City firmly believes that its policies and current practices do not create barriers to affordable housing.~~ In 2020, the City participated in the update of the Regional Analysis of Impediments to Fair Housing Choice, in which ~~it reviewed the City of Santee's~~ various ~~city~~ policies and regulations to reduce barriers to affordable housing were analyzed and it was determined ~~has concluded~~ ~~determined~~ that none of the above identified barriers apply to Santee. ~~se is an impediment to housing.~~ The City is currently exploring programs that affirmatively further fair housing in the Sixth Cycle Housing Element.

Discussion

The city will continue to review any new policies and procedures to ensure they do not serve as an actual constraint to development.

AP-85 Other Actions - 91.420, 91.220(k)

Introduction

This section of the Program Year 2021 City of Santee Annual Action Plan includes the actions planned to address the obstacles in meeting underserved needs, to foster and maintain affordable housing, reduce lead-based paint hazards, reduce the number of families in poverty, develop the institutional structure and enhance coordination between public and private housing and social services agencies.

Actions planned to address obstacles to meeting underserved needs

The primary obstacle to meeting all of the identified needs, including those identified as priorities, is the general deficiency of funding resources available to the public and private agencies that serve the needs of low- and moderate-income residents. The elimination of redevelopment agencies significantly impacted the city's efforts to maintain infrastructure, expand housing and promote economic development. Furthermore, entitlement grants have leveled off over recent years, further stretching funds available to provide increasing needs for services and meet the City's needs. Santee will seek to remedy obstacles by exploring alternative funding vehicles, leveraging resource investments to the maximum feasible degree and exploring new sources of municipal revenue generation.

Actions planned to foster and maintain affordable housing

Santee will continue efforts to maintain and improve the infrastructure of the city's low- and moderate-income neighborhoods as well as assist residents by helping them acquire and/or maintain affordable housing in the community. The city plans on funding specific activities that will improve the quality of life for seniors and persons with special needs as well as strengthen the local provision of homeless services and homeless prevention services.

Additionally, the City is currently in the process of updating its Housing Element. The Housing Element is the City's main housing policy and planning document that identifies housing needs and constraints, sets forth goals and policies that address these needs and constraints, and plans for projected housing needs for all income levels over an eight-year planning period that coincides with a Regional Housing Needs Allocation (RHNA).

Actions planned to reduce lead-based paint hazards

The City of Santee requires that all federally-funded projects be tested for lead-based paint and abate hazards as needed. Lead-based paint warnings are distributed with applications for property related assistance. All applicants are required to sign and return the lead-based paint warning to verify that they have read its contents and are aware of the dangers lead-based paint presents. Factors such as housing age and condition and the age of household members are taken into consideration when

determining lead-based paint danger.

Actions planned to reduce the number of poverty-level families

The City of Santee seeks to reduce the number of people living in poverty by continuing to implement its anti-poverty strategy incorporating housing assistance and supportive services. A major partner in reducing poverty in Santee is the County, which administers the CalWORKs Program. CalWORKs provides cash aid to needy families to cover the cost of essentials like housing, healthcare, and clothing. It also supports job training through the County and the Community College Districts. The County also administers CalFresh, the federally funded food assistance program that is widely regarded as one of the most impactful anti-poverty programs in the country.

As a means of reducing the number of persons with incomes below the poverty line, the City will coordinate its efforts with those of other public and private organizations serving lower income residents.

Actions planned to develop institutional structure

As the administrator of block grant programs, the Director of Development Services collaborates with City departments and outside agencies to implement the objectives established in the Consolidated Plan. The City conducts annual monitoring visits with grant subrecipients to review administrative practices and activity effectiveness.

Actions planned to enhance coordination between public and private housing and social service agencies

Santee is committed to fostering coordination between public and private housing and social service agencies. The City of Santee regularly deals with residential development entities that are both profit and non-profits. The city will continue to work with such organizations to foster the provision of affordable housing in the region and connect such housing organizations with social service providers operating and serving the City of Santee.

Discussion

In the course of monitoring CDBG-financed public services/resources to local services agencies, the City will endeavor to strengthen coordination with public and private affordable housing organizations and the San Diego County Housing Authority. Santee will continue to address the needs of persons experiencing Homelessness in relation to both physical and mental/behavioral health needs. Santee participates in a regional Continuum of Care plan.

Program Specific Requirements

AP-90 Program Specific Requirements - 91.420, 91.220(I)(1,2,4)

Introduction

The following identifies additional resources available for allocation to Program Year 2019 activities. Also identified are the amount of urgent need and percentage expended on activities that benefit persons of low- and moderate- income are provided.

Community Development Block Grant Program (CDBG)

Reference 24 CFR 91.220(I)(1)

Projects planned with all CDBG funds expected to be available during the year are identified in the Projects Table. The following identifies program income that is available for use that is included in projects to be carried out.

1. The total amount of program income that will have been received before the start of the next program year and that has not yet been reprogrammed	0
2. The amount of proceeds from section 108 loan guarantees that will be used during the year to address the priority needs and specific objectives identified in the grantee's strategic plan.	0
3. The amount of surplus funds from urban renewal settlements	0
4. The amount of any grant funds returned to the line of credit for which the planned use has not been included in a prior statement or plan	0
5. The amount of income from float-funded activities	0
Total Program Income:	0

Other CDBG Requirements

1. The amount of urgent need activities	0
2. The estimated percentage of CDBG funds that will be used for activities that benefit persons of low and moderate income. Overall Benefit - A consecutive period of one, two or three years may be used to determine that a minimum overall benefit of 70% of CDBG funds is used to benefit persons of low and moderate income. Specify the years covered that include this Annual Action Plan.	100.00%

Discussion

The City of Santee plans to expend all of its CDBG resources for the benefit of low- and moderate-income persons.

MEETING DATE April 28, 2021

ITEM TITLE WORKSHOP ON SOLID WASTE AND SB 1383 IMPLEMENTATION

DIRECTOR/DEPARTMENT

Bill Maertz, Director of Community Services *WMM*

SUMMARY

State-mandated organic waste recycling requirements (SB 1383, AB 1826 and AB 1594) seek to reduce methane emissions by separating food waste from the trash stream. No later than January 1, 2022, all jurisdictions must provide organics collection to all residents and businesses. In addition, green yard waste used as cover in landfills will no longer be treated as recycled material and will instead be hauled to recycling facilities. Implementation of these mandates will substantially increase the cost of service delivery for all jurisdictions.

On August 12, 2020, the City Council adopted a resolution approving an Amended and Restated Exclusive Franchise Agreement for Solid Waste Management Services with USA Waste of California, Inc. dba Waste Management, Inc. which included provisions implementing regulations established by SB 1383 and adjusting customer rates. Santee customer rates remain near countywide averages for comparable levels of service.

This workshop will provide additional background on State-mandated organic waste recycling requirements and the City's implementation of these mandates.

FINANCIAL STATEMENT *m*

There is no fiscal impact with this item.

CITY ATTORNEY REVIEW

N/A • Completed

RECOMMENDATION *MSB*

Receive report and provide direction as needed.

ATTACHMENT

None



MEETING DATE April 28, 2021

ITEM TITLE **APPROPRIATION OF FUNDS FOR SANTEETV IMPLEMENTATION COSTS**

DIRECTOR/DEPARTMENT Marlene D. Best, City Manager

SUMMARY

On October 9, 2019, the City Council authorized the collection of public, educational and governmental (“PEG”) fees, which are now collected by the City’s two cable television video service providers (Cox and AT&T) and remitted to the City. The PEG fees were intended to help the City implement the Council Chamber Audio/Visual upgrade project to allow for live streaming of meetings and in turn, launch of the PEG channel, which shall now be known as SanteeTV.

As the City continues to navigate its way through the pandemic, we are finding more ways to adapt and connect with our community. Now, more than ever, SanteeTV will help offer an additional communication tool to stay connected with our citizens, as well as potential visitors and businesses from outside the City.

The Fiscal Year 2020-21 adopted budget did not include funding to implement SanteeTV beyond those costs incurred as part of the Council Chamber Audio/Visual Upgrade project. To get SanteeTV up and running before the end of the fiscal year, the City needs to appropriate funding for start-up costs, such as: video production equipment and related software; network data and connection fees; part-time staff to help create continuous content; training; and promotion of the new channel. Some of these expenses will be reimbursed by PEG fees, as the fees can be used for capital/equipment costs related to the implementation and operation of live streaming and SanteeTV activities.

FINANCIAL STATEMENT *m*

A General Fund appropriation in the amount of \$15,150 is required to successfully launch the SanteeTV channel prior to the end of the fiscal year, June 30, 2021. It is estimated that \$7,520 of this appropriation will be reimbursed by PEG fees.

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION *MAB*

Authorize the appropriation of \$15,150 to implement and launch SanteeTV prior to the end of the fiscal year.

ATTACHMENT

SanteeTV Proposed Operating Budget for FY 2020-21



SanteeTV
Proposed Budget FY 2020-2021
1001.05.1403.XXXXX

April 21, 2021

	Proposed Budget FY 2020-21	Reimbursable by PEG Fees	Notes
Professional Development 51110			
Video Editing Classes/Online courses	150		Bree and Part-time person
Filming Classes/Online courses	150		Bree and Part-time person
SubTOTAL	300		
Printing & Duplicating 51120			
	200		
Telephone & Fax 51121			
Cox (ethernet/network services @ 1175 N. Cuyamaca)	300		\$147.55/month
Cox (ethernet/network services @ City Hall)	320		\$159.75/month
Cox (past* ethernet/network services fees)	690		
SubTOTAL	1,310		
Promotional Activities 51131			
Ads	200		
Social Media boosts	500		
SubTOTAL	700		
Software Maintenance & Licensing 51201			
Adobe Creative Cloud	1,000	X	
Canva pro + one person	180	X	
SubTOTAL	1,180		
Minor Equipment 51361			
Camera	800	X	
Teleprompter	960	X	
Tablet	330	X	
Green Screen	425	X	
Lights	350	X	
Memory Card	100	X	
Mic	230	X	
Tripod	220	X	
Monpod	175	X	
Camera carrying bag	50	X	
New computer/workstation	1,200	X	Part-time person/student intern
Misc. Bag, Lenses, Flash, Batteries	1,500	X	Contingency / Back up items
SubTOTAL	6,340		
TOTAL Non-Personnel	\$ 10,030		
TOTAL Estimated Personnel	\$ 5,120		
OVERALALL TOTAL	\$ 15,150		
COVERED BY PEG FEES	\$ 7,520		

Note: music licensing is covered by the network provider

*March & April for services at Cuyamaca: \$398.38
February & March for service at City Hall: \$287.55

**Part Time Temporary Salaries
FY 2020-21 Proposed Budget**

Department:CM- SanteeTV 1001.05.1403.50020

Department:Events - 1001.02.5309.50020

<u>Position/Classification</u>	<u>Department #</u>	<u>Hourly Rate</u>	<u>Estimated Hours</u>	<u>Gross Wages</u>	<u>PERS or PARS</u>
Recreation Leader 2021	1403	\$ 15.75	300	4,725	<u>PARS</u>
Recreation Leader 2021 May - June	5309	\$ 15.75	30	473	<u>PARS</u>
Total			300	<u>\$ 5,198</u>	

PARS @ 3.75%	\$	194.91
Medicare	\$	200.00
Estimated Total for 1403	\$	5,119.91

MEETING DATE April 28, 2021

ITEM TITLE RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA AUTHORIZING THE EXECUTION OF A PROFESSIONAL SERVICES AGREEMENT WITH SDI PRESENCE LLC FOR THE PROCUREMENT OF AN AUTOMATED LAND MANAGEMENT AND PERMITTING SYSTEM

DIRECTOR/DEPARTMENT

Melanie Kush, Development Services



SUMMARY

The Department of Development Services is taking the lead in the City's efforts toward procurement and implementation of an automated land management and permitting system ("Project"). As a top priority of the City Council is to implement an automated land management and permitting system, staff requests the technical expertise of a company that has experience helping municipalities select and implement land management and permitting systems. Three firms responded to a Request for Proposals (RFP), and based on the results of interviews held on April 5, 2021, staff is recommending SDI Presence LLC ("SDI").

SDI, with California offices, is a management consulting firm that helps public sector clients implement information technology. SDI has delivered planning, procurement, and project management services to almost 200 California public agencies, including recent engagements with California cities that include the City of Glendale, City of Chino Hills, City of Gilroy, City of Merced and the City of Indio. References confirmed that the proposed team is a highly professional and very knowledgeable team that understands the Project objectives, scope, and timeline for implementation. The scope of work is defined in five (5) phases:

1. Initiation
2. Needs Assessment/Requirements Development
3. RFP Development, Release and Administration
4. Proposal Evaluation and Selection; and
5. Contract Negotiations.

All three proposals were evaluated closely for experience with similar engagements, the experience of the team members assigned to the Project, and the cost effectiveness of their proposal compared to the proposed work plan. While the other two proposals were lower in cost (\$68,815 and \$44,800) SDI is recommended for its thorough work plan, focused experience and expertise.

The process with SDI is estimated to take 30 weeks, after which time staff would return to the City Council with a request to award a vendor contract. The attached Resolution provides for City Manager authorization to enter into a Professional Services Agreement with SDI in an amount not to exceed \$69,985, thereby providing the essential technical staff support necessary to successfully implement the Project.

ENVIRONMENTAL REVIEW This Project is not subject to the California Environmental Quality Act because it is not a "project" (14 Cal. Code Regs., § 15378) as it would not result in a physical change in the environment.

FINANCIAL STATEMENT *mm*

A not-to-exceed amount of \$69,985 will be funded from the General Fund as part of the Permitting and Land Management System Project in the adopted Capital Improvement Program budget.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *MAB*

Adopt resolution authorizing the execution of a Professional Services Agreement with SDI Presence LLC for the selection and procurement of an automated land management and permitting system.

ATTACHMENTS

Resolution

SDI Proposal Response to City-issued RFP dated March 22, 2021

RESOLUTION NO.

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA
AUTHORIZING THE EXECUTION OF A PROFESSIONAL SERVICES AGREEMENT
WITH SDI PRESENCE LLC FOR THE PROCUREMENT OF AN AUTOMATED LAND
MANAGEMENT AND PERMITTING SYSTEM**

WHEREAS, the procurement of an automated land management and permitting system is a top priority of the City Council; and

WHEREAS, the City desires the technical expertise of a firm to assist with the administration and management of the procurement process that includes a needs assessment, the development of a new Request for Proposals, the review of proposals and the selection of a vendor; and

WHEREAS, on March 1, 2021, the City issued a Request for Proposals for consulting services for the procurement of an integrated land management and permitting system and three Proposals were submitted to the City on March 22, 2021; and

WHEREAS, SDI Presence LLC was selected based upon the firm's thorough work plan, focused experience and expertise with similar municipal contracts; and

WHEREAS, SDI Presence LLC provides for a not-to-exceed cost of services in the amount of \$69,985.00, which will be funded from the General Fund as part of the "Permitting and Land Management System" project in the adopted Capital Improvement Program budget.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Santee, California, authorizes the City Manager to execute a Professional Services Agreement with SDI Presence LLC in an amount not to exceed \$69,985.00.

ADOPTED by the City Council of the City of Santee, California, at a Regular Meeting thereof held this 28th day of March, 2021, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

ANNETTE ORTIZ, CMC, CITY CLERK



A proposal to the

City of Santee

for Consultant Services for the Procurement of an
Integrated Land Management and Permitting System

March 22, 2021

Respectfully submitted by



SDI Contact:
Patrick Griffin
6080 Center Drive, 6th Floor
Los Angeles, CA 90045
714-975-4150

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Transmittal Letter

March 22, 2021

Mr. Tim McDermott, Director of Finance
City of Santee
10601 Magnolia Avenue – Building 3
Santee, CA 92071-1222

RE: Land Management & Permitting System Procurement Consulting Services

Dear Mr. McDermott:

SDI Presence LLC is pleased to submit this proposal to the City of Santee to provide professional consulting services to assist the City in the selection of an enterprise land management and permitting system (LMS). We believe our proposal will clearly demonstrate that SDI offers the City an experienced, proven, and qualified consulting team to support the City's goal of acquiring an enterprise LMS to meet the needs of the organization.

Our Company. SDI is a California-based management consulting firm with a singular focus on helping California public sector clients implement and use information technology. The company was founded on the belief that project success starts with effective planning. SDI has delivered planning, procurement, and project management services to more than 190 California public agencies.

Our Understanding. Based on our discussions regarding the procurement of a new LMS system for the City, SDI has identified the following key areas that we believe will help result in a successful procurement process:

- ◆ Carefully review relevant documents and data available to become completely familiar with current processes related to the City's land management functions
- ◆ Review the current list of system requirements developed by City staff to help determine areas for potential additional discovery / data gathering activities
- ◆ Utilize the information reviewed above as the basis for a comprehensive data gathering process with staff in all City departments that may benefit from the utilization of a new land management system
- ◆ Identify new system requirements, integration opportunities to streamline current processes, process efficiencies to enhance permitting services, and other improvement recommendations for the City's consideration
- ◆ Review the City's existing draft Request for Proposal (RFP) and provide recommendations to ensure an RFP that allows the vendor community to provide quality responses and enables the City evaluators to accurately evaluate proposal responses
- ◆ Identify proven LMS solution providers to ensure the City receives a strong response to the RFP
- ◆ Facilitate an organized evaluation and selection process that ensures the City selects the best fit solution
- ◆ Assist the City in developing a negotiation strategy and ensuring comprehensive agreements that provide the basis for a successful implementation
- ◆ Create and maintain key project management deliverables (i.e. project plan, schedules, resource and budget tracking, etc.)

Our Team. For Santee's project, SDI has assembled an experienced team of consultants who are well versed in enterprise system procurement and implementation for California local government agencies.

The proposed team has a long history of successfully working together using our proposed approach and methodology and has completed similar LMS projects for other municipalities. We are excited about the resources we are offering the City and firmly believe this team brings unparalleled knowledge, expertise, and depth required to ensure the successful procurement of an enterprise land management system.

Our Approach. SDI's proven system procurement and selection methods are designed specifically to ensure an enterprise perspective so the City obtains the maximum benefit from the new system. SDI recognizes that the success of the LMS project will ultimately be defined in business or operational terms such as streamlined functionality, improved productivity, and enhanced customer service. To that end, our proven approach and extensive experience will help ensure the City selects the best LMS for its specific needs.

Our Success. SDI has been delivering successful IT planning, procurement, and project management services to California public sector clients since 1999. As project management professionals, SDI recognizes the need to apply project management processes and standards to our consulting engagements. To ensure the City's objectives are met, SDI's approach will include the following:

- ◆ Use of a structured, proven approach to ensure a comprehensive understanding of the City's requirements and needs
- ◆ Fully identifying and disclosing potential risks and realistic risk mitigation strategies
- ◆ Managing the expectations of users and stakeholders throughout the process to ensure a realistic level of expectation upon selection of the enterprise LMS system
- ◆ Minimizing disruption to daily City operations
- ◆ Establishing solid project management practices including schedule, time and resource management; communications management; issues management; risk management; and quality management

Our Experience. SDI has successfully completed numerous enterprise procurement projects for clients both large and small, and we provide a detailed list of past clients in this proposal. In terms of land management systems, members of the team being proposed for the City's project successfully completed similar projects for the cities of Paso Robles, Newport Beach, Glendale and Chino Hills. In addition, members of the proposed team assisted the city of Paso Robles with system implementation through a subsequent project management agreement. Most indicative of our success is that our clients are willing to ask us back to perform additional work and refer us to other organizations without hesitation.

If you have any questions about this proposal, I can be reached at 714-975-4150 or via email at pgriffin@sdipresence.com. We appreciate the opportunity to submit a proposal and look forward to partnering with the City of Santee.

Sincerely,



Patrick Griffin, Vice President
SDI Presence LLC

Technical Information

Firm Qualifications

SDI is a management consulting firm that helps public sector clients enhance their use of information technology. SDI has worked with more than 190 California state and local government agencies to complete Request for Proposal (RFP) development and Procurement Management efforts, IT Assessments, IT Strategic Plans, GIS Strategic Plans, Network Assessments, IT Service Level Assessments, Policy / Procedure Documentation development, Project Management Organization implementations, Feasibility Studies. Figure 1 illustrates SDI’s full range of IT services.

CONSULTING	TECHNOLOGY DELIVERY			PRESENCE SM MANAGED SERVICES
	APPLICATIONS	INFRASTRUCTURE	SECURITY	
<ul style="list-style-type: none"> • New System Implementation Project Management • Organizational Change Management • Quality Assurance Services • IT Strategic Planning • IT/Project Assessments • IT Governance • Interim CIO/CTO • Digital Transformation Services 	<ul style="list-style-type: none"> • Requirements Assessment • Selection and Procurement • Business Process Reengineering • QA/Testing • Project Management • Implementation and Integration 	<ul style="list-style-type: none"> • Network Engineering • Data Center • Hybrid Cloud • Hyperconverged Infrastructure/ Software • Defined Data Center (SDDC) • VoIP Services 	<ul style="list-style-type: none"> • Organization Policies and Procedures • Enterprise Vulnerability Assessments • Cyber Awareness Training • Cyber Remediation Services • Disaster Recovery/ Business Continuity • Identity Management • Integrated Public Safety Systems 	<ul style="list-style-type: none"> • ITSM Service Desk • IT Infrastructure Managed Services • Enterprise Application Managed Services • Managed Security Services • Public Safety Systems Managed Services • Real Estate Data Managed Services

Figure 1 - SDI Services

SDI is headquartered in Chicago IL with west coast offices in Sacramento and Los Angeles. SDI employs 240 full-time staff, including the California team of approximately 20 consultants. The proposed team for the City’s project is presented in the **Staff Qualifications and Experience** section of our proposal. All proposed resources are located in Southern California, and thus are available to serve on-site during the project engagement whenever needed. We are open to working 100% remotely or a combination of remotely and on-site, depending on the City’s COVID-19 protocols.

Firm Experience

As shown in Table 1, SDI has a strong record of accomplishment in providing technology consulting services for California public sector clients. A significant number of our client projects are of similar scope and size to what the City of Santee is seeking.

Table 1 - SDI Local Government Experience

	IT Strategic Plans	IT Assessments	IT Policies & Procedures	Project Management	IT Governance	Disaster Recovery Planning	System Selection & Procurements	Other Management Consulting
Municipalities								
Alameda, CA		✓					✓	✓
Anaheim, CA	✓						✓	✓
Belmont, CA	✓							
Beverly Hills, CA	✓	✓						✓
Branson, MO	✓	✓						✓
Burbank, CA	✓	✓						
Burlingame, CA				✓			✓	
Carson, CA				✓				
Carson City, NV	✓	✓					✓	✓
Chino Hills, CA				✓			✓	✓
Concord, CA				✓				✓
Coronado, CA			✓	✓			✓	✓
Costa Mesa, CA								✓
Cupertino, CA	✓	✓						
Davis, CA							✓	✓
El Segundo, CA	✓	✓						
Fairfield, CA	✓	✓	✓		✓	✓	✓	✓
Fremont, CA				✓			✓	✓
Fresno, CA	✓	✓					✓	✓
Galt, CA	✓	✓	✓	✓	✓	✓	✓	✓
Gilroy, CA	✓	✓		✓			✓	✓
Glendale, CA	✓	✓		✓			✓	✓
Half Moon Bay, CA				✓			✓	
Huntington Beach, CA	✓	✓			✓			✓
Indio, CA							✓	
Industry, CA				✓				
Irvine, CA		✓		✓	✓	✓		✓
La Quinta, CA				✓			✓	✓
Laguna Beach, CA	✓	✓						
Long Beach, CA				✓			✓	✓
Los Angeles, CA				✓				✓
Los Banos, CA	✓	✓						
Manhattan Beach, CA	✓	✓			✓		✓	✓
Merced, CA			✓				✓	✓
Millbrae, CA							✓	
Napa, CA	✓	✓			✓			✓
Newport Beach, CA					✓		✓	✓

	IT Strategic Plans	IT Assessments	IT Policies & Procedures	Project Management	IT Governance	Disaster Recovery Planning	System Selection & Procurements	Other Management Consulting
Novato, CA	✓	✓			✓			✓
Ontario, CA		✓						
Orange, CA	✓	✓			✓		✓	✓
Oxnard, CA	✓	✓						
Pasadena, CA							✓	✓
Paso Robles, CA				✓			✓	✓
Petaluma, CA							✓	
Pismo Beach, CA	✓	✓					✓	
Pleasant Hill, CA							✓	
Rancho Cordova, CA	✓	✓						✓
Rancho Palos Verdes, CA	✓	✓					✓	✓
Redlands, CA							✓	
Redwood City, CA	✓	✓		✓			✓	
Rohnert Park, CA	✓			✓			✓	✓
San Luis Obispo, CA	✓	✓					✓	✓
San Rafael, CA	✓	✓		✓	✓		✓	✓
San Ramon, CA				✓			✓	
Santa Clara, CA	✓	✓	✓	✓	✓		✓	✓
Santa Cruz, CA	✓	✓	✓		✓			✓
Stockton, CA	✓	✓		✓	✓			✓
Suisun City, CA				✓			✓	
Sunnyvale, CA							✓	
Vacaville, CA							✓	
Ventura, CA	✓	✓			✓			✓
Visalia, CA	✓	✓			✓			
Walnut Creek, CA	✓	✓			✓			✓
Watsonville, CA	✓	✓		✓				✓
Counties								
Douglas County, Nevada		✓						✓
El Paso County, Texas	✓	✓						
Lane County, Oregon	✓	✓						
Placer County, CA							✓	✓
Riverside County, CA								✓
San Benito County, CA				✓				✓
San Diego County, CA				✓				✓
Santa Clara County, CA				✓				✓
Sonoma County, CA				✓				✓
Special Districts								
Central Contra Costa Sanitation District	✓	✓	✓	✓	✓		✓	✓
Chino Valley Independent Fire District				✓			✓	✓
Cosumnes Community Services District				✓			✓	
Cucamonga Valley Water District							✓	
Delta Diablo Sanitation District	✓	✓						✓
East Valley Water District	✓	✓						
Lake Arrowhead Community Services							✓	

	IT Strategic Plans	IT Assessments	IT Policies & Procedures	Project Management	IT Governance	Disaster Recovery Planning	System Selection & Procurements	Other Management Consulting
Las Virgenes Municipal Water District	✓	✓				✓	✓	
Monterey Regional Water P.C.A.	✓	✓						
Moulton Niguel Water District	✓	✓	✓	✓	✓		✓	✓
North Tahoe Public Utilities District	✓	✓						
Port of Los Angeles	✓	✓						
Rancho California Water District	✓	✓			✓			✓
Riverside Co. Trans. Commission				✓				
Sacramento Area Sewer District								✓
Sacramento Metropolitan Fire District		✓					✓	
Sacramento Municipal Utility District								✓
San Joaquin Council of Governments							✓	
San Bernardino County Fire								✓
Santa Clara County Fire Department		✓						✓
Santa Clara County Housing Authority	✓	✓						
Santa Clara Valley Water District							✓	
Silicon Valley Clean Water							✓	
Silicon Valley Power	✓			✓			✓	✓
South Tahoe Public Utility District	✓	✓			✓	✓	✓	
West Basin Municipal Water District	✓	✓			✓			
Zone 7 Water Agency	✓	✓						
State of California								
Assoc. of Regional Center Agencies				✓			✓	
CA Correctional Health Care Services				✓				✓
California Highway Patrol	✓	✓	✓	✓	✓	✓	✓	✓

Staff Qualifications and Experience

SDI’s foundation is in talented, high-caliber individuals guided by the personal and professional principles of honesty, integrity, quality, and a commitment to client satisfaction. This foundation and associated ethics help us to attract and retain a veteran staff that inspires confidence in our clients.

Our proposed team has extensive hands-on experience in similar application procurement efforts in California, as well as a demonstrated history of successfully working together. For this project, SDI proposes utilizing the following team:

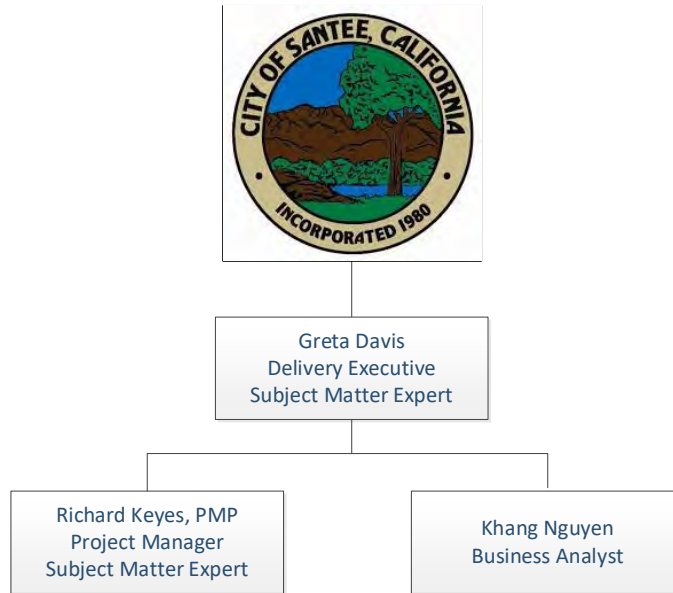


Figure 2 – Proposed Project Team

Greta Davis – Engagement Manager / Subject Matter Expert

Role: For this project, Ms. Davis will serve as the engagement manager and will be the City’s contact in the event of any need for escalation of issues related to the project. She will also participate in presentations to City staff and elected officials.

Background: Ms. Davis offers more than 25 years of experience in all facets of financial, organizational, and operational consulting for local government clients. A majority of her professional experience includes agency-wide cost of service analysis; financial plans; local governance; and operational improvement strategies for local government agencies. All SDI consultants in Southern California report to Ms. Davis, ensuring that the SDI team have easy access to all SDI resource expertise.

Richard Keyes, PMP - Project Manager / Subject Matter Expert

Role: For this project, Mr. Keyes will provide day-to-day project management, including schedule coordination and management and status update reporting, along with providing subject matter expertise for the LMS procurement activities.

Background: Mr. Keyes is an experienced Project Manager with more than 25 years of experience in assisting organizations that are implementing and upgrading their technology portfolio. During his career, he spent more than ten years in senior management positions in state government and nearly twenty years in program/project management and vendor management in demanding public sector environments. Mr. Keyes’ background in IT procurement, governance, and strategic planning will be a major asset to the City.

In addition to several IT Strategic Planning and ERP procurement engagements, Mr. Keyes has completed LMS procurements for the cities of Paso Robles, Newport Beach, Glendale, Indio, Gilroy, Merced, and Chino Hills. Mr. Keyes also provided project management support during new system implementation for the City of Paso Robles.

Khang Nguyen – Business Analyst


Role: For this project, Mr. Nguyen will provide focused assistance to the SDI project team, including reviewing and editing project deliverables, coordinating scheduling activities, and supporting the project team with various activities.

Background: A UCLA graduate in Economics, Mr. Nguyen has worked on several IT-related projects including the City of Chino Hills land management procurement, City of Ontario ERP procurement, City of Yorba Linda ERP implementation, and several other projects in Southern California.


Similar Engagements with other Government Entities

SDI has completed numerous enterprise software procurement engagements for public agencies over the past several years. Provided below are five references for similar projects.


Reference No. 1

Name of Organization	City of Glendale, CA	
Project Type	ERP Procurement and PM Services LMS Procurement and PM Services	
Name of Contact	Jason Bradford, CIO	
Telephone and Email	818-548-4093 jbradford@glendale.gov	
Description of Project	<p>ERP Project – SDI assisted with the selection of a new ERP system to replace the City’s existing system. SDI took the City through a needs assessment, requirements development and RFP, vendor evaluation and selection, and contract negotiations. SDI subsequently provided comprehensive project management services for the implementation of the Tyler Munis software system, including assisting with the adoption of best business practices, training staff on the new system, and providing general oversight and quality assurance services, interfacing with and managing Tyler during all project activities.</p> <p>LMS Project – SDI managed the procurement process to identify a new land management system, including the needs assessment, RFP and requirements development, vendor evaluation and selection, and contract negotiations for the new system. SDI was recently engaged to provide project management during the new system implementation.</p>	


Reference No. 2

Name of Organization	City of Chino Hills, CA	
Project Type	ERP Procurement and PM Services LMS Procurement Services	
Name of Contact	Matt Jester, I.T. Manager	
Telephone and Email	909-364-2643 mjester@chinohills.org	
Description of Project	<p>ERP Project – SDI assisted with the selection of a new ERP system to replace the City’s existing system. SDI took the City through a needs assessment, requirements development and RFI, vendor evaluation and selection, and contract negotiations. SDI subsequently provided comprehensive project management services for the implementation of the Tyler Munis software system, including assisting with the adoption of best business practices, training staff on the new system, and providing general oversight and quality assurance services, interfacing with and managing Tyler during all project activities.</p> <p>LMS Project – SDI managed the procurement process for a new land management system for the City, including needs assessment, RFP development, vendor evaluation and selection, and contract negotiations for the new system.</p>	


Reference No. 3

Name of Organization	City of Gilroy	
Project Type	ERP Procurement and PM Services LMS Procurement and PM Services	
Name of Contact	Jimmy Forbis, City Manager	
Telephone and Email	408-846-0250 Jimmy.forbis@ci.gilroy.ca.us	
Description of Project	<p>ERP and LMS Procurement – SDI assisted with the selection of new ERP and LMS systems to replace the City’s existing systems. SDI took the City through a needs assessment, requirements development and RFP, vendor evaluation and selection, and contract negotiations.</p> <p>ERP and LMS Project Management – SDI provided comprehensive project management services for the implementation of the Tyler Munis financial software system and the EnerGov LMS system, including assisting with the adoption of best business practices, training staff on the new systems, and providing general oversight and quality assurance services, interfacing with and managing Tyler during all project activities.</p>	

Reference No. 4

Name of Organization	City of Merced	
Project Type	ERP Procurement and PM Services LMS Procurement and PM Services	
Name of Contact	Jeff Bennyhoff, Director of I.T.	
Telephone and Email	209-385-6829 bennyhoffj@cityofmerced.org	
Description of Project	<p>ERP and LMS Procurement – SDI assisted with the selection of new ERP and LMS systems to replace the City’s existing systems. SDI took the City through a needs assessment, requirements development and RFP, vendor evaluation and selection, and contract negotiations.</p> <p>ERP and LMS Project Management – SDI provided comprehensive project management services for the implementation of the Tyler Munis financial software system and the EnerGov LMS system, including assisting with the adoption of best business practices, training staff on the new systems, and providing general oversight and quality assurance services, interfacing with and managing Tyler during all project activities.</p>	

Reference No. 5

Name of Organization	City of Indio	
Project Type	ERP Procurement LMS Procurement	
Name of Contact	Ian Cozens, Director of I.T.	
Telephone and Email	760-391-4100 icozens@indio.org	
Description of Project	<p>ERP Project – SDI assisted with the selection of a new ERP system to replace the City’s existing system. SDI took the City through a needs assessment, requirements development and RFP, vendor evaluation and selection, and contract negotiations.</p> <p>LMS Project – SDI managed the procurement process for a new land management system, including a needs assessment, RFP development, vendor evaluation and selection, and contract negotiations. Unfortunately, due to the COVID-19 pandemic, the City was forced to suspend the final phase of procurement until financial conditions allow for the purchase of a new system.</p>	

Project Approach

The City is seeking assistance from an experienced and qualified consulting firm to serve as the City's owner representative and assist the City in the procurement of an enterprise land management system (LMS). SDI understands that the City wishes to select a new LMS that will provide the advanced capabilities offered by leading vendors while allowing flexibility to accommodate the City's unique needs. The system procurement and implementation should provide the City with a cost-effective system capable of supporting all City departments that utilize any aspect of the land management, planning and permitting system.

The scope of this project starts with a comprehensive needs assessment and ends with the selection and procurement of a new land management system. For this project to be successful, it must incorporate input from each department that is involved in the City's land management, planning and permitting activities. By taking an enterprise approach from the outset of the project, it will promote a city-wide understanding of the project, establish realistic expectations, and ultimately ensure buy-in to the new system. For this reason, SDI's methodology puts an emphasis on heavy involvement and interaction with the users.

SDI is familiar with the problems and issues that can arise in developing RFPs for enterprise applications. We are skilled in managing multiple, and often conflicting, visions, missions, needs, and priorities. Our approach helps ensure staff buy-in by building organization-wide understanding and consensus in the published RFP.

SDI believes a critical component of this project is to ensure that the City's key stakeholders understand the resources, risks, timeline, and have appropriate expectations prior to the City signing an agreement with a solution provider. To accomplish this, SDI's approach includes the following guiding principles:

- ◆ Use of a structured, proven methodology to ensure comprehensive understanding of requirements and operational needs at all levels
- ◆ Obtaining input from key staff while minimizing disruption to daily operations
- ◆ Fully identifying and disclosing the potential risks and providing realistic risk mitigation strategies
- ◆ Managing the expectations of users and stakeholders throughout the process to ensure a realistic level of expectation upon implementation and operation of the new system
- ◆ Establishing solid project management practices from the outset of the project

It is important to note that successful procurements have several characteristics in common, including:

- ◆ Involving the impacted staff in developing the requirements, attending vendor proof of capabilities, performing vendor evaluations, site visits, and reference checking. This provides multiple venues to allow staff voices to be heard
- ◆ Performing a detailed analysis of organization and department business / operational processes and requirements. This enables the organization to identify mandatory requirements, optional capabilities, and additional desirable features
- ◆ Following a formal procurement process, including scripted vendor proof of capabilities. When done appropriately, the process should encourage vendor creativity and competitiveness to be leveraged to the City's advantage
- ◆ Using an objective enterprise-wide evaluation process for RFP responses. This is essential for a fair and unbiased procurement, to obtain department buy-in, and to eliminate problems associated with flashy promotions and high-pressure sales tactics

Throughout the project, communication among the various participants is critical to the successful completion of all tasks. SDI will work closely with the City in communicating status through written status reports and regular oral project status presentations.

SDI has segmented the proposed scope of services into the following phases as depicted in Figure 3 below:

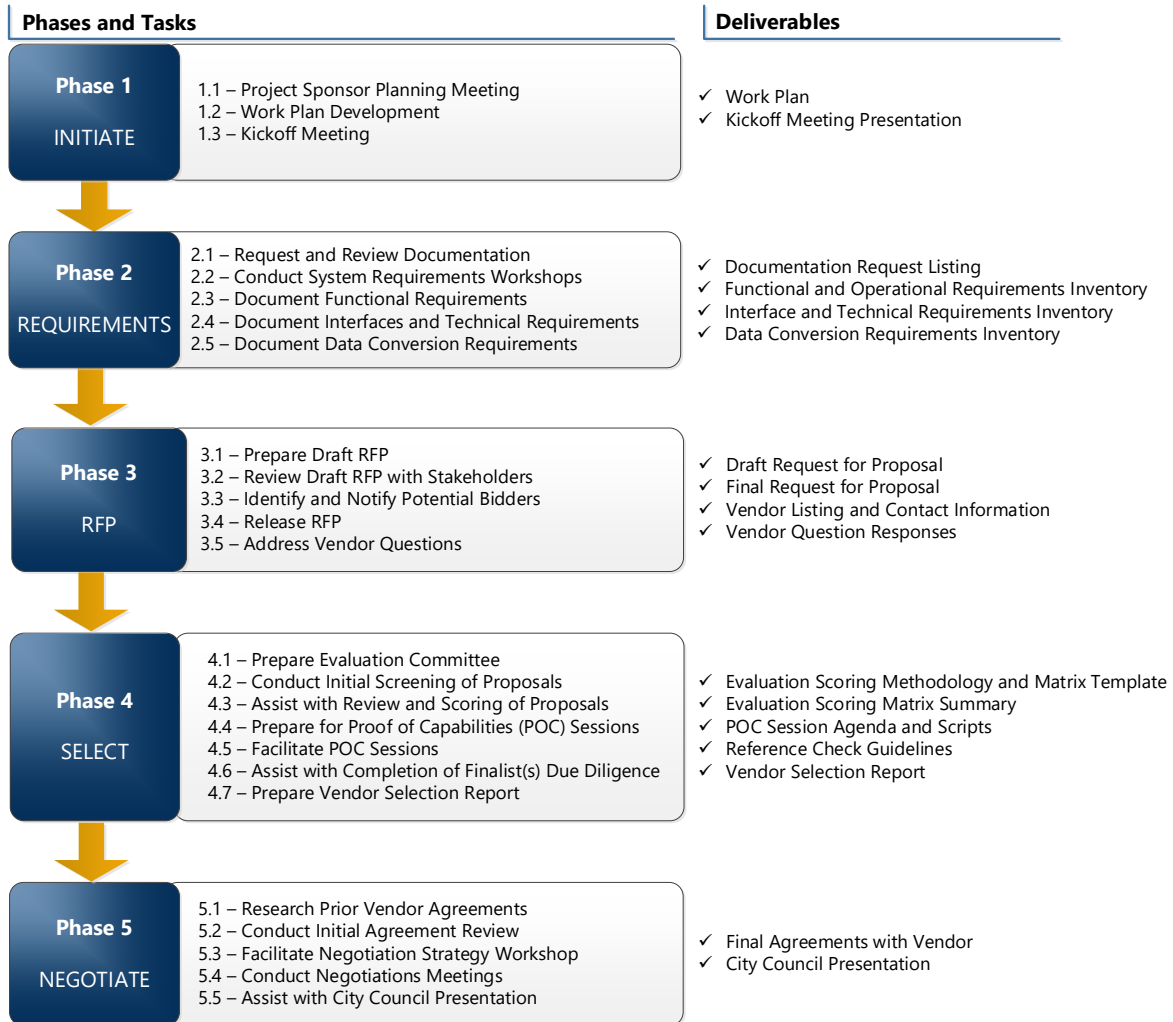


Figure 3 – Project Approach and Deliverables

In the remainder of this section, we discuss each phase in detail, including associated tasks, activities and deliverables.

Phase 1 – Project Initiation

The purpose of the Project Initiation Phase is to prepare for, and initiate, the project under a well-defined work plan. This phase includes confirming our understanding, as well as the understanding of the stakeholders, regarding the scope of work and the process for accomplishing the overall objectives of the project. SDI recognizes the need to apply project management processes and standards to our projects that include the following:

- ◆ Confirm understanding of project goals and objectives at all levels of the City
- ◆ Identify potential risks, and working with the City, develop realistic risk mitigation strategies

- ◆ Communicate expectations to participants and stakeholders to ensure expectations are proactively managed
- ◆ Complete activities in a way that minimizes disruption to daily City operations

The following table identifies each activity and associated deliverables.

Phase 1 Activities and Deliverables

Phases and Tasks	Deliverables
<div style="background-color: #003366; color: white; padding: 10px; display: inline-block; text-align: center;"> Phase 1 INITIATE </div> <ul style="list-style-type: none"> 1.1 – Project Sponsor Planning Meeting 1.2 – Work Plan Development 1.3 – Kickoff Meeting 	<ul style="list-style-type: none"> ✓ Work Plan ✓ Kickoff Meeting Presentation
1.1 Project Sponsor Planning Meeting	
<p>TASK DESCRIPTION: SDI will meet with the City’s Project Sponsor and other key staff to complete a detailed review of the scope of work, project timeline, deliverables, project status methods, project participants (i.e. sponsor, subject matter experts, technical resources, etc.), and other items to ensure a well-planned project. During this meeting, SDI will discuss the tools and templates that will be leveraged.</p>	
1.2 Work Plan Development	
<p>TASK DESCRIPTION: SDI will publish a Work Plan that identifies the project approach, methods, tasks, activities, resources, schedule, deliverables, and major milestones.</p> <p>DELIVERABLE: Work Plan</p>	
1.3 Kickoff Meeting	
<p>TASK DESCRIPTION: Since the project will have a Citywide impact, it is important to proactively communicate with all impacted staff to ensure a clear understanding of project goals and objectives, roles and responsibilities, approach, tasks, and timeline. The Kickoff Meeting also provides the opportunity to introduce the SDI team to City staff and should involve senior level management and project sponsors to provide introduction of this Citywide endeavor. It is important that all City staff that will be involved in the project, regardless of their role, participates in a project kickoff.</p> <p>DELIVERABLE: Kickoff Meeting Presentation</p>	

Phase 2 – Assessment and Requirements Development

During this phase, SDI will perform a thorough assessment of the current environment capabilities, functions, and interfaces. All current features and functions will be documented, listed, and evaluated to determine if they are still required.

The current environment assessment will help us determine the system features and functions that must be replaced. The capabilities of the current system that are still required provide a starting point for requirements and specifications of the replacement system. Complete documentation of current environment and systems will also facilitate planning for an automated conversion of data to the replacement system.

Once the current environment is fully understood and documented, it is important to identify opportunities for improving processes, eliminating unnecessary procedures, increasing information sharing, and automating workflow. As part of this phase, SDI will review readily available information and document any features not included in the current system that should be considered for a future

system. This is the time for SDI to analyze existing processes to identify opportunities for improving the integration of data, avoiding potential redundancies, minimizing time-consuming steps, minimizing the potential for introduction of errors, and to generally improve the overall effectiveness of operations.

This process should focus on functional visions, objectives, and goals, rather than a specific technology or system. The following list contains considerations that need to be evaluated when procuring an enterprise system to ensure that in the future state, work is performed more efficiently and effectively:

- ◆ Maximizing resources by providing staff timely and easy access to information
- ◆ Doing work once and on time
- ◆ Collecting and recording each piece of information only once
- ◆ Sharing information online to allow for immediate and concurrent delivery of multiple services
- ◆ Eliminating the need for paper and forms-based work queues
- ◆ Integrating policy into the automated processes and procedures
- ◆ Simplifying processes to eliminate the need for task compartmentalization, excessive specialization, and multiple hand-offs
- ◆ Completing services in an integrated manner to the extent possible
- ◆ Taking maximum advantage of enabling technologies including mobility technology
- ◆ Using the system to perform and control routine work actions
- ◆ Applying common sense in matching processes, approaches, and technology

SDI recognizes that the City has already spent time and dedicated resources to the development of a list of functional requirements for the new LMS, and our intent is to use the requirements list as a starting point for our data gathering process. We also understand that City staff may question the need for additional data gathering meetings, but we feel strongly that these meetings are the time and place to help educate staff on contemporary LMS functionality in the marketplace, and to explore opportunities for adopting best business practices as a part of the new system procurement.

In the following table, we identify the activities and deliverables to be completed as part of this phase.

Phase 2 Activities and Deliverables

Phases and Tasks	Deliverables
<div style="display: flex; align-items: center;"> <div style="background-color: #003366; color: white; padding: 10px; text-align: center; width: 150px;"> <p>Phase 2</p> <p>REQUIREMENTS</p> </div> <div style="margin-left: 10px;"> <p>2.1 – Request and Review Documentation</p> <p>2.2 – Conduct System Requirements Workshops</p> <p>2.3 – Document Functional Requirements</p> <p>2.4 – Document Interfaces and Technical Requirements</p> <p>2.5 – Document Data Conversion Requirements</p> </div> </div>	<ul style="list-style-type: none"> ✓ Documentation Request Listing ✓ Functional and Operational Requirements Inventory ✓ Interface and Technical Requirements Inventory ✓ Data Conversion Requirements Inventory
<p>2.1 Request and Review Documentation</p>	
<p>TASK DESCRIPTION: SDI understands that City staff has limited time to dedicate to this project. Consequently, we will make all efforts to be as prepared as possible before asking for staff time. To accomplish this, SDI will request documentation to familiarize ourselves with the current environment, processes, procedures, policies, transaction levels, organizational responsibilities, reports, technical documentation, etc. It is not SDI’s intent to create work for the staff with this task - if requested documentation doesn’t exist, then it should not be created at this time.</p> <p>DELIVERABLE: Documentation Request Listing</p>	

<p>2.2 Conduct System Requirements Workshops</p>
<p>TASK DESCRIPTION: SDI will conduct interviews (workshops) with the City’s functional subject matter experts in all City departments to gain an understanding of how user departments utilize the current LMS system. For the Community Development Department interviews, the workshops will occur at a functional (divisional) level. For other City departments, a single workshop per department will likely provide the information necessary to complete an analysis of potential LMS functionality applicable to those department functions. Based on existing LMS functionality, SDI will be interested in exploring other potential areas of interest including electronic plan review and the use of mobile applications for inspection field work.</p> <p>In some cases, SDI may follow up the workshops requesting that staff demonstrate work practices. The interviews will document current processes, practices, policies, and procedures related to the City’s use of the LMS system. The workshops will also explore unmet needs and focus on identifying new features and functions that can improve the existing operations.</p> <p>SDI’s approach to conducting the requirements workshops involves more than just gathering information from the City’s subject matter experts. It includes educating and/or collaborating with staff on best practices and how evolving technology capabilities (i.e. workflow, reporting, integration, dashboards, document management, etc.) can be applied to the future environment.</p>
<p>2.3 Document Functional Requirements</p>
<p>TASK DESCRIPTION: SDI will utilize the City’s existing list of functional requirements, along with information gathered during Task 2.2 above, to document the City’s current business processes and existing and desired functional requirements so that potential vendors have a full understanding of the City’s requirements.</p> <p>DELIVERABLES: Functional Requirements Inventory</p>
<p>2.4 Document Interfaces and Technical Requirements</p>
<p>TASK DESCRIPTION: SDI will identify potential required or desired interfaces or integration opportunities between the LMS system and other data repositories. This helps ensure that an integration point or interface is not missed. As part of this task, SDI will work with City staff to identify any interface standards that should be included in the RFP (i.e. City preferred interface methods).</p> <p>DELIVERABLES: Interface and Technical Requirements Inventory</p>
<p>2.5 Document Data Conversion Requirements</p>
<p>TASK DESCRIPTION: SDI will document the City’s desired data conversion and migration requirements so that potential vendors can include the costs and approach for completing the conversion in their proposals. SDI will meet with the City’s technical and business subject matter experts to identify and document data migration and conversion requirements. SDI will provide consultation regarding the pros and cons of the possible approaches/strategies and provide recommendations.</p> <p>DELIVERABLE: Data Conversion Requirements Inventory</p>

Phase 3 – RFP Development, Release and Administration

In this phase, SDI will review the City’s existing draft RFP and make recommendations to ensure the RFP adequately presents the LMS business and systems requirements. While SDI will bring the City proven RFP templates and methods, we will also develop the RFP in accordance with the City’s purchasing guidelines and requirements. The tasks in this phase will consolidate all relevant information gathered in the prior phases to create an RFP that clearly defines the requirements and objectives of the City. The quality and accuracy of vendor responses are significantly improved through the use of a well-organized,

accurate, and clear RFP. A strong RFP is critical, as it provides the foundation for evaluating vendors, and ultimately provides the basis for a solid agreement between the City and the successful vendor.

The following table provides a detailed discussion of what each task will entail.

Phase 3 Activities and Deliverables

Phases and Tasks	Deliverables
<div style="display: flex; align-items: center;"> <div style="background-color: #1a3d4d; color: white; padding: 10px; margin-right: 10px; text-align: center;"> Phase 3 RFP </div> <div> 3.1 – Prepare Draft RFP 3.2 – Review Draft RFP with Stakeholders 3.3 – Identify and Notify Potential Bidders 3.4 – Release RFP 3.5 – Address Vendor Questions </div> </div>	<ul style="list-style-type: none"> ✓ Draft Request for Proposal ✓ Final Request for Proposal ✓ Vendor Listing and Contact Information ✓ Vendor Question Responses
3.1 Prepare Draft RFP	
<p>TASK DESCRIPTION: SDI will prepare a draft RFP for review by the project stakeholders and other key staff. In addition, if necessary, SDI will meet with the City’s purchasing and/or legal resources to verify RFP terms and conditions.</p> <p>At a minimum, an RFP should include the following components: purpose and objectives, background, evaluation criteria and selection process, timeline, submission requirements (including forms and templates), RFP terms and conditions, current environment descriptions, business and operations metrics (i.e. number of employees, users, vendors, purchase orders, etc.), functional requirements, technical requirements and standards, and pricing proposal submission requirements.</p> <p>At the conclusion of this task, SDI will provide the City with a draft RFP for review and discussion.</p> <p>DELIVERABLE: Draft Request For Proposal</p>	
3.2 Review Draft RFP with Stakeholders	
<p>TASK DESCRIPTION: SDI recommends that the draft RFP be distributed to the project stakeholders and subject matter experts for careful review. After staff has had an opportunity to review the RFP, SDI will meet with the City to address any changes, questions, or concerns. The workshop will provide an interactive forum to discuss the RFP content and to ensure a common understanding of the RFP content and upcoming procurement processes.</p> <p>DELIVERABLE: Final Request For Proposal</p>	
3.3 Identify and Notify Potential Vendors	
<p>TASK DESCRIPTION: While online vendor portal sites provide a valuable channel for making an RFP publicly available, SDI believes it is in the City’s best interest to alert qualified vendors of the upcoming RFP release. SDI will compile a comprehensive list of public sector LMS solution vendors. SDI will review the listing with the City and assist the City in creating a notification message that can be distributed via email. Timely notification of the City’s intent to release an RFP will help ensure the City attracts quality solution vendors and allow the vendors to be better prepared to provide a timely response.</p> <p>DELIVERABLE: Vendor Listing and Contact Information</p>	
3.4 Release RFP	
<p>TASK DESCRIPTION: SDI will assist the City in preparing for and releasing the RFP. As part of this task, SDI will create a tracking log of who has received the RFP.</p>	

3.5 Address Vendor Questions
<p>TASK DESCRIPTION: Release of a clear and well-structured RFP will dramatically reduce the number of vendor questions. However, due to the complex nature of enterprise procurements, the City should anticipate that vendors will submit questions that must be addressed to ensure quality proposals are received. In this task, SDI will coordinate and assist the City in responding to vendor questions.</p> <p>DELIVERABLE: Vendor Question Responses</p>

Phase 4 – Proposal Evaluation and Selection

The primary purpose of this phase is to ensure that the vendor selected is in the best interest of the City. This requires careful and detailed review of information provided in response to the RFP, as well as independent research, validation and verification.

In Table 5 – Phase 4 Activities and Deliverables, we identify the activities and deliverables to be completed as part of this phase.

Table 5 - Phase 4 Activities and Deliverables

Phases and Tasks	Deliverables
<p>Phase 4</p> <p>SELECT</p>	<ul style="list-style-type: none"> ✓ Evaluation Scoring Methodology and Matrix Template ✓ Evaluation Scoring Matrix Summary ✓ POC Session Agenda and Scripts ✓ Reference Check Guidelines ✓ Vendor Selection Report
4.1 Prepare Evaluation Committee	
<p>TASK DESCRIPTION: SDI will work with the City to identify the evaluation team and prepare an evaluator’s packet that includes a clear description of the steps to be taken and direction of the evaluation methodology. The packet will also include a scoring template to assist the evaluators in tabulating their results.</p> <p>DELIVERABLE: Evaluation Scoring Methodology and Matrix Template</p>	
4.2 Conduct Initial Screening of Proposals	
<p>TASK DESCRIPTION: SDI will conduct an initial screening of proposals to determine which vendors and proposals meet the mandatory RFP requirements and minimum qualifications. SDI will present the results of our screening evaluation to the City. The City can use this information as a guide to determine which proposals require a detailed review.</p>	
4.3 Assist with Review and Scoring of Proposals	
<p>TASK DESCRIPTION: SDI will assist the evaluation team with their review and rating of the proposals according to the evaluation criteria. In addition, SDI will review proposals to identify issues, concerns, questions, or clarifications that should be addressed, will provide this information to the evaluation team, and be available to the evaluators for consultation. SDI will assist the City in arriving at a preliminary evaluation scoring matrix that identifies a short list of preferred vendors.</p> <p>DELIVERABLE: Evaluation Scoring Matrix Summary</p>	

4.4 Prepare for Proof of Capabilities (POC) Sessions
<p>TASK DESCRIPTION: Conducting proof of capabilities (POC) sessions with short listed vendors is a key component of the selection process. This provides the vendors with the opportunity to fully demonstrate their solutions using City provided demonstration scenarios and scripts. As part of this task, SDI will develop the POC meeting agenda, scenarios, and scripts for the City review. In addition, SDI can facilitate interaction between the City and the vendors to help ensure the vendor is adequately prepared to complete the POC. The POC provides valuable input into contract negotiations and helps clarify risk areas for special consideration.</p> <p>DELIVERABLE: POC Session Agenda and Scripts</p>
4.5 Facilitate POC Sessions
<p>TASK DESCRIPTION: SDI will facilitate the POC sessions to keep vendors on schedule and ensure all POC scripts are completed. At the conclusion of each vendor POC session, SDI will facilitate a debrief meeting with the evaluators to capture feedback and update the evaluation scoring matrix accordingly. This information will be used in the final selection report.</p>
4.6 Assist with Completion of Finalist(s) Due Diligence
<p>TASK DESCRIPTION: SDI will assist the City in planning for and completing reference checks and site visits. While SDI is available to conduct the reference checks, it has been our experience that these are best performed by City staff because of the information exchange and opportunity to further network.</p> <p>Deliverable: Reference Check Guidelines</p>
4.7 Prepare Vendor Selection Report
<p>TASK DESCRIPTION: SDI will prepare a Vendor Selection Report that outlines the process followed and the results of the vendor evaluation process.</p> <p>DELIVERABLE: Vendor Selection Report</p>

Phase 5 – Contract Negotiations

Key terms, conditions, scope, and pricing terms must be fully resolved before concluding a final agreement. The purpose of Phase 5 is to formalize and implement a negotiation strategy to ensure the City obtains a favorable contract and all outstanding issues are resolved.

SDI brings significant experience in contract negotiations that will help ensure an agreement that fully protects the City while supporting a successful implementation. The table beginning on the following page provides a detailed discussion of what each task will entail.

Phase 5 Activities and Deliverables

Phases and Tasks	Deliverables
<div style="background-color: #003366; color: white; padding: 10px; display: inline-block; text-align: center;"> Phase 5 NEGOTIATE </div> <ul style="list-style-type: none"> 5.1 – Research Prior Vendor Agreements 5.2 – Conduct Initial Agreement Review 5.3 – Facilitate Negotiation Strategy Workshop 5.4 – Conduct Negotiations Meetings 5.5 – Assist with City Council Presentation 	<ul style="list-style-type: none"> ✓ Final Agreements with Vendor ✓ City Council Presentation
5.1 Research Prior Vendor Agreements	
<p>TASK DESCRIPTION: It is highly likely that the City will select a vendor that has recently implemented their solution with other public agencies. This task focuses on identifying ratified agreements with agencies that are of a similar size and complexity, as these can provide a valuable source of information to help a City prepare for negotiations. SDI will seek out and review available agreements. The review will include evaluating terms and conditions, pricing, payment terms, milestones, and more. The information gathered will be compared to that which was submitted with the RFP with the goal of identifying any gaps or more favorable terms and conditions.</p>	
5.2 Conduct Initial Agreement Review	
<p>TASK DESCRIPTION: SDI will perform a review and provide feedback of the proposed agreements. Based on our experience, the City should expect multiple agreements (i.e. software licensing, maintenance and support, professional services, 3rd party software, etc.). SDI will provide the City with guidance and assistance on the review to help prepare for subsequent negotiations.</p>	
5.3 Facilitate Negotiation Strategy Workshop	
<p>TASK DESCRIPTION: SDI will facilitate a workshop with key City staff to develop a negotiation strategy. The workshop will focus on outstanding issues and questions, as well as areas of high risk that need to be addressed. A well-planned negotiation strategy reduces the negotiation timeline, reduces frustration among the parties, ensures the City presents a unified front, and reduces the risk that items will be overlooked.</p>	
5.4 Conduct Negotiation Meetings	
<p>TASK DESCRIPTION: SDI will assist the City in preparing for negotiation meetings and will attend to support the City staff. If the City desires, SDI is available to facilitate the negotiation meetings. SDI will take the lead in recording the minutes from the meetings to capture outstanding items, next steps, and critical dates.</p> <p>DELIVERABLE: Final Agreements with Vendor</p>	
5.5 Assist with City Council Presentation	
<p>TASK DESCRIPTION: SDI will be available to attend or participate in the City’s presentation of the vendor agreements to City Council for approval.</p> <p>DELIVERABLE: City Council Presentation</p>	

Detailed Project Timeline

SDI has developed the following project timeline based on our experience with similar engagements:

Table 2 – Proposed Project Timeline

Phase	Proposed Timeline (in weeks)
Phase 1 – Project Initiation	Week 1 -3
Phase 2 – Assessment and Requirements Development	Weeks 4 – 8
Phase 3 – RFP Development, Release and Administration	Weeks 9 – 12
RFP Issuance (RFP Out for Vendor Responses for 30 – 45 Days)	
Phase 4 – Proposal Evaluation and Selection	Weeks 13 – 24
Phase 5 – Contract Negotiations	Weeks 25 – 30

As part of Phase 1 of the project, SDI will work with the City to review, refine and finalize a detailed project schedule.

Cost Proposal

Based on SDI’s past experience on similar projects, our review of the City’s organizational structure and size, and taking into account the efforts already undertaken by the City, we anticipate this project will require 421 hours to complete. SDI’s billing rate is \$175 per hour for our Delivery Executive and Project Manager, and \$130 per hour for our Project Consultant.

The not-to-exceed cost to complete the requested phases and tasks is \$69,985. This amount includes all labor costs and project-related expenses. A detailed breakdown of costs is provided in Table 3 below.

Table 3 – Detailed Cost Proposal by Phase and Task

Phase	Hours	Cost
Phase 1 - Project Initiation	15	\$2,490
Phase 2 – Needs Assessment and Requirements Development	154	\$24,160
Phase 3 - RFP Development, Release and Administration	37	\$6,250
Phase 4 - Proposal Evaluation and Selection	177	\$30,435
Phase 5 - Contract Negotiations	38	\$6,650
Total Not-to-Exceed Project Cost	421	\$69,985

Professional Services Agreement Exceptions

The SDI legal team has reviewed the City's standard Professional Services Agreement and we would like to provide the following modification for the City's consideration (modifications shown in red and strike out):

16. Indemnification. To the fullest extent permitted by law, Consultant agrees to indemnify, defend (with independent counsel approved by the City) and hold harmless the City and its officers, employees and elected and appointed officials, and volunteers (each, an "Indemnified Party") from and against any and all liabilities (including without limitation all claims, losses, damages, penalties, fines, and judgments, associated investigation and administrative expenses, and defense costs, including but not limited to reasonable attorneys' fees, court costs and costs of alternative dispute resolution) regardless of nature or type, expressly including but not limited to those arising from bodily injury (including death) or property damage, arising out of or resulting from any **negligent** act or omission to act of the Consultant, Consultant's agents, officers, employees, subconsultants, or independent consultants hired by Consultant under this Agreement, **except where any such liability is caused by the sole negligence of willful misconduct of an Indemnified Party**. The Consultant's obligations apply ~~regardless of whether or not~~ **where the liability is caused or** contributed to by the negligence (including passive negligence) or other **negligent** act or omission of an Indemnified Party. The acceptance or approval of the Consultant's work by an Indemnified Party shall not relieve or reduce the Consultant's indemnification obligation. Consultant shall pay and satisfy any judgment, award or decree that may be rendered against the City, its officials, officers, agents, employees or representatives. The provisions of this Section shall survive completion of the work under this Agreement or the termination of this Agreement and are not limited by the provisions relating to insurance.

Additionally, it should be noted that in Section 15 Insurance - Commercial General Liability (iii) (9) there is a requirement for Sexual Misconduct Coverage, with no applicable sublimit. It should be noted that SDI's insurance policy does not have specific exclusions for sexual misconduct. That being said, we would ask that the City consider adding the following language (or similar):

"Sexual misconduct coverage will be provided as broad as that which is provided by the ISO Commercial General Liability coverage form CG0001 04/13"

SDI is open to discussing both of these items in the event we are identified as the finalist for this engagement and is flexible and amenable to working with the City to develop appropriate language to satisfy the City's requirements.

MEETING DATE APRIL 28, 2021

ITEM TITLE AUTHORIZE A THIRD AMENDMENT TO THE AGREEMENT FOR PROFESSIONAL SERVICES BETWEEN THE CITY OF SANTEE AND FIREWORKS & STAGE FX AMERICA

DIRECTOR/DEPARTMENT Bill Maertz, Community Services *WML*

SUMMARY

Santee Salutes, the City's annual celebration of Independence Day, has for years featured a concert, fun zone and aerial fireworks display. At the December 13, 2017 City Council meeting, the City Council approved an Agreement for Professional Services with FWA for the July 4, 2018 aerial fireworks display at a cost of \$23,500. The City Council also authorized the City Manager to execute three optional one-year extensions not to exceed \$23,500 plus a CPI increase. On May 14, 2019 the City Manager executed a First Amendment which authorized the first such extension. On June 10, 2020, the City Council authorized a Second Amendment which authorized the second such extension, for an amount not to exceed \$30,000 for FY 20/21 due to the fireworks program being split into two locations in order to comply with San Diego County Public Health orders and prevent the spread of COVID-19, and to provide greater visibility throughout the community. Staff recommends the City's 2021 fireworks display be conducted in the same manner.

The cost of the annual fireworks display has been fully funded through contributions from the City's waste hauler, Waste Management, Inc. Fireworks and Stage FX America (FWA) has provided the July 4th aerial fireworks display for the City of Santee since 1998. FWA has provided a quote for the 2021 program at a total cost of \$30,000.

Staff recommends the City Council approve the Third Amendment to the Professional Services Agreement with FWA to perform an aerial fireworks display on July 4, 2021 for an amount not to exceed \$30,000, and authorize the City Manager to execute the Amendment. This will be the third of three authorized extensions.

FINANCIAL STATEMENT *m*

The July 4, 2021 aerial fireworks display is funded via a contribution from Waste Management, Inc.

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION *MSB*

Approve the Third Amendment to the Professional Services Agreement with Fireworks and Stage FX America to perform a fireworks aerial display on July 4, 2021 for an amount not to exceed \$30,000, and authorize the City Manager to execute the Amendment.

ATTACHMENT

None

