PROJECT PLANS

3D VIEW OF SW CORNER

3D VIEW OF SE CORNER

3D VIEW OF ENTRANCE

PARKING ANALYIS

REQUIRED PARKING	
1 BEDROOMS	1/UNIT
2 BEDROOM	1/UNIT
EV SPOTS	10% OF TOTAL
ACCESSIBLE	5% UNNASSIGNED 2% ASSIGNED

PARKING ANALYSIS:
107 x 1 UNITS = 107 PARKING SPOTS

TOTAL REQUIRED 107 SPOTS

PARKING SPOTS PROVIDED = 92
ACCESSIBLE SPOTS PROVIDED= 6
EV PARKING SPOTS PROVIDED = 11

TOTAL PARKING PROVIDED = 109

VICINITY MAP

UNIT TYPES

UNIT SCHEDULE:

NAME	TYPE	# OF COMPLYING BATHROOMS	UNIT SF	COUNT
UNIT 1A	1 BED/1 BATH	1	850	25
UNIT 1B	1 BED/1 BATH	1	740	20
UNIT 1C	1 BED/1 BATH	1	660	10
UNIT 2A	2 BED/2 BATH	2	1180	20
UNIT 2B	2 BED/2 BATH	2	1030	20
UNIT PH1A	1 BED/1 BATH	1	1100	3
UNIT PH2A	2 BED/2 BATH	2	1525	3
UNIT PH3A	2 BED/1 DEN/ 2 BATH	2	1800	2
UNIT STA	STUDIO	1	580	4
TOTAL PROJECT UNITS: 107				

THIS PROJECT INCLUDES A DENSITY BONUS ESTABLISHED PURSUANT TO SECTION 65915 ET SEQ OF THE GOVERNMENT CODE

SCOPE OF WORK

PROJECT DESCRIPTION:

THE PROJECT INCLUDES:

1) BUILDING A NEW 5 STORY SENIOR APARTMENTS OVER BASEMENT (TOTAL 107 UNITS) LEVEL 6 WILL INCLUDE A BAR/LOUNGE & SHARED KITCHEN WITHIN THE LISTED SF

2) PERFORM SITE WORK TO PROVIDE SIDEWALKS, SITE PARKING, LANDSCAPING, SITE UTILITY WORK, AND OTHER MISC ITEMS NECESSARY FOR THE PROPOSED BUILDING TO OPERATE.

DRAWING LIST

SHEET	TITILE	SHEET	TITILE
A-0.1	ZONING SUMMARY	A-3.1	FRONT ELEVATION
A-0.2	3D VIEWS	A-3.2	FRONT ELEVATION
A-0.3	GREEN CODE	A-3.3	REAR ELEVATION
A-1.1	SITE PLAN - PARKING	A-3.4	REAR ELEVATIONS
A-2.1	LEVEL 1 BASEMENT	A-4.1	BUILDING SECTIONS
A-2.2	LEVEL 2	A-5.1	MATERIAL BOARD
A-2.3	LEVEL 3		
A-2.4	LEVEL 4		
A-2.5	LEVEL 5		
A-2.6	LEVEL 6		
A-2.7	ROOF PLAN		
A-2.8	UNIT FLOOR PLANS		
A-2.9	UNIT FLOOR PLANS		
A-2.10	UNIT FLOOR PLANS		
A-2.11	UNIT FLOOR PLANS		
A-2.12	UNIT FLOOR PLANS		

PROJECT TEAM

OWNER
SANTEE SENIOR RETIREMENT COMMUNITIES, LLC
SANTEE, CA 92071
PHONE: 619.444.2504
PRINCIPAL: MICHAEL GRANT
EMAIL: GRANT.MICHAEL@SBCGLOBAL.NET

ARCHITECT
TODD B. SPIEGEL ARCHITECTS
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WESTLAKE VILLAGE, CA 91361
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PRINCIPAL: TODD SPIEGEL
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CIVIL
REC-CONSULTANTS
PHONE: 619.326.6017

PRINCIPAL: RAAB RYDEEN, PE
E-MAIL: RAAB@REC-CONSULTANTS.COM

LANDSCAPE

PROJECT SUMMARY

BUILDING AREA: ALLOWED:
R-2 (RESIDENTIAL FLOORS):
96,000 SF PER FLOOR TYPE 3A

PROPOSED:
TOTAL BUILDING AREA:

BASEMENT LEVEL	17,156 SQFT
SECOND LEVEL	25,424 SQFT
THIRD LEVEL	25,424 SQFT
FOURTH LEVEL	25,424 SQFT
FIFTH LEVEL	25,424 SQFT
SIXTH LEVEL	19,297 SQFT
= TOTAL BUILDING	**138,149 SQFT**

PROJECT ADDRESS:
200 LANTERN CREST WAY
SANTEE, CA 92071

LEGAL DESCRIPTION:
APN: 384-140-15-00 APN: 384-140-18-00 CITY OF SANTEE
APN: 384-140-16-00 APN: 384-140-19-00 COUNTY OF SAN DIEGO
APN: 384-140-17-00 STATE OF CALIFORNIA

ZONE: R14 / R22 HIGH DENSITY RESIDENTIAL

PROPOSED USE/PERMIT TYPE:
NEW BUILDING TO BE AN APARTMENT COMPLEX FOR SENIOR INDEPENDENT LIVING

OCCUPANCY CLASSIFICATION: R2 - MULTI FAMILY

TOTAL LOT AREA: 9.6 ACRES / 415,785 SF

PROPOSED SET BACK: PER R-22 SANTEE ZONING

FRONT:	10'-0"
REAR :	10'-0"
SIDE 1 :	10'-0"
SIDE 2 :	10'-0"

MAXIMUM LOT COVERAGE: 70% OR 291,049 SF
PROPOSED LOT COVERAGE: 25,555 SF BUILDING FOOTPRINT LC4
43,000 SF BUILDIGN FOOTPRINT LC3
13,635 SF PARKING LOT
13,110 SF SITE SIDEWALK
104,100 SF PRIVATE SIDE STREET
199,400 SF TOTAL LOT COVERAGE

BUILDING TYPE: 4 LEVELS TYPE VA OVER 2 LEVELS TYPE 1A

HEIGHT: ALLOWED PER CBC TABLE 504.3:
85'-0" ABOVE AVERAGE GRADE PLANE
PROPOSED:
64'-3" ABOVE AVERAGE GRADE PLANE
(82'-0" FOR TOWER)

STORIES: ALLOWED: 5 OVER GRADE PLANE
PROPOSED: 5 STORIES OVER BASEMENT

UNITS: 107 UNITS

PROJECT NORTH

SEALS AND SIGNATURES

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

Todd B. SPIEGEL architects
699 Hampshire Road #218
Westlake Village, CA 818.879.6175

BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

Issued for	Rev	Date
PLANNING SET	1	08/23/22
PLANNING SET		07/26/22
CLIENT REVIEW		03/30/22
ISSUE		

DRAWING TITLE
ZONING SUMMARY

SCALE

PROJECT NUMBER 2119

PLOT DATE 8/23/2022 6:20:57 PM

DRAWING # A0.1

PROJECT NORTH

SEALS AND SIGNATURES

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23.
RENEWAL DATE
STATE OF CALIFORNIA

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BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

Issued for	Rev	Date
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PLANNING SET		07/26/22
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ISSUE		

DRAWING TITLE
3D VIEWS

SCALE

PROJECT NUMBER 2119

PLOT DATE 8/23/2022 6:07:34 PM

DRAWING # A0.2

WATER CONSERVATION NOTES - RESIDENTIAL BUILDINGS

PLUMBING SYSTEM

1. Multi-family dwellings not exceeding three stories and containing 50 units or less shall install a separate meter or submeter within common areas and within each individual dwelling unit. (4.303.3)

2. Water use reduction shall be met by complying with one of the following:
   A. Provide a 20% reduction in the overall potable water use within the building. The reduction shall be based on the maximum allowable water use for plumbing fixtures and fittings as required by the Los Angeles Plumbing Code. Calculations demonstrating a 20% reduction in the building "water use baseline", as established in Table 4.303.4.1, shall be provided; or
   B. New fixtures and fittings shall comply with the maximum flow rates shown in Table 4.303.4.2, or
   C. Plumbing fixtures shall use recycled water.
   Exception: Fixture replacements (4.303.4)

3. New building on a site with 500 square feet or more of cumulative landscape area shall have separate meters or submeters for outdoor water use. (4.304.3)

4. Additions and alterations on a site with 500 square feet or more of cumulative landscape area and where the entire potable water system is replaced, shall have separate meters or submeters for outdoor water use. (4.304.3)

5. In other than single family dwellings, locks shall be installed on all publicly accessible exterior faucets and hose bibs. (4.304.4)

6. Provide a cover having a manual or power-operated reel system in any permanently installed outdoor in-ground swimming pool or spa in one- and two-family dwellings. For irregular-shaped pools where it is infeasible to cover 100% of the pool due to its irregular shape, a minimum of 80% of the pool shall be covered. (4.304.5)

7. Except as provided in this section, for sites with over 500 square feet of landscape area, alternate waste piping shall be installed to permit discharge from the clothes washer, bathtub, showers, and bathroom/restrooms wash basins to be used for a future graywater irrigation system. (4.305.1)

8. Except as provided in this section, where City-recycled water is available within 200 feet of the property line, water closets, urinals, floor drains, and process cooling and heating in the building shall be supplied from recycled water and shall be installed in accordance with the Los Angeles Plumbing Code. (4.305.2)

9. In new buildings of 25 stories or less, the cooling towers shall comply with one of the following:
   A. Shall have a minimum of 6 cycles of concentration (blowdown); or
   B. A minimum of 50% of the makeup water supply to the cooling towers shall come from non-potable water sources, including treated backwash. (4.305.3.1)

10. In new buildings over 25 stories, the cooling towers shall comply with all of the following:
    A. Shall have a minimum of 6 cycles of concentration (blowdown); and
    B. 100% of the makeup water supply to the cooling towers shall come from non-potable water sources, including treated backwash. (4.305.3.2)

11. Where groundwater is being extracted and discharged, develop and construct a system for onsite reuse of the groundwater. Alternatively, the groundwater may be discharged to the sewer. (4.305.4)

12. Provide a hot water system complying with one of the following (Los Angeles Plumbing Code Section 610.4.1):
    A. The hot water system shall not allow more than 0.6 gallons of water to be delivered to any fixture before hot water arrives.
    B. Where a hot water recirculation or electric resistance heat trace wire system is installed, the branch from the recirculating loop or electric resistance heat trace wire to the fixture shall contain a maximum of 0.6 gallons.
    C. Residential units having individual water heaters shall have a compact hot water system that meets all of the following:
       a. The hot water supply piping from the water heater to the fixtures shall take the most direct path.
       b. The total developed length of pipe from the water heater to farthest fixture shall not exceed the distances specified in Table 3.6.5 of the California Energy Code Residential Appendix.
       c. The hot water supply piping shall be installed and insulated in accordance with Section RA3.6.2 of the California Energy Code Residential Appendix.

IRRIGATION SYSTEM

12. A water budget for landscape irrigation use that conforms to the California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO) is required for new landscape areas of 500 sq. ft. or more. The following methods to reduce potable water use in landscape areas include, but are not limited to, use of captured rainwater, recycled water, graywater, or water treated for irrigation purposes and conveyed by a water district or public entity. (4.304.1)

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 – Part 5: Definitions)

1. Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
2. Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
4. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
5. Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
6. Trash and construction –related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
7. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
8. Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
9. Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

GREEN BUILDING CODE PLAN CHECK NOTES - RESIDENTIAL BUILDINGS

1. For each new dwelling and townhouse, provide a listed raceway that can accommodate a dedicated 208/240 volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. The panel or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE". (4.106.4.1)

2. For common parking area serving R-occupancies, the electrical system shall have sufficient capacity to simultaneously charge all designated EV spaces at the full rated amperage of the Electric Vehicle Supply Equipment (EVSE). Design shall be based upon a 40-ampere minimum branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the Los Angeles Electrical Code. (4.106.4.2)

3. Roofs with slopes ≤ 2:12 shall have a 3-year aged SRI value of at least 75 or both a 3-year aged solar reflectance of at least 0.63 and a thermal emittance of at least 0.75. Roofs with slopes > 2:12 shall have an aged SRI value of at least 16 or both a 3-year solar reflectance of at least 0.20 and a thermal emittance of at least 0.75. (4.106.5)

4. The required hardscape used to reduce heat island effects shall have a solar reflectance value of at least 0.30 as determined per ASTM E1918 or ASTM C1549. (4.106.7)

5. The flow rates for all plumbing fixtures shall comply with the maximum flow rates in Section 4.303.1. (4.303.1)

6. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80psi, or the shower shall be designed to only allow one showerhead to be in operation at a time. (4.303.1.3.2)

7. Installed automatic irrigation system controllers shall be weather- or soil-based controllers. (MWELO, § 492.7)

8. For projects that include landscape work, the *Landscape Certification*, Form GRN 12, shall be completed prior to final inspection approval. (State Assembly Bill No. 1881)

9. Annular spaces around pipes, electric cables, conduits, or other openings in the building's envelope at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or metal plates. Piping prone to corrosion shall be protected in accordance with Section 313.0 of the Los Angeles Plumbing Code. (4.406.1)

10. Materials delivered to the construction site shall be protected from rain or other sources of moisture. (4.407.4)

11. Only a City of Los Angeles permitted hauler will be used for hauling of construction waste. (4.408.1)

12. For all new equipment, an Operation and Maintenance Manual including, at a minimum, the items listed in Section 4.410.1, shall be completed and placed in the building at the time of final inspection. (4.410.1)

13. All new gas fireplaces must be direct-vent, sealed combustion type. Wood burning fireplaces are prohibited per AQMD Rule 445. (4.503.1, AQMD Rule 445)

14. All duct and other related air distribution component openings shall be covered with tape, plastic, or sheet metal until the final startup of the heating, cooling and ventilating equipment. (4.504.1)

15. Paints and coatings, adhesives, caulks and sealants shall comply with the Volatile Organic Compound (VOC) limits listed in Tables 4.504.1–4.504.3.

16. The *VOC Content Verification Checklist*, Form GRN 2, shall be completed and verified prior to final inspection approval. The manufacturer's specifications showing VOC content for all applicable products shall be readily available at the job site and be provided to the field inspector for verification. (4.504.2.4)

17. All new carpet and carpet cushions installed in the building interior shall meet the testing and product requirements of one of the following (4.504.3):
    a. Carpet and Rug Institute's Green Label Plus Program
    b. California Department of Public Health's Specification 01350
    c. NSF/ANSI 140 at the Gold level
    d. Scientific Certifications Systems Indoor Advantage™ Gold

18. 80% of the total area receiving resilient flooring shall comply with one or more of the following (4.504.4):
    a. VOC emission limits defined in the CHPS High Performance Products Database
    b. Certified under UL GREENGUARD Gold
    c. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program
    d. Meet the California Department of Public Health's Specification 01350.

19. New hardwood plywood, particle board, and medium density fiberboard composite wood products used in the building shall meet the formaldehyde limits listed in Table 4.504.5. (4.504.5)

20. The *Formaldehyde Emissions Verification Checklist*, Form GRN 3, shall be completed prior to final inspection approval. (4.504.5)

21. Mechanically ventilated buildings shall provide regularly occupied areas of the building with a MERV 13 filter for outside and return air. Filters shall be installed prior to occupancy and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual. (4.504.6)

22. A 4-inch thick base of ½ inch or larger clean aggregate shall be provided for proposed slab on grade construction. A vapor barrier shall be provided in direct contact with concrete for proposed slab on grade construction. (4.505.2.1)

23. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed until it is inspected and found to be satisfactory. (4.505.3)

24. Newly installed bathroom exhaust fans shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building. Fans must be controlled by a humidistat which shall be readily accessible. Provide the manufacturer's cut sheet for verification. (4.506.1)

25. A copy of the construction documents or a comparable document indicating the information from Energy Code Sections 110.10(b) through 110.10(c) shall be provided to the occupant." (Energy Code §110.10(d))

26. The heating and air-conditioning systems shall be sized and designed using ANSI/ACCA Manual J-2004, ANSI/ACCA 29-D-2009 or ASHRAE handbooks and have their equipment selected in accordance with ANSI/ACCA 36-S Manual S-2004. (4.507.2)

VOC AND FORMALDEHYDE LIMITS

VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS [2,3]
Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds

COATING CATEGORY [2,3]	CURRENT LIMIT
Flat coatings	50
Nonflat coatings	50
Nonflat-high gloss coatings	50
Specialty Coatings	
Aluminum roof coatings	100
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	100
Concrete curing compounds, Roadways & Bridges	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	50
Faux finishing coatings	
Clear Top Coat	100
Decorative Coatings	350
Glazes	350
Japan	350
Trowel Applied Coatings	50
Fire resistive coatings	150
Floor coatings	50
Form-release compounds	100
Graphic arts coatings (sign paints)	200
High temperature coatings	420
Industrial maintenance coatings	100
Low solids coatings[1]	120
Magnesite cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	150
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Roof coatings	50
Roof coatings, aluminum	100
Rust preventative coatings	100
Shellacs	
Clear	730
Opaque	550
Specialty primers, sealers and undercoaters	100
Stains	100
Stains, interior	250
Stone consolidants	450
Swimming pool coatings	340
Traffic marking coatings	100
Tub and tile refinish coatings	420
Waterproofing membranes	100
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	100

[1] Grams of VOC per liter of coating, including water and including exempt compounds.
[2] The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.
[3] Some values in this table are derived from those specified by the California Air Resources Board Architectural Coatings Suggested Control Measure, February 5, 2016. More information is available from the Air Resources Board.

FORMALDEHYDE LIMITS[1]
Maximum Formaldehyde Emissions in Parts per Million

PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard[2]	0.13

[1] Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E 1333. For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.
[2] Thin medium density fiberboard has a maximum thickness of 5/16 inches (8 mm).

SEALANT VOC LIMIT
Less Water and Less Exempt Compounds in Grams per Liter

SEALANTS	CURRENT VOC LIMIT
Architectural	50
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	
Nonporous	250
Porous	775
Modified bituminous 500	500
Marine deck	760
Other	750

Note: For additional information regarding methods to measure the VOC content specified in these tables, see South Coast Air Quality Management District Rule 1168.

ADHESIVE VOC LIMIT 1,2
Less Water and Less Exempt Compounds in Grams per Liter

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	70
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	100
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

[1] If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
[2] For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168. http://www.arb.ca.gov/DRDB/SC/CURHTML/R1168.PDF

PLUMBING FIXTURE FLOW RATES

SECTION 4.303.1
WATER REDUCTION FIXTURE FLOW RATES

FIXTURE TYPE	MAXIMUM ALLOWABLE FLOW RATE
Showerheads	1.8 gpm @ 80 psi
Lavatory faucets, residential	1.2 gpm @ 60 psi[1,3]
Lavatory faucets, nonresidential	0.4 gpm @ 60 psi[1,3]
Kitchen faucets	1.5 gpm @ 60 psi[2,4]
Metering Faucets	0.2 gallons/cycle
Gravity tank type water closets	1.28 gallons/flush[5]
Flushometer tank water closets	1.28 gallons/flush[5]
Flushometer valve water closets	1.28 gallons/flush[5]
Urinals	0.125 gallons/flush
Clothes Washers	ENERGY-STAR certified
Dishwashers	ENERGY-STAR certified

[1] Lavatory Faucets shall not have a flow rate less than 0.8 gpm at 20 psi
[2] Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2gpm @ 60psi and must default to a maximum flow rate of 1.8 gpm @ 60psi.
[3] Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.
[4] Kitchen faucets with a maximum 1.8 gpm flow rate may be installed in buildings that have water closets with a maximum flush rate of 1.06 gallons/flush installed throughout.
[5] Includes single and dual flush water closets with an effective flush of 1.28 gallons or less.
Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.233.2.
Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A112.19.14.

PROJECT NORTH

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

SEALS AND SIGNATURES

Todd B. SPIEGEL architects
699 Hampshire Road #218
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BUILDING 4
200 LANTERN CREST WAY
SANTEE, CA 92071

Issued for	Rev	Date
PLANNING SET	1	08/23/22
PLANNING SET		07/26/22
CLIENT REVIEW		03/30/22
ISSUE		

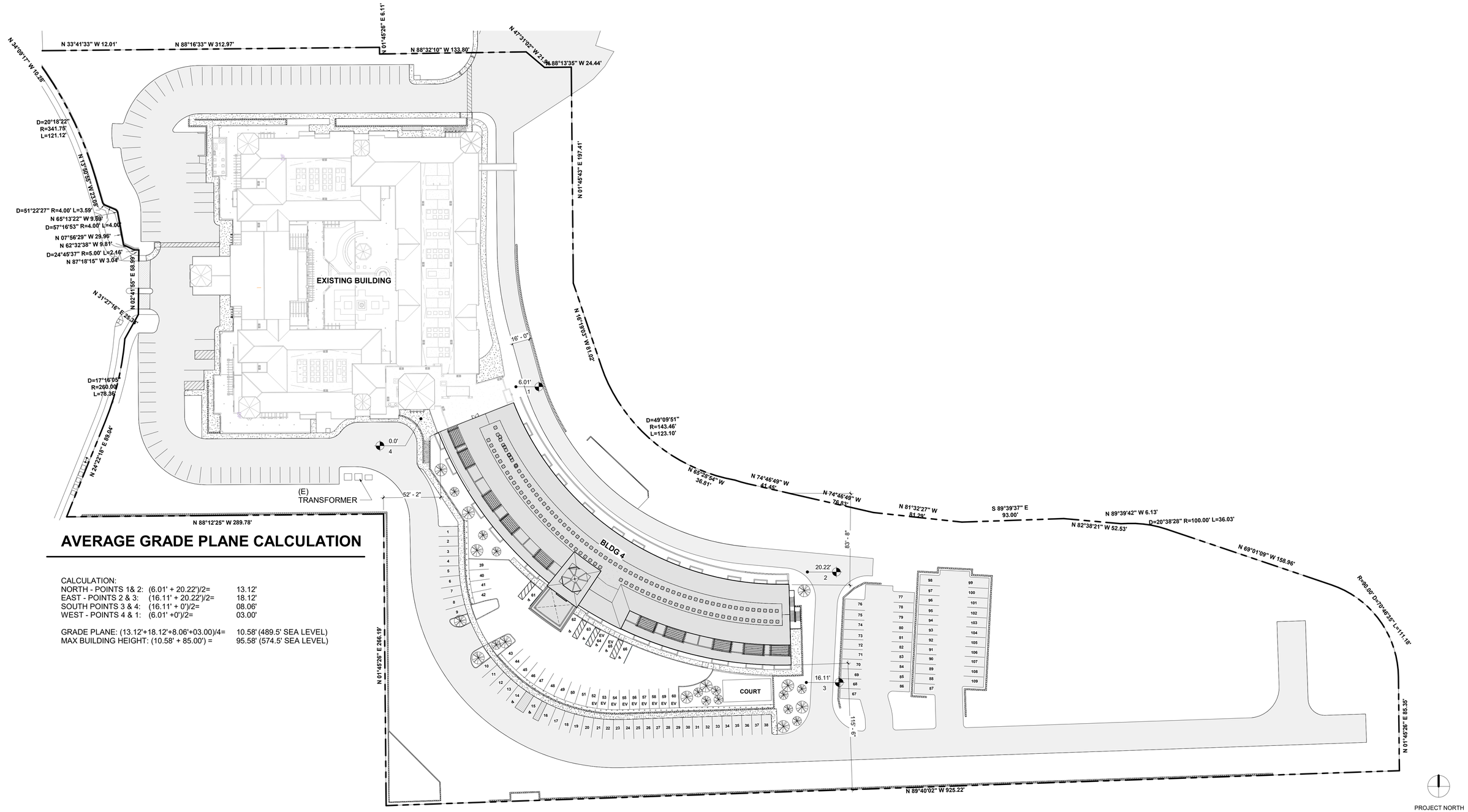
DRAWING TITLE
GREEN CODE

SCALE

PROJECT NUMBER 2119

PLOT DATE 8/23/2022 6:07:35 PM

DRAWING # A0.3



AVERAGE GRADE PLANE CALCULATION

CALCULATION:

NORTH - POINTS 1& 2:	(6.01' + 20.22')/2=	13.12'
EAST - POINTS 2 & 3:	(16.11' + 20.22')/2=	18.12'
SOUTH POINTS 3 & 4:	(16.11' + 0')/2=	08.06'
WEST - POINTS 4 & 1:	(6.01' +0')/2=	03.00'

GRADE PLANE: (13.12'+18.12'+8.06'+03.00)/4= 10.58' (489.5' SEA LEVEL)
MAX BUILDING HEIGHT: (10.58' + 85.00') = 95.58' (574.5' SEA LEVEL)

LUXURY SENIOR LIVING COMMUNITY
08/23/2022

NAME	COUNT
UNIT 1A	25
UNIT 1B	20
UNIT 1C	10
UNIT 2A	20
UNIT 2B	20
UNIT PH1A	3
UNIT PH2A	3
UNIT PH3A	2
UNIT STA	4
TOTAL PROJECT UNITS: 107	

BUILDING AREA:

BASEMENT LEVEL	17,156 SQFT
SECOND LEVEL	25,424 SQFT
THIRD LEVEL	25,424 SQFT
FOURTH LEVEL	25,424 SQFT
FIFTH LEVEL	25,424 SQFT
SIXTH LEVEL	19,297 SQFT
= TOTAL BUILDING	**138,149 SQFT**

PARKING ANALYSIS:
107 x 1 UNITS = 107 PARKING SPOTS

TOTAL REQUIRED 107 SPOTS

PARKING SPOTS PROVIDED = 92
ACCESSIBLE SPOTS PROVIDED= 6
EV PARKING SPOTS PROVIDED = 11

TOTAL PARKING PROVIDED = 109

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

SEALS AND SIGNATURES

Todd B.
SPIEGEL
architects
699 Hampshire Road #218
Westlake Village, CA 818.879.6175

BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

Issued for	Rev	Date
PLANNING SET	1	08/23/22
PLANNING SET		07/26/22
CLIENT REVIEW		03/30/22
ISSUE		

DRAWING TITLE
SITE PLAN - PARKING

SCALE 1" = 40'-0"
PROJECT NUMBER 2119
PLOT DATE 8/23/2022 6:08:04 PM

DRAWING # A1.1

TENTATIVE MAP
LANTERN CREST – PHASE 4 & 5

LEGAL DESCRIPTION

PARCEL B OF CERTIFICATE OF COMPLIANCE RECORDED FEBRUARY 05, 2018 AS INSTRUMENT NO. 2018–0046327 OF OFFICIAL RECORDS

SITE ADDRESS

8549 GRAVES AVENUE
SANTEE, CA 92071

SITE COVERAGE PH IV

	NET AREA	BLDGS., DWYS., PVT. STS.	SITE COVERAGE
SITE	162,867 SF	86,712 SF	53.2%

FLOOR–AREA RATIO PH IV

	NET AREA	FLOOR AREA (sf)	FLOOR–AREA RATIO
SITE	162,867 SF	25,784 SF	15.8%

SITE COVERAGE PH V

	NET AREA	BLDGS., DWYS., PVT. STS.	SITE COVERAGE
SITE	86,121 SF	20,563 SF	23.9%

FLOOR–AREA RATIO PH V

	NET AREA	FLOOR AREA (sf)	FLOOR–AREA RATIO
SITE	86,121 SF	N/A	

GRADING QUANTITIES

CUT	6,400 CY
FILL	1,700 CY
EXPORT	4,700 CY

EASEMENT NOTES

(5) AN EASEMENT TO THE CITY OF SANTEE, FOR THE PURPOSE OF CONSERVATION, RECORDED FEBRUARY 10, 2006, AS INSTRUMENT/ FILE NO. 2006–0100586 OF OFFICIAL RECORDS.

6. A DOCUMENT ENTITLED "EASEMENT TERMINATION AND GRANT OF NEW NON–EXCLUSIVE EASEMENT AGREEMENT" DATED MARCH 1, 2006, EXECUTED BY LANTERN CREST, LLC AND SANTEE RANCH PARTNERS, LLC, RECORDED APRIL 21, 2006 AS INSTRUMENT NO. 2006–0281522 OF OFFICIAL RECORDS.

7. AN EASEMENT TO SANTEE RANCH PARTNERS, LLC, FOR THE PURPOSE OF PRIVATE STREET, RECORDED APRIL 21, 2006, AS INSTRUMENT/FILE NO. 2006–0281522 OF OFFICIAL RECORDS.

(8) A DOCUMENT ENTITLED "EXCLUSIVE EASEMENT AGREEMENT" DATED, JULY 5, 2006, EXECUTED BY LANTERN CREST, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AND WILLIAM ROBERT JEWETT AND JOLYNN TERESA JEWETT, HUSBAND AND WIFE, AS JOINT TENANTS, RECORDED JULY 6, 2006 AS INSTRUMENT NO. 2006–0477456 OF OFFICIAL RECORDS.

(12) EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SHOWN OR AS OFFERED FOR DEDICATION ON THE RECORDED MAP SHOWN BELOW. PARCEL MAP NO. 20858
   A. EASEMENT PURPOSE: FIRE AND EMERGENCY VEHICLE ACCESS
   B. EASEMENT PURPOSE: PROPOSED PRIVATE ROAD AND UTILITY

15. EASEMENT AND MEMORANDUM OF AGREEMENT; DATED JUNE 13, 2011, BY AND BETWEEN SANTEE SENIOR RETIREMENT COMMUNITIES, LLC AND COXCOM, LLC DBA COX COMMUNICATIONS, RECORDED DECEMBER 29, 2011 AS INSTRUMENT NO. 2011–0704546 OF OFFICIAL RECORDS.

20. EASEMENT AND MEMORANDUM OF AGREEMENT; DATED JUNE 13, 2011, BY AND BETWEEN SANTEE SENIOR RETIREMENT COMMUNITIES, LLC AND COXCOM, LLC DBA COX COMMUNICATIONS, RECORDED DECEMBER 29, 2011 AS INSTRUMENT NO. 2011–0704546 OF OFFICIAL RECORDS.

21. THE MATTERS CONTAINED IN AN INSTRUMENT ENTITLED "AGREEMENT TO PERFORM STORM WATER FACILITIES MAINTENANCE", BY AND BETWEEN DEVELOPMENT CONTRACTORS INC. AND THE CITY OF SANTEE UPON THE TERMS THEREIN PROVIDED RECORDED DECEMBER 9, 2014 AS INSTR. NO. 2014–0540361, OF OFFICIAL RECORDS.

23. MATTERS CONTAINED IN DOCUMENT ENTITLED "EASEMENT AGREEMENT" BY AND BETWEEN SANTEE SENIOR RETIREMENT COMMUNITIES, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AND MICHAEL AND CASSANDRA KENT, RECORDED APRIL 12, 2018 AS INSTRUMENT NO. 2018–0145174 OF OFFICIAL RECORDS.

24. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR PUBLIC UTILITIES EASEMENT TO SAN DIEGO GAS & ELECTRIC COMPANY, A CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED JUNE 29, 2018 AS INSTRUMENT NO. 2018–0265826 OF OFFICIAL RECORDS.

25. EASEMENT AND RIGHTS INCIDENTAL THERETO FOR INGRESS AND EGRESS, AS SET FORTH IN A DOCUMENT RECORDED APRIL 29, 2019 AS INSTRUMENT NO. 2019–0156474 OF OFFICIAL RECORDS.

(A) PROPOSED EASEMENT FOR FIRE AND EMERGENCY VEHICLE ACCESS AND PROPOSED PRIVATE ROAD AND UTILITIES

ASSESSOR'S PARCEL NUMBER

384–142–25, 384–142–37

DEVELOPMENT SUMMARY

1. GROSS PROJECT AREA: 5.72 AC
2. NUMBER OF EXISTING LOTS: 1
3. NUMBER OF PROPOSED LOTS: 2
4. EXISTING ZONING: R–22 (HIGH DENSITY RESIDENTIAL)
5. PROPOSED ZONING: R–22 (HIGH DENSITY RESIDENTIAL)
6. GENERAL PLAN LAND USE DESIGNATION: RESIDENTIAL
7. EXISTING LAND USE: VACANT – PARKING LOT
8. PROPOSED LAND USE: MULTI–FAMILY RESIDENTIAL
9. NUMBER OF UNITS: 98 RESIDENTIAL UNITS
10. SETBACKS:
    FRONT 10 FEET
    EXT. STREET SIDE YARD 10 FEET
    INTERIOR SIDE YARD 10 FEET
    REAR 10 FEET
11. PARKING PROVIDED: (SEE SHEET 2)
    STANDARD PARKING SPACE 91
    ACCESSIBLE PARKING SPACE 7
    TOTAL PARKING COUNT 98
    (98 REQUIRED)

PROJECT NOTES

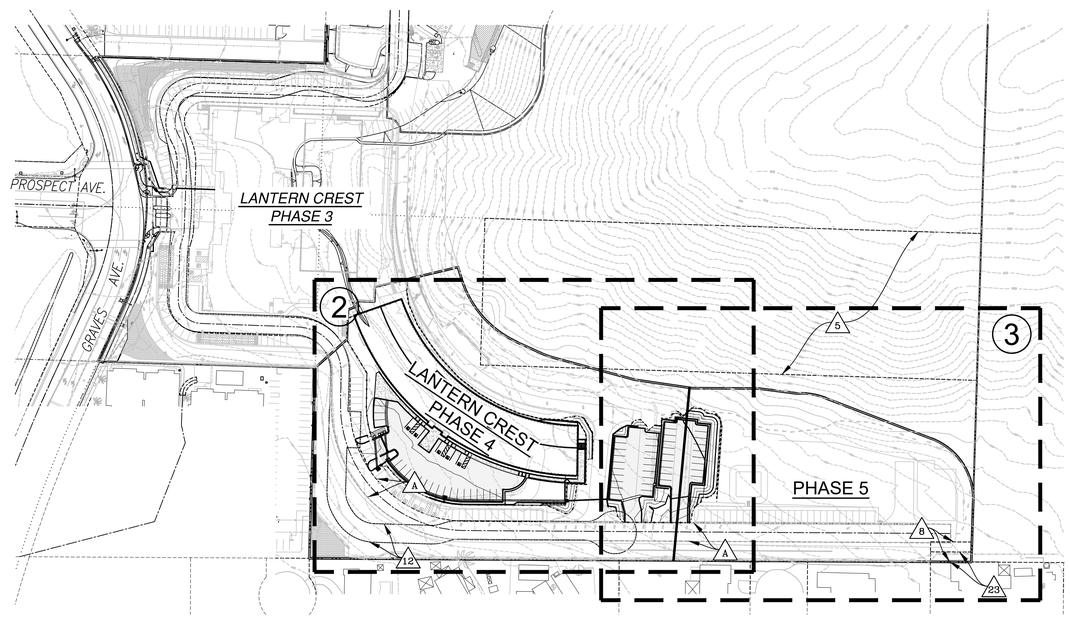
1. TOPOGRAPHY PER AERIAL SURVEY BY KAPPA SURVEYING, FLOWN ON MARCH 311, 2015 (DATUM: NGVD 29).
2. FINISH FLOOR ELEVATIONS ARE 8" ABOVE PAD ELEVATIONS.
3. SURFACES NOT IDENTIFIED AS STREETS, SIDEWALKS, DRIVEWAYS OR HOUSES SHALL BE LANDSCAPED.
4. ALL NEW STORM DRAIN FACILITIES PROPOSED WITH THIS SUBDIVISION SHALL BE PRIVATE AND BE MAINTAINED BY THE LANTERN CREST MANAGEMENT ASSOCIATION.
5. ALL ROOF DRAINS TO DISCHARGE THROUGH SITE BMP'S AND LANDSCAPING PRIOR TO ENTERING THE PUBLIC STORM DRAIN SYSTEM

DISTRICT SERVICE

FIRE:	CITY OF SANTEE
WATER:	PADRE DAM MWD
SEWER:	LANTERN CREST (PRIVATE)
HIGH SCHOOL:	GROSSMONT UNION H.S.D.
ELEMENTARY SCHOOL:	SANTEE UNIFIED S.D.
STREET LIGHTING:	LANTERN CREST (PRIVATE)
LANDSCAPE MAINTENANCE:	LANTERN CREST (PRIVATE)

LEGEND

SYMBOL	DESCRIPTION
	EXISTING RIGHT OF WAY
	EXISTING LOT LINE
	EXISTING EASEMENT
W	EXISTING WATER MAIN
S	EXISTING SEWER MAIN
	EXISTING STORM DRAIN
	EXISTING CURB
	EXISTING BUILDING
	EXISTING FENCE
	EXISTING FIRE HYDRANT
PP	EXISTING POWER POLE
	PROPOSED CURB
	PROPOSED STORM DRAIN
	PROPOSED BUILDING
	PROPOSED CONCRETE PAVING
	PROPOSED BIOFILTRATION AREA (2,150 SF)
	PROPOSED RETAINING WALL (VERTICA STRAIGHT FACE TAN OR EQUAL) (POST AND CABLE RAILING SYSTEM TO BE INSTALLED ON TOP OF EACH WALL)
	SAW CUT LINE
	PROPOSED SLOPE (2:1 U.O.N.)
F.F. 520.0	PROPOSED FINISH FLOOR ELEVATION
PAD 519.3	PROPOSED PAD ELEVATION
	TYPE "B" CURB INLET
	TYPE "F" INLET



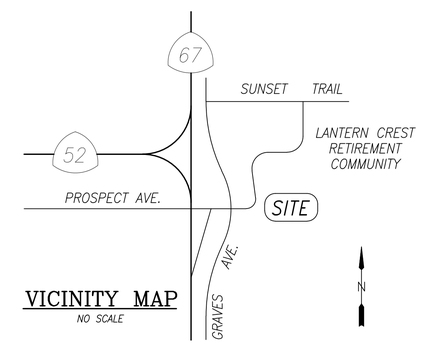
KEY MAP LEGEND

GRADING PLAN SHEET LIMITS
(2) GRADING PLAN SHEET NO.

KEY MAP

SCALE: 1" = 100'

100 50 0 100 200 300
SCALE: 1" = 100'



VICINITY MAP

NO SCALE

OWNER/SUBDIVIDER

DEVELOPMENT CONTRACTOR, INC.
NAME: MICHAEL GRANT
ADDRESS: 8510 RAILROAD AVENUE
SANTEE, CA 92071
PHONE: (619) 449–0249

MICHAEL GRANT DATE
FOR: SANTEE SENIOR RETIREMENT COMMUNITIES III, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

ENGINEER OF WORK

REC CONSULTANTS, INC.
2442 SECOND AVENUE
SAN DIEGO, CA 92101
(619)232–9200 (619)232–9210 FAX

REGISTERED PROFESSIONAL ENGINEER
JONATHAN RAAB RYDEEN
RCE – 64811
EXP. 6/30/23
CIVIL
STATE OF CALIFORNIA

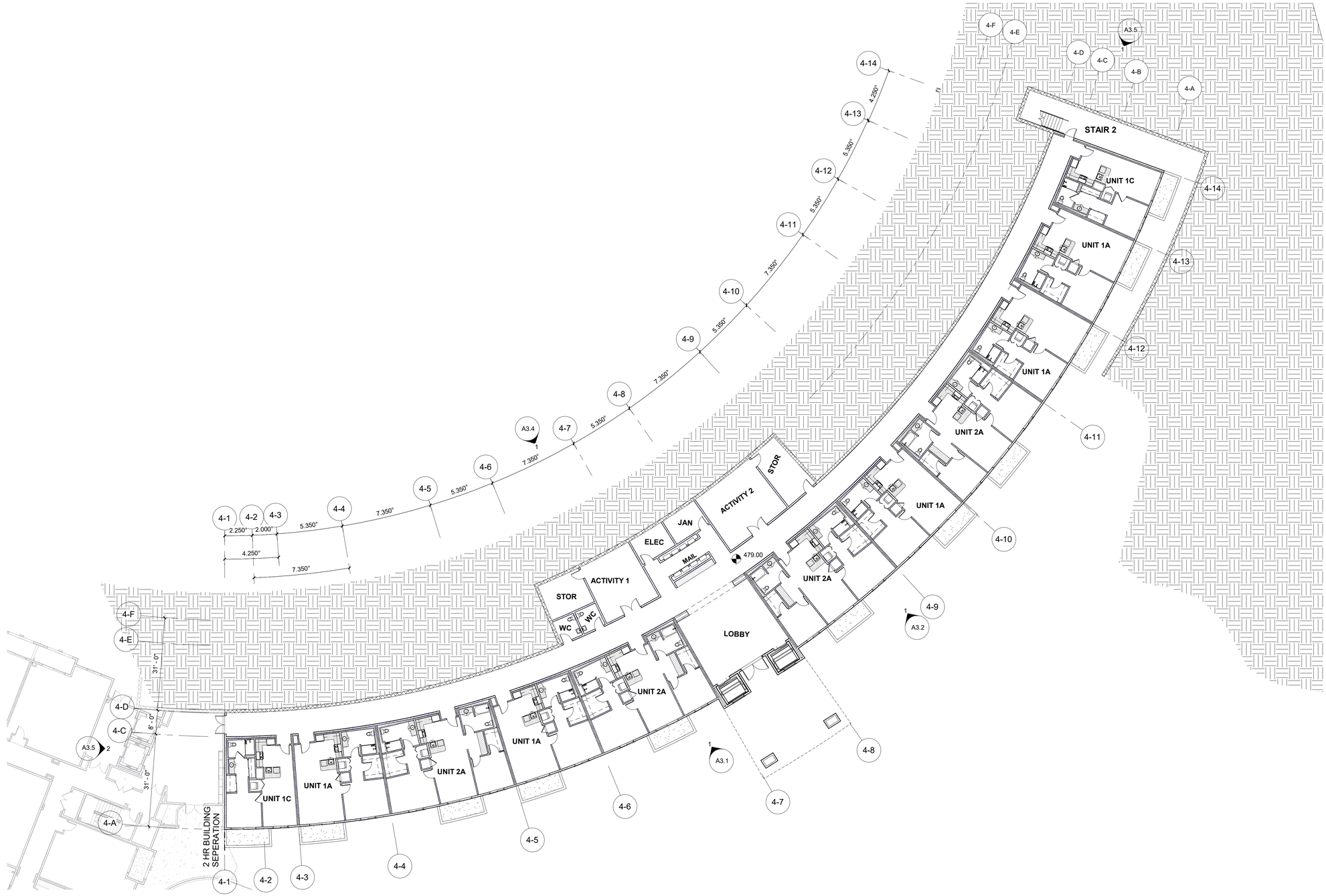
JONATHAN RAAB RYDEEN DATE
R.C.E. 64811 EXP. 6–30–23

August 9, 2022

SHEET 1 CITY OF SANTEE OF 3 SHEETS

TENTATIVE MAP
LANTERN CREST – PHASE 4 & 5

REC Consultants, Inc.
Civil Engineering · Environmental Land Surveying
2442 Second Avenue
San Diego, CA 92101
(619)232–9200 (619)232–9210 Fax



PROJECT NORTH

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

SEALS AND SIGNATURES

Todd B. SPIEGEL architects
699 Hampshire Road #218
Westlake Village, CA 818.879.6175

BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

Issued for	Rev	Date
PLANNING SET	1	08/23/22
PLANNING SET		07/26/22
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ISSUE		

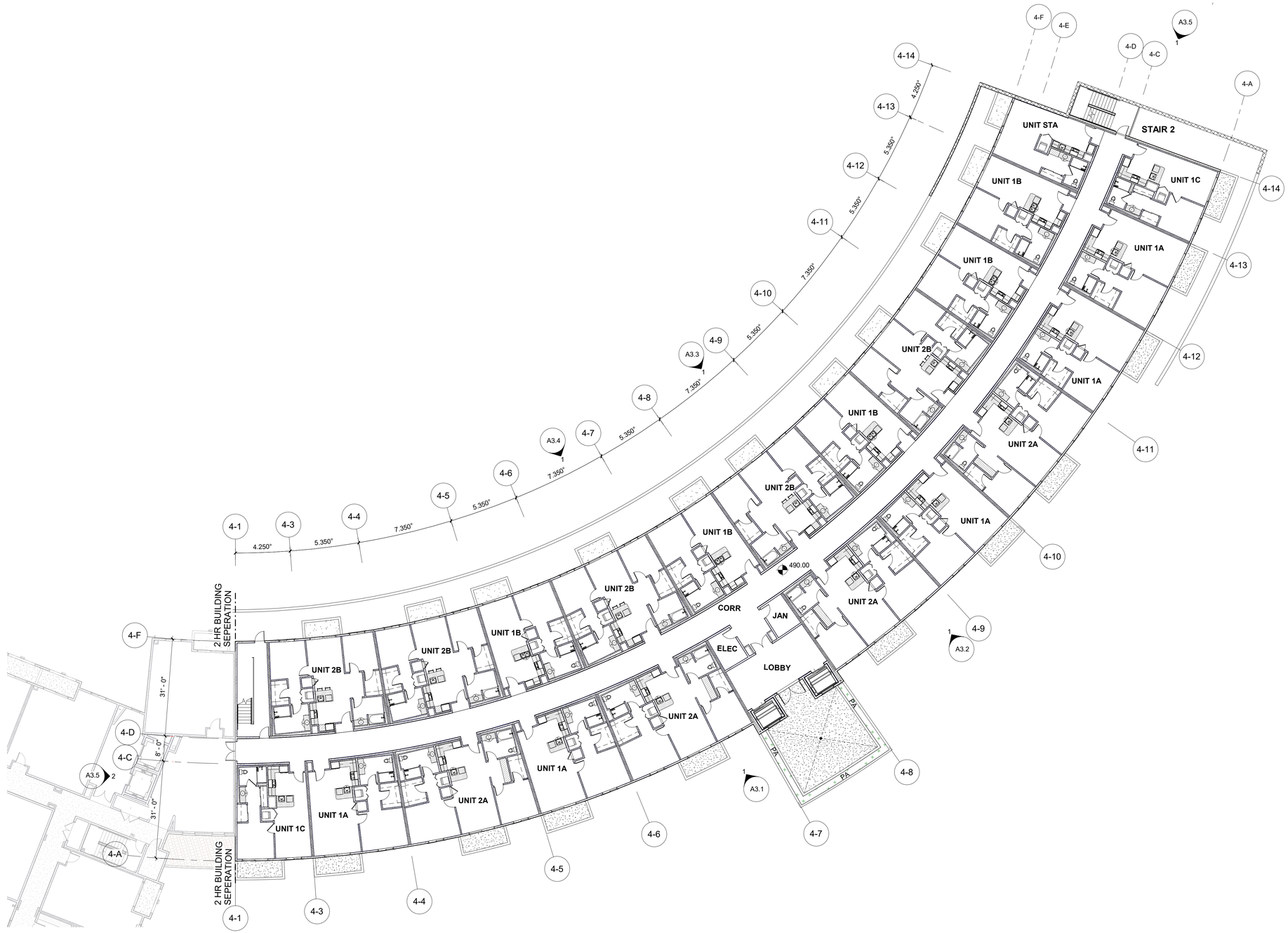
DRAWING TITLE
LEVEL 1 BASEMENT

SCALE 1/16" = 1'-0"

PROJECT NUMBER 2119

PLOT DATE 8/23/2022 6:08:22 PM

DRAWING # A2.1



PROJECT NORTH

SEALS AND SIGNATURES

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23.
RENEWAL DATE
STATE OF CALIFORNIA

Todd B. SPIEGEL architects
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BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

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DRAWING TITLE

LEVEL 2

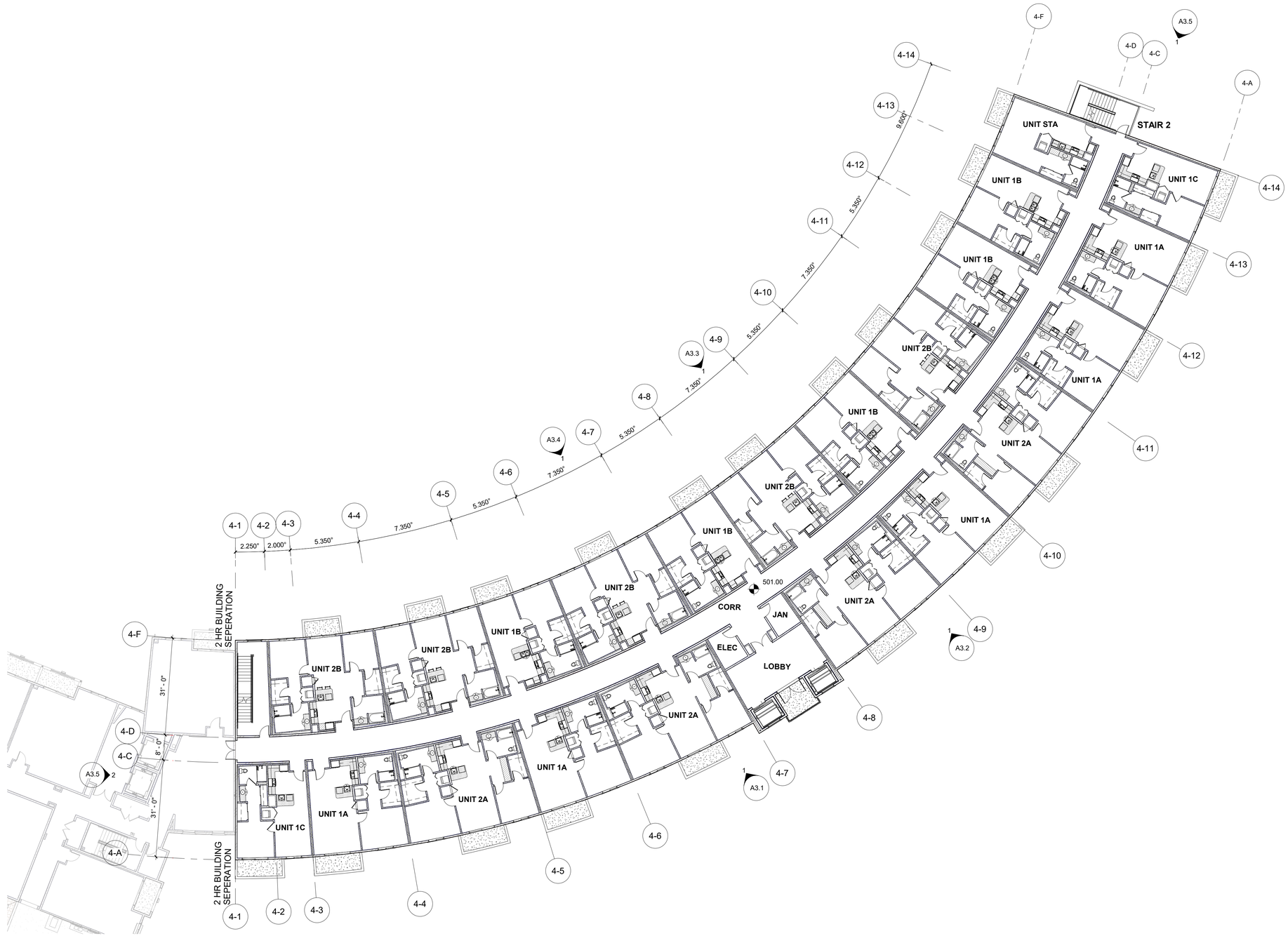
LEVEL 3, 4, AND 5 SIMILAR

SCALE 1/16" = 1'-0"

PROJECT NUMBER 2119

PLOT DATE 8/23/2022 6:08:43 PM

DRAWING # A2.2



LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23.
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STATE OF CALIFORNIA

SEALS AND SIGNATURES

Todd B. SPIEGEL architects
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BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

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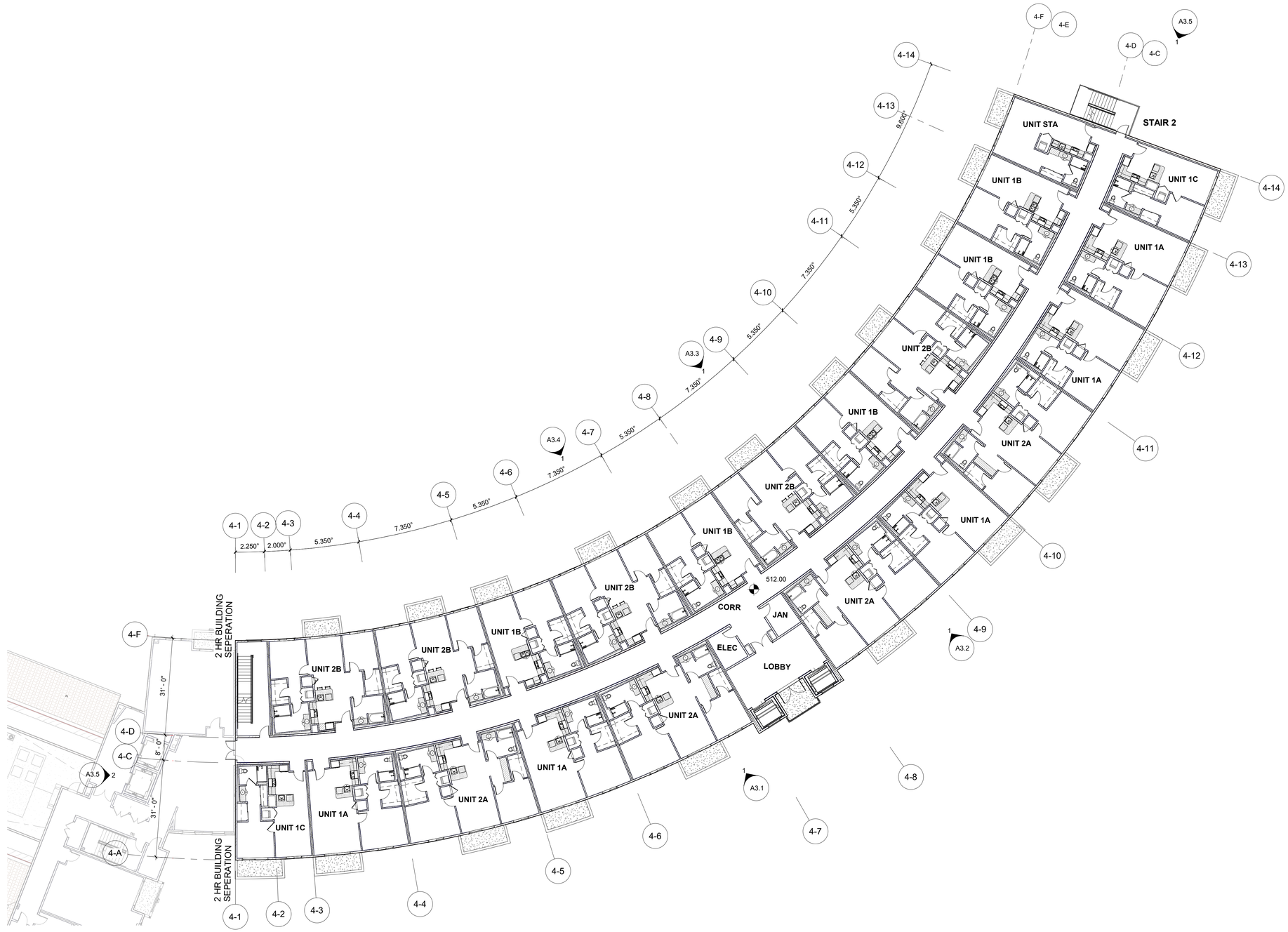
DRAWING TITLE
LEVEL 3

SCALE 1/16" = 1'-0"
PROJECT NUMBER 2119
PLOT DATE 8/23/2022 6:09:05 PM

DRAWING # A2.3



PROJECT NORTH

SEALS AND SIGNATURES

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23.
RENEWAL DATE
STATE OF CALIFORNIA

Todd B. SPIEGEL architects
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BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

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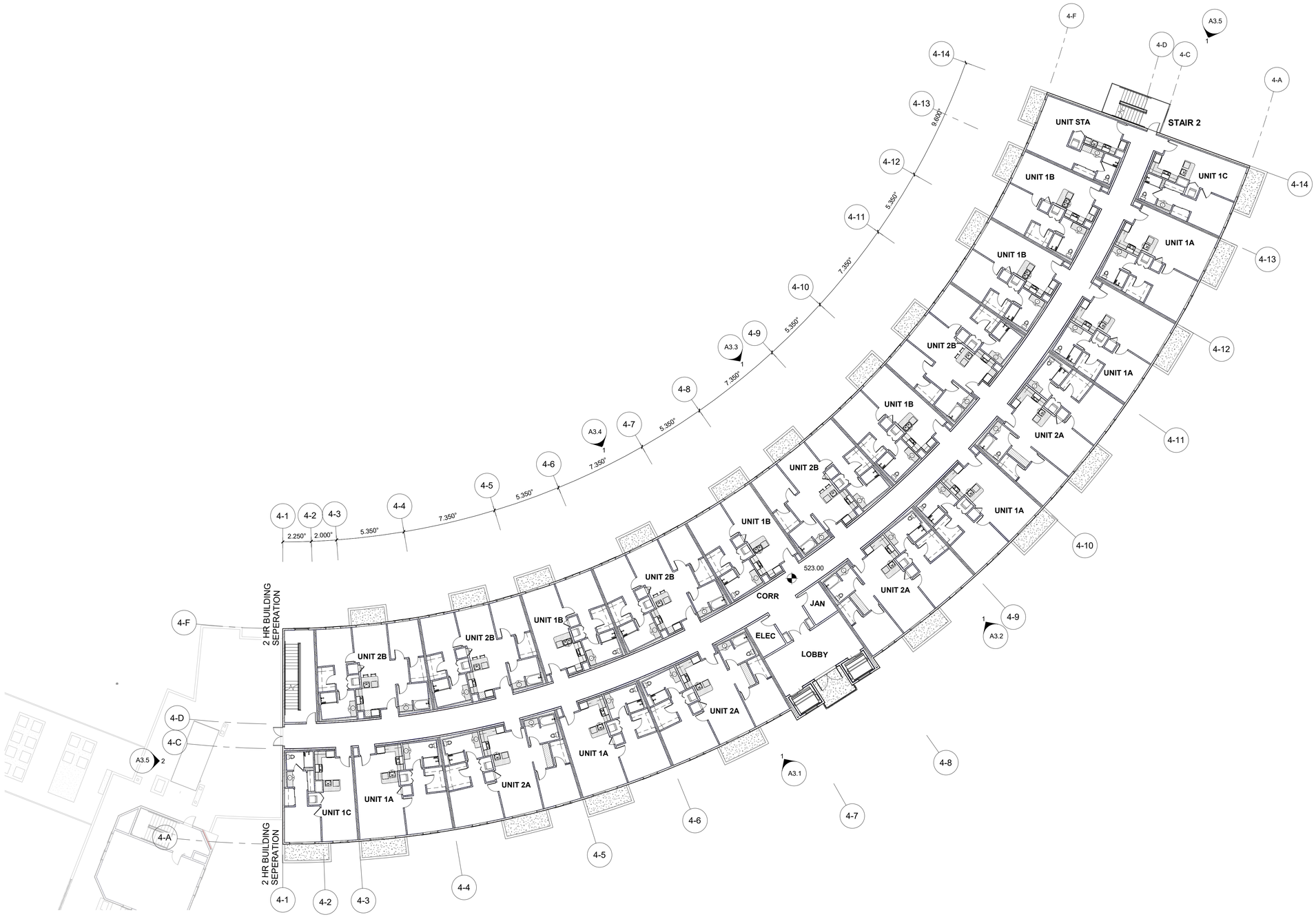
CLIENT REVIEW		03/30/22
ISSUE		

DRAWING TITLE
LEVEL 4

SCALE 1/16" = 1'-0"
PROJECT NUMBER 2119
PLOT DATE 8/23/2022 6:09:26 PM

DRAWING # A2.4



PROJECT NORTH

SEALS AND SIGNATURES

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23.
RENEWAL DATE
STATE OF CALIFORNIA

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BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

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ISSUE		

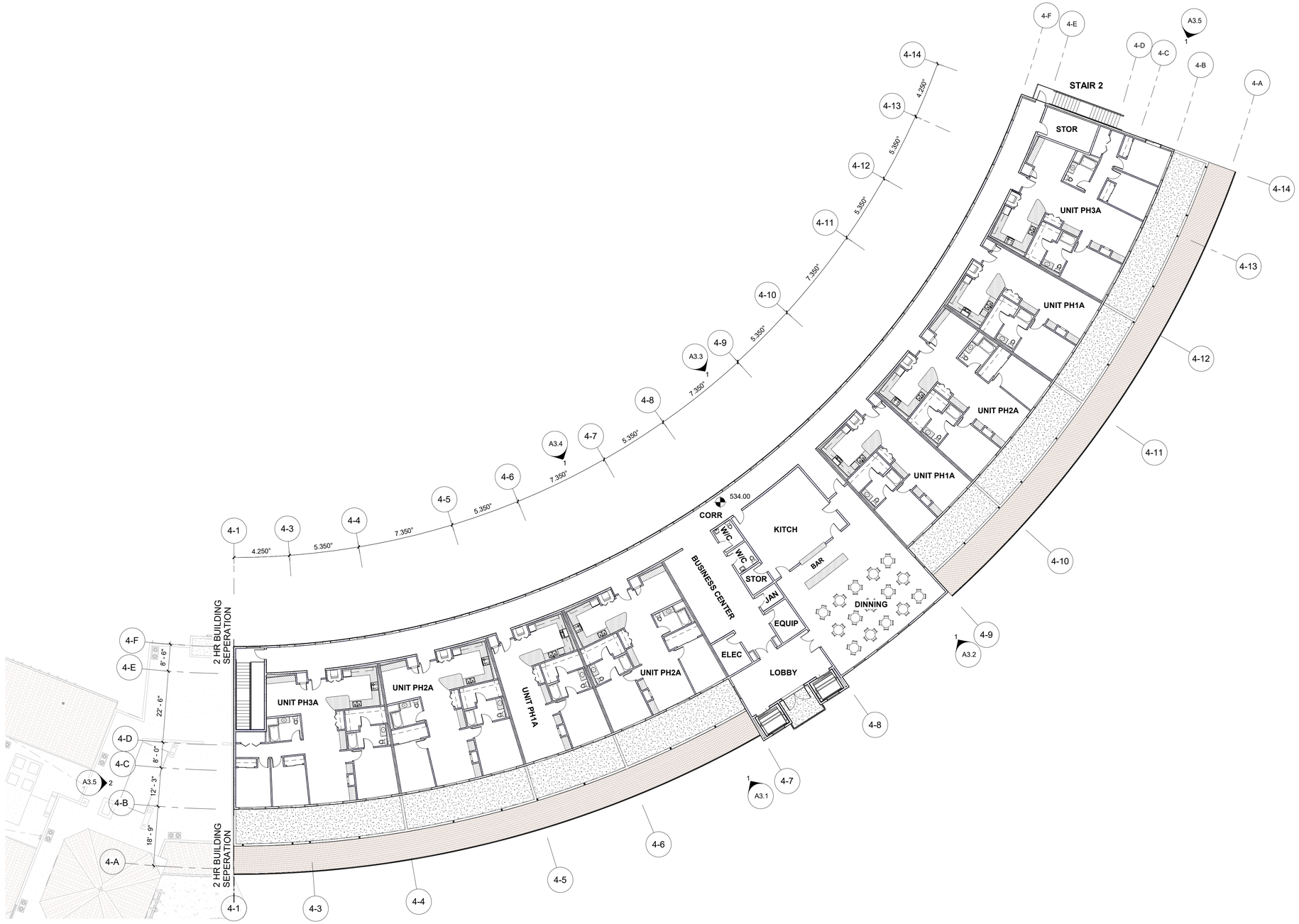
DRAWING TITLE
LEVEL 5

SCALE 1/16" = 1'-0"

PROJECT NUMBER 2119

PLOT DATE 8/23/2022 6:09:46 PM

DRAWING # A2.5



NAME	TYPE	# OF COMPLYING BATHROOMS	UNIT SF	COUNT
UNIT 1A	1 BED/1 BATH	1	850	25
UNIT 1B	1 BED/1 BATH	1	740	20
UNIT 1C	1 BED/1 BATH	1	680	10
UNIT 2A	2 BED/2 BATH	2	1180	20
UNIT 2B	2 BED/2 BATH	2	1030	10
UNIT PH1A	1 BED/1 BATH	1	1100	3
UNIT PH2A	2 BED/2 BATH	2	1525	3
UNIT PH3A	2 BED/1 DEN/ 2 BATH	2	1869	2
UNIT STA	STUDIO	1	580	4
TOTAL PROJECT UNITS: 107				

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

SEALS AND SIGNATURES

Todd B. SPIEGEL architects
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BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

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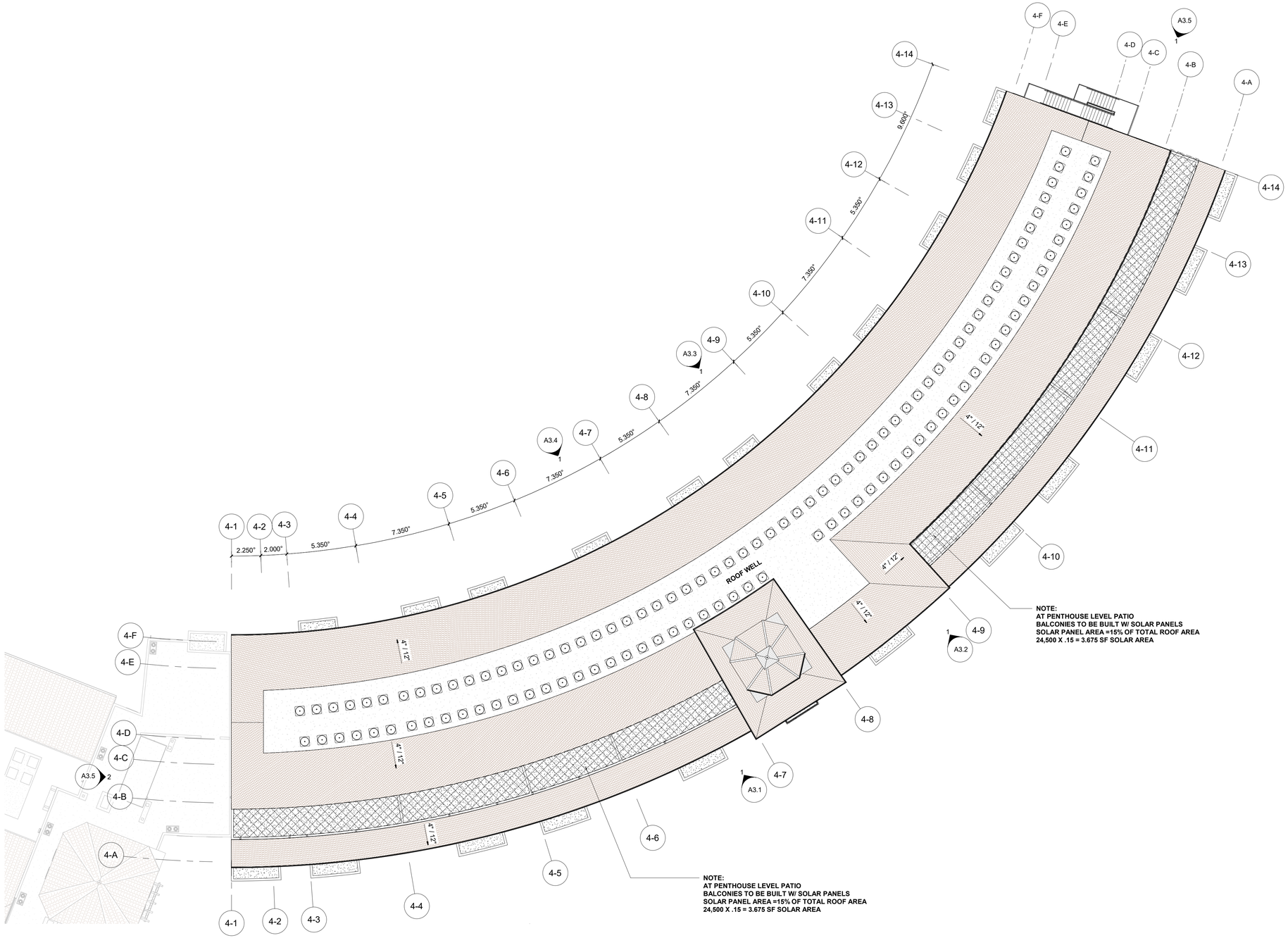
ISSUE		

DRAWING TITLE
LEVEL 6

SCALE 1/16" = 1'-0"
PROJECT NUMBER 2119
PLOT DATE 8/23/2022 6:10:07 PM

DRAWING # A2.6



PROJECT NORTH

SEALS AND SIGNATURES

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

Todd B.
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BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

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ISSUE		

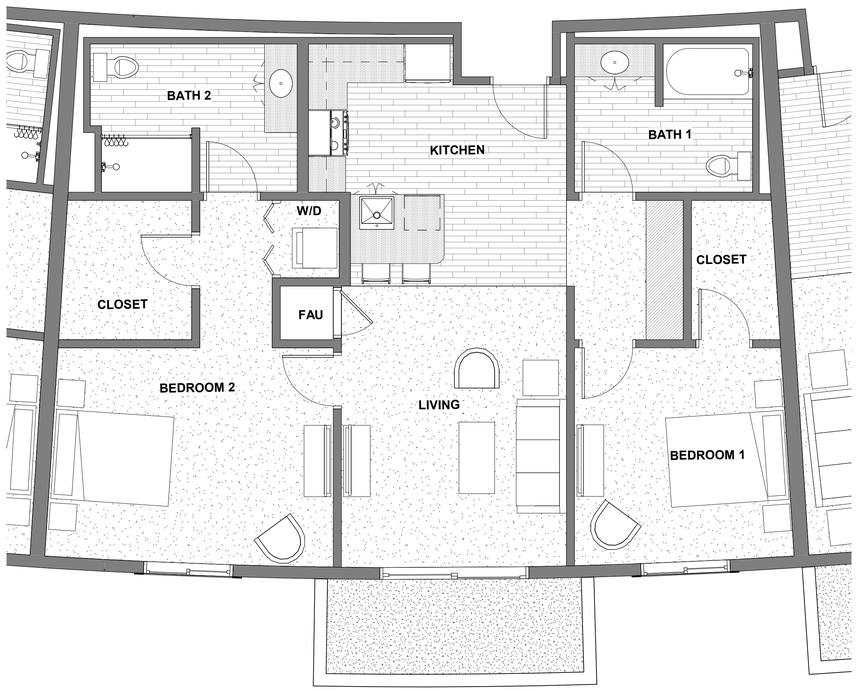
DRAWING TITLE
ROOF PLAN

SCALE 1/16" = 1'-0"

PROJECT NUMBER 2119

PLOT DATE 8/23/2022 6:10:18 PM

DRAWING # A2.7



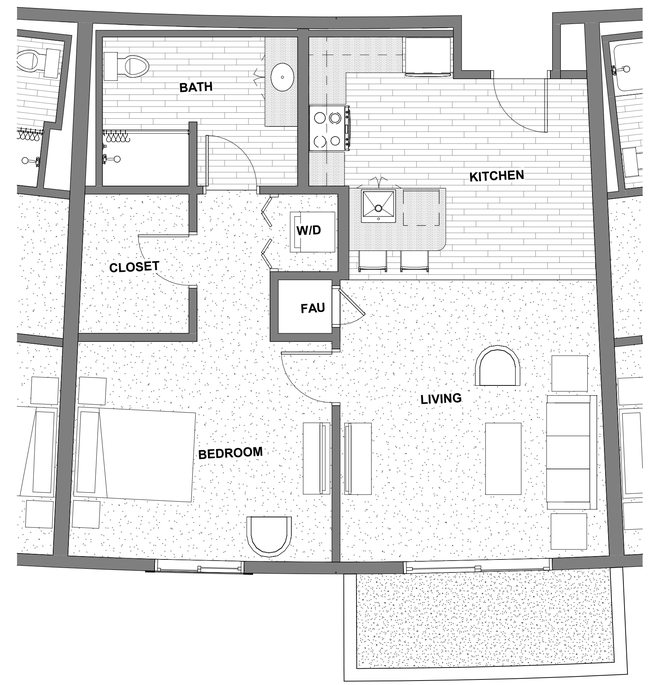
UNIT 2A - FLOOR PLAN

SCALE: 1/4" = 1'-0"

2

UNIT SQ. FTG.
1,180 SF

UNIT COUNT:
20 UNITS TOTAL



UNIT 1A - FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

UNIT SQ. FTG.
850 SF

UNIT COUNT:
25 UNITS TOTAL

PROJECT NORTH

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

SEALS AND SIGNATURES

Todd B.
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BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

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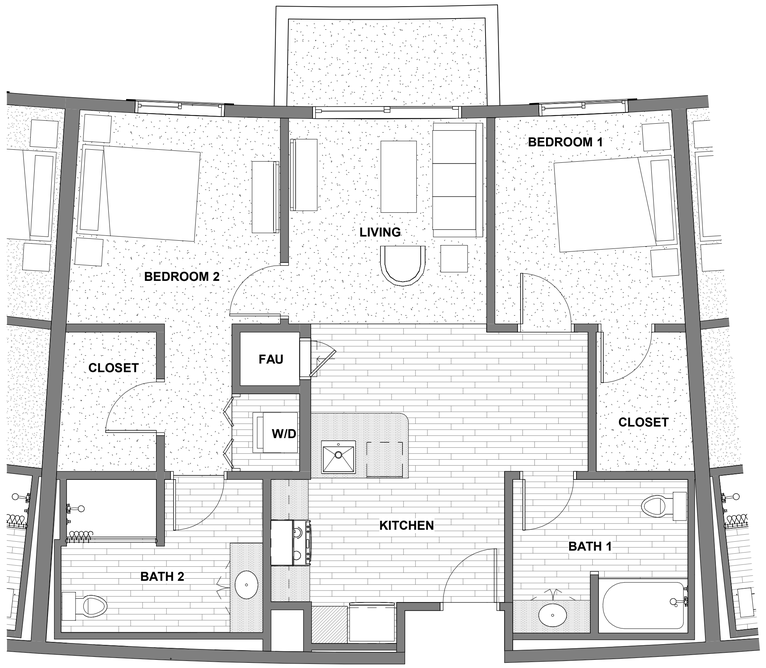
DRAWING TITLE
UNITS FLOOR PLANS

SCALE	1/4" = 1'-0"
PROJECT NUMBER	2119
PLOT DATE	8/23/2022 6:10:41 PM
DRAWING #	A2.8



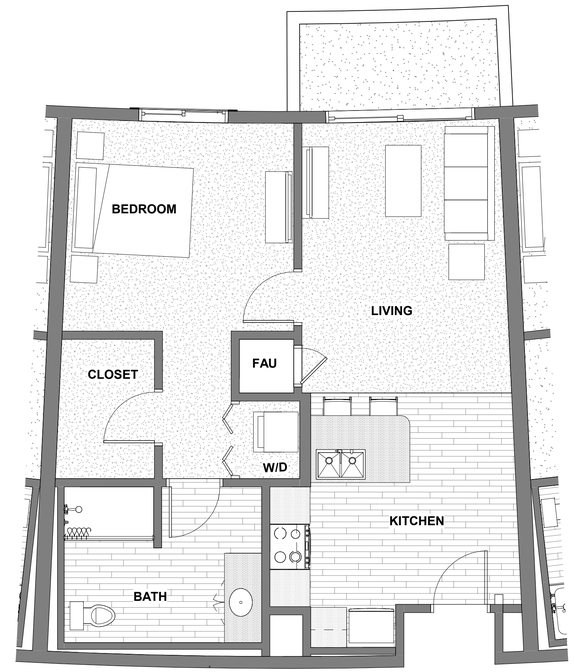
UNIT 2B - FLOOR PLAN

SCALE: 1/4" = 1'-0"

2

UNIT SQ. FTG.
1,030 SF

UNIT COUNT:
20 UNITS TOTAL



UNIT 1B - FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

UNIT SQ. FTG.
740 SF

UNIT COUNT:
20 UNITS TOTAL

PROJECT NORTH

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

SEALS AND SIGNATURES

Todd B.
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Westlake Village, CA 818.879.6175

BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

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ISSUE		

DRAWING TITLE
UNITS FLOOR PLANS

SCALE 1/4" = 1'-0"

PROJECT NUMBER 2119

PLOT DATE 8/23/2022 6:11:05 PM

DRAWING # A2.9

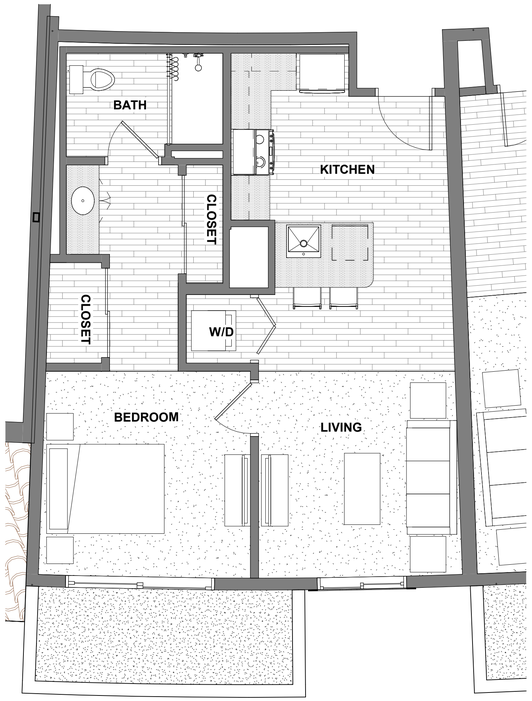
UNIT STA - FLOOR PLAN

SCALE: 1/4" = 1'-0"

2

UNIT SQ. FTG.
580 SF

UNIT COUNT:
4 UNITS TOTAL



UNIT 1C - FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

UNIT SQ. FTG.
660 SF

UNIT COUNT:
10 UNITS TOTAL

PROJECT NORTH

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

SEALS AND SIGNATURES

Todd B.
SPIEGEL
architects
699 Hampshire Road #218
Westlake Village, CA 818.879.6175

BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

Issued for	Rev	Date
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PLANNING SET		07/26/22
CLIENT REVIEW		03/30/22
ISSUE		

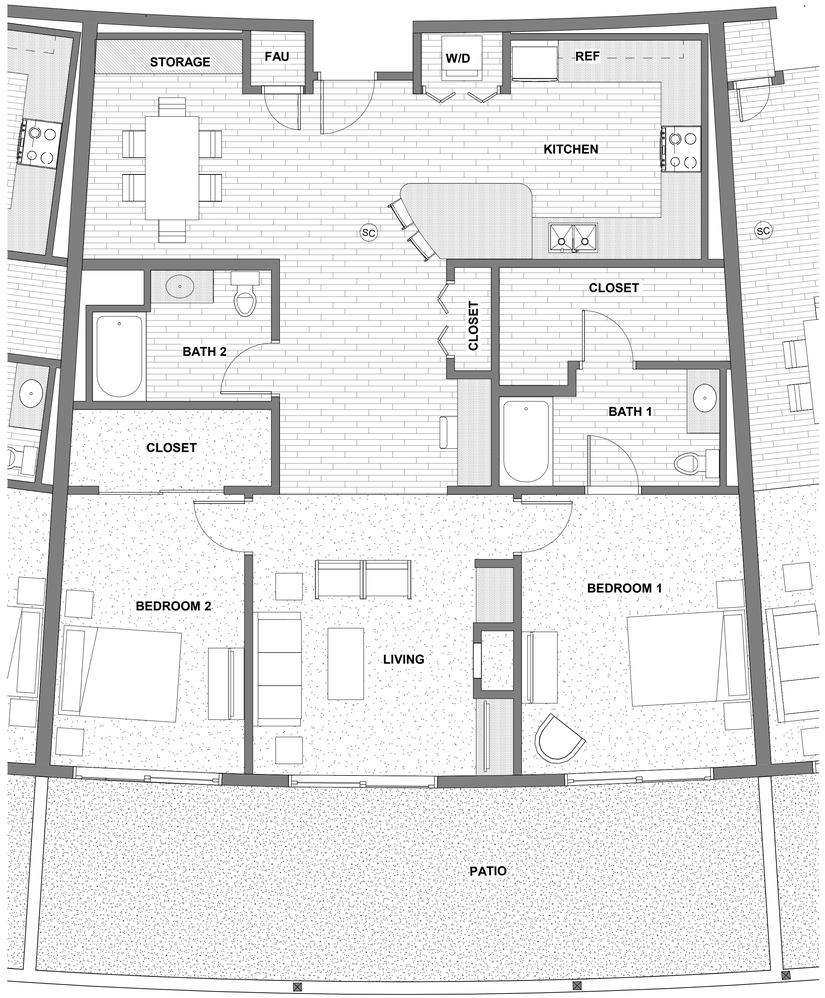
DRAWING TITLE
UNITS FLOOR PLANS

SCALE 1/4" = 1'-0"

PROJECT NUMBER 2119

PLOT DATE 8/23/2022 6:11:28 PM

DRAWING # A2.10



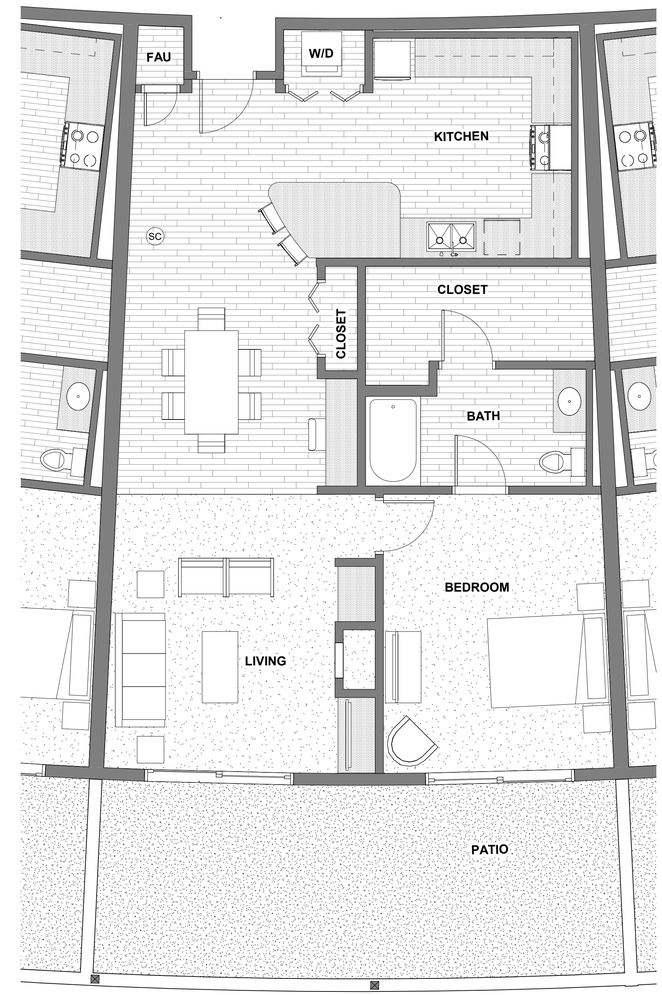
UNIT PH 2A - FLOOR PLAN

2

SCALE: 1/4" = 1'-0"

UNIT SQ. FTG.
1,525 SF

UNIT COUNT:
3 UNITS TOTAL



UNIT PH 1A - FLOOR PLAN

1

SCALE: 1/4" = 1'-0"

UNIT SQ. FTG.
1,100 SF

UNIT COUNT:
3 UNITS TOTAL

PROJECT NORTH

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

SEALS AND SIGNATURES

Todd B.
SPIEGEL
architects
699 Hampshire Road #218
Westlake Village, CA 818.879.6175

BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

Issued for	Rev	Date
PLANNING SET	1	08/23/22
PLANNING SET		07/26/22
CLIENT REVIEW		03/30/22
ISSUE		

DRAWING TITLE
UNITS FLOOR PLANS

SCALE	1/4" = 1'-0"
PROJECT NUMBER	2119
PLOT DATE	8/23/2022 6:11:54 PM
DRAWING #	A2.11

UNIT PH 3A - FLOOR PLAN

1

SCALE: 1/4" = 1'-0"

UNIT SQ. FTG.
1,800 SF

UNIT COUNT:
2 UNITS TOTAL

PROJECT NORTH

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23.
RENEWAL
STATE OF CALIFORNIA

SEALS AND SIGNATURES

Todd B.
SPIEGEL
architects
699 Hampshire Road #218
Westlake Village, CA 818.879.6175

BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

Issued for	Rev	Date
PLANNING SET	1	08/23/22
PLANNING SET		07/26/22
CLIENT REVIEW		03/30/22
ISSUE		

DRAWING TITLE
UNIT FLOOR PLANS

SCALE

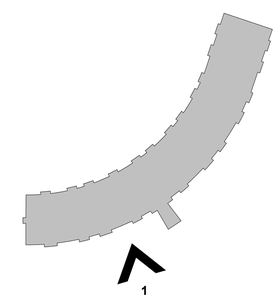
PROJECT NUMBER 2119

PLOT DATE 8/23/2022 6:12:07 PM

DRAWING # A2.12

BLDG 4 - FRONT LEFT ELEVATION 1

SCALE: 3/32" = 1'-0"



PROJECT NORTH

SEALS AND SIGNATURES

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

Todd B.
SPIEGEL
architects
699 Hampshire Road #218
Westlake Village, CA 818.879.6175

BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

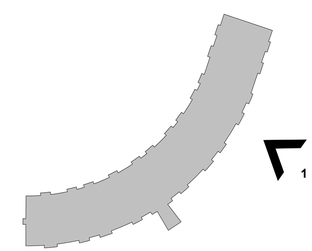
Issued for	Rev	Date
PLANNING SET	1	08/23/22
PLANNING SET		07/26/22
CLIENT REVIEW		03/30/22
ISSUE		

DRAWING TITLE
FRONT ELEVATION

SCALE	3/32" = 1'-0"
PROJECT NUMBER	2119
PLOT DATE	8/23/2022 6:24:57 PM
DRAWING #	A3.1

BLDG 4 - FRONT RIGHT ELEVATION 1

SCALE: 3/32" = 1'-0"



PROJECT NORTH

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

SEALS AND SIGNATURES

Todd B. SPIEGEL architects
699 Hampshire Road #218
Westlake Village, CA 818.879.6175

BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

Issued for	Rev	Date
PLANNING SET	1	08/23/22
PLANNING SET		07/26/22
CLIENT REVIEW		03/30/22
ISSUE		

DRAWING TITLE
FRONT ELEVATION

SCALE 3/32" = 1'-0"

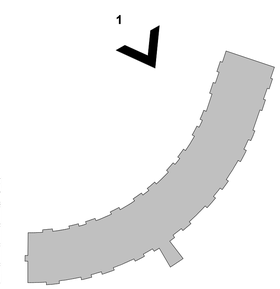
PROJECT NUMBER 2119

PLOT DATE 8/23/2022 6:26:31 PM

DRAWING # A3.2

BLDG 4 - REAR LEFT ELEVATION (1)

SCALE: 3/32" = 1'-0"



PROJECT NORTH

SEALS AND SIGNATURES

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

Todd B. SPIEGEL architects
699 Hampshire Road #218
Westlake Village, CA 818.879.6175

BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

Issued for	Rev	Date
PLANNING SET	1	08/23/22
PLANNING SET		07/26/22
CLIENT REVIEW		03/30/22
ISSUE		

DRAWING TITLE
REAR ELEVATION

SCALE 3/32" = 1'-0"

PROJECT NUMBER 2119

PLOT DATE 8/23/2022 6:13:17 PM

DRAWING # A3.3

BLDG 4 - REAR RIGHT ELEVATION 1

SCALE: 3/32" = 1'-0"

PROJECT NORTH

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
REGISTRATION DATE
STATE OF CALIFORNIA

SEALS AND SIGNATURES

Todd B. SPIEGEL architects
699 Hampshire Road #218
Westlake Village, CA 818.879.6175

BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

Issued for	Rev	Date
PLANNING SET	1	08/23/22
PLANNING SET		07/26/22
CLIENT REVIEW		03/30/22
ISSUE		

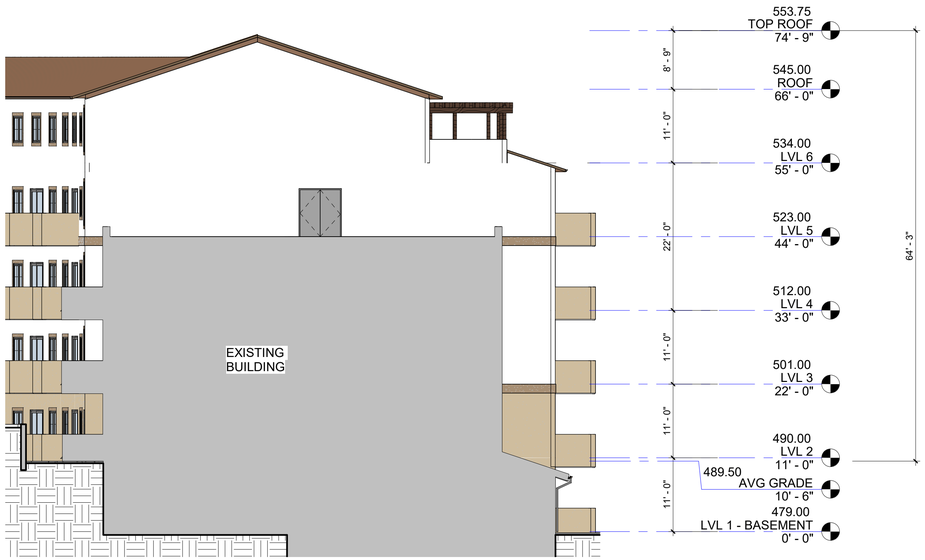
DRAWING TITLE
REAR ELEVATION

SCALE 3/32" = 1'-0"

PROJECT NUMBER 2119

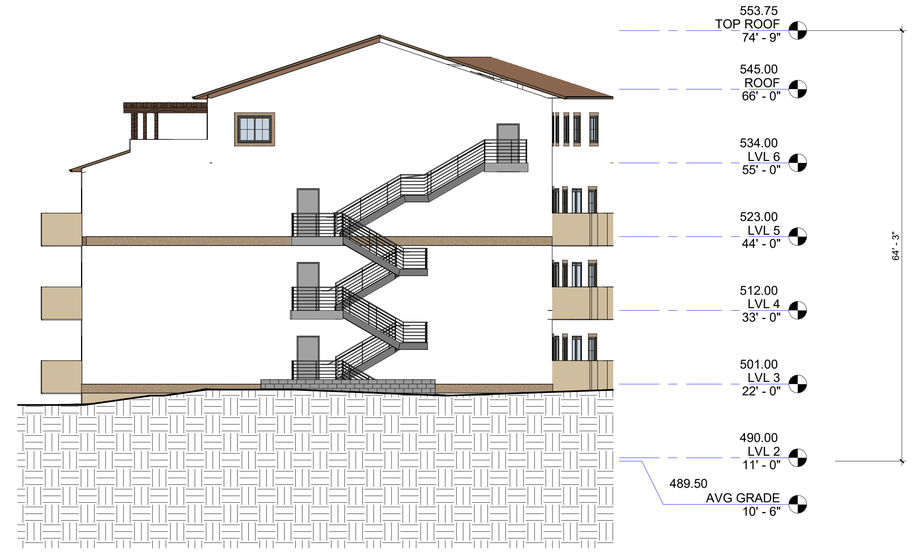
PLOT DATE 8/23/2022 6:13:33 PM

DRAWING # A3.4



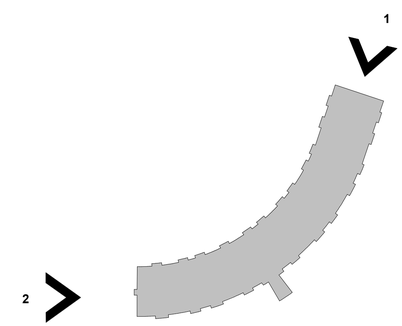
BLDG 4 - LEFT - DESIGN (2)

SCALE: 3/32" = 1'-0"



BLDG 4 - RIGHT - DESIGN (1)

SCALE: 3/32" = 1'-0"



PROJECT NORTH

SEALS AND SIGNATURES

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

Todd B.
SPIEGEL
architects
699 Hampshire Road #218
Westlake Village, CA 818.879.6175

BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

Issued for	Rev	Date
PLANNING SET	1	08/23/22
PLANNING SET		07/26/22
CLIENT REVIEW		03/30/22
ISSUE		

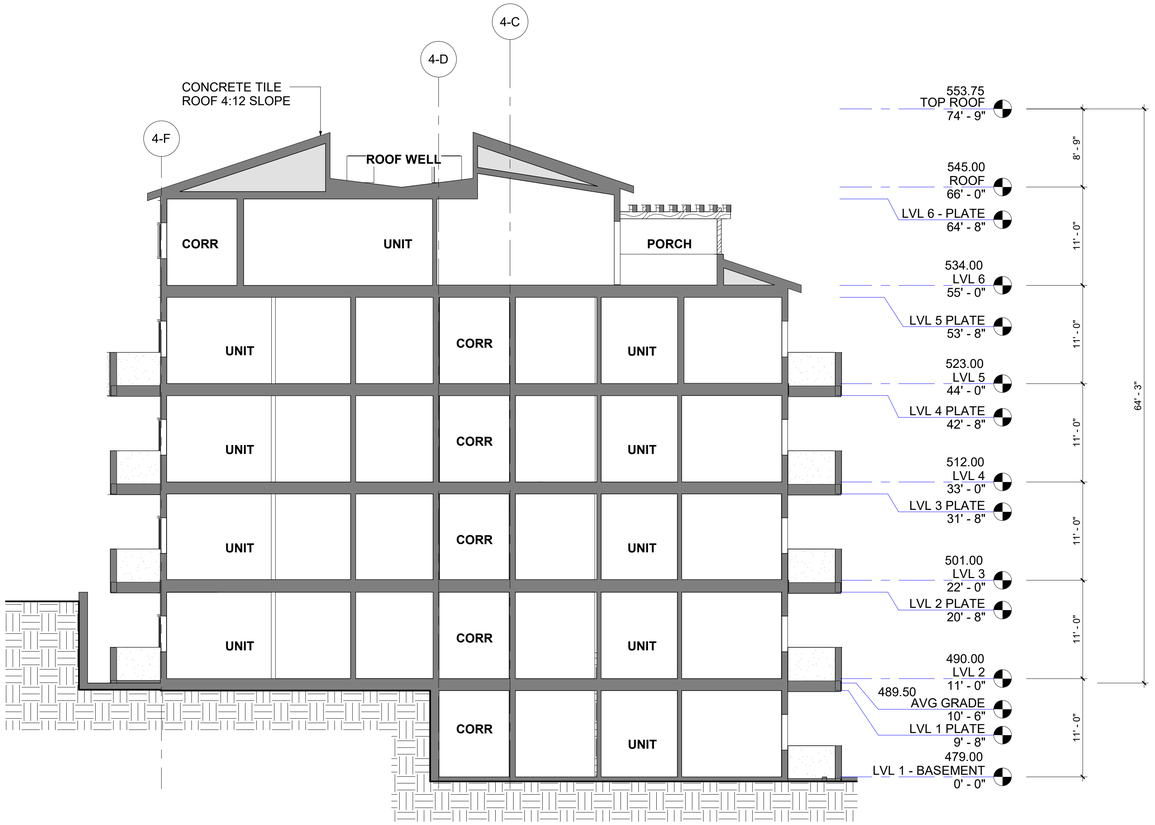
DRAWING TITLE

ELEVATIONS

SCALE	3/32" = 1'-0"
PROJECT NUMBER	2119
PLOT DATE	8/23/2022 6:13:55 PM

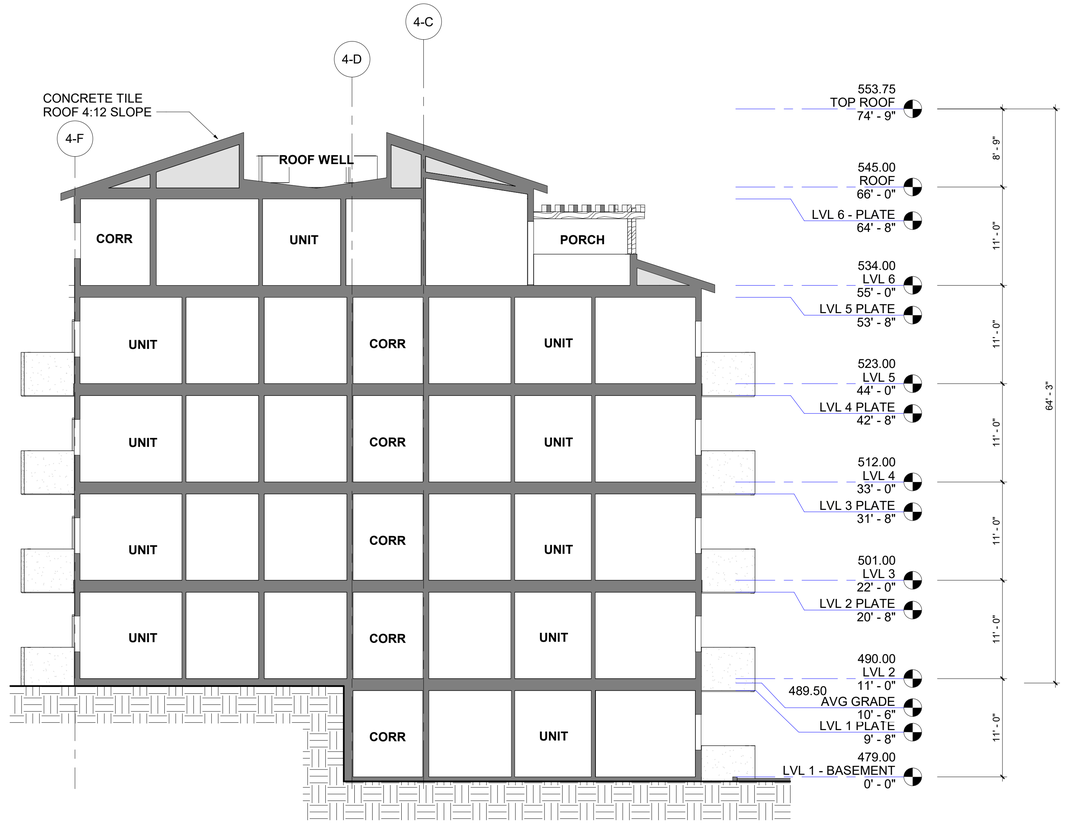
A3.5

DRAWING #



BUILDING SECTION B (2)

SCALE: 1/8" = 1'-0"



BUILDING SECTION C (1)

SCALE: 1/8" = 1'-0"

PROJECT NORTH

SEALS AND SIGNATURES

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23
RENEWAL DATE
STATE OF CALIFORNIA

Todd B. SPIEGEL architects
699 Hampshire Road #218
Westlake Village, CA 818.879.6175

BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

Issued for	Rev	Date
PLANNING SET	1	08/23/22
PLANNING SET		07/26/22
CLIENT REVIEW		03/30/22
ISSUE		

DRAWING TITLE

BUILDING SECTIONS

SCALE	1/8" = 1'-0"
PROJECT NUMBER	2119
PLOT DATE	8/23/2022 6:28:40 PM
DRAWING #	A4.1

LANTERY CREST BUILDING 4

A LUXURY SENIOR LIVING COMMUNITY

1 S-TILE ROOF

CLASS 'A' S-TILE ROOF
0/ 2 LAYERS 30# FELT
US TILE BY BORAL, ICC#
ER-1017
S-TILE MADERA BLEND #
1USDU3107

2 STUCCO A

LAHABRA
CEMENTITIOUS STUCCO 3 COAT"
COLOR: CRYSTAL WHITE 50
TEXTURE: 16/20 FLOAT FINISH

3 STUCCO B

LAHABRA
CEMENTITIOUS STUCCO 3 COAT
COLOR: SADDLEBACK 25
TEXTURE: 16/20 FLOAT FINISH

4 STUCCO C

LAHABRA
CEMENTITIOUS STUCCO 3 COAT
COLOR: SUFFOLK 81584
TEXTURE: 16/20 FLOAT FINISH

5 DOOR/WINDOW

DOOR/WINDOW TYPES:
MILGARD ULTA SERIES FIBERGLASS
BARK COLOR, FLAT GRID

US ALUMINUM SERIES 450 STOREFRONT
COLOR: DARK BRONZE

6 RAILS

STEEL RAILINGS
COLOR: DARK BRONZE

7 TRELLIS

COLOR: DARK WOOD STAIN

8 DECORATIVE EXTERIOR TRIM

FOAM TRIM BY REDICOAT
-WINDOW TRIM, SQ EDGE
1 1/2" X 4"
-CORNICE: RC117 MEDIUM
8" DP X 11" H
-HORIZTAL BAND: SQ EDGE
2" X 14"

10 GUTTERS & DOWNSPOTS

GUTTER K-STYLE SEAMLESS
COLOR: DARK BRONZE

11 PRECAST WALL/TRIM

PRECAST WALL PANELS/TRIM
COLOR: GREY

12 SITE WALLS

SITE WALLS:
ORCO, VARIEGATED BLOCK,
BORREGO SPLIT FACE, WITH
WHEAT MAC MORTAR , WHEAT CAP

PROJECT NORTH

LICENSED ARCHITECT
TODD B. SPIEGEL
C-30855
11.30.23.
RENEWAL DATE
STATE OF CALIFORNIA

SEALS AND SIGNATURES

Todd B.
SPIEGEL
architects
699 Hampshire Road #218
Westlake Village, CA 818.879.6175

BUILDING 4

200 LANTERN CREST WAY
SANTEE, CA 92071

Issued for	Rev	Date
PLANNING SET	1	08/23/22
PLANNING SET		07/26/22
CLIENT REVIEW		03/30/22
ISSUE		

DRAWING TITLE
MATERIAL BOARD

SCALE

PROJECT NUMBER 2119

PLOT DATE 8/23/2022 6:14:15 PM

DRAWING # A5.1

LANTERN CREST - PHASE 4

PRECISE GRADING PLANS

ENGINEER OF WORK'S DESIGN CERTIFICATION

I, RAAB RYDEEN, HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THE DRAINAGE STUDY, SWMP, AND SHEETS 6-10 FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE, AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, OVER THE ENGINEERING DESIGN OF MY PORTION OF THIS PROJECT AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SANTEE IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME AS THE ENGINEER OF WORK OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

I FURTHER UNDERSTAND THAT UPON APPROVAL OF THESE PLANS BY THE CITY ENGINEER, THE PLANS BECOME THE PROPERTY OF THE CITY OF SANTEE IN ACCORDANCE WITH THE CITY PUBLIC WORKS STANDARDS. AS SUCH, I HEREBY RELINQUISH RIGHT OF OWNERSHIP TO THE CITY TO USE THESE PLANS AS THEY MAY DEEM NECESSARY.

SIGNED: _____ DATE: _____
REGISTRATION NO. 64811, MY REGISTRATION EXPIRES ON 6/30/2023
FIRM: R.E.C. CONSULTANTS, INC.
ADDRESS: 2442 SECOND AVENUE
SAN DIEGO, CA 92101
TELEPHONE: (619) 232-9200

REGISTERED PROFESSIONAL ENGINEER JONATHAN RAAB RYDEEN RCE 64811 EXP. 06/30/23 CIVIL STATE OF CALIFORNIA

ENGINEER OF WORK'S RECORD DRAWING CERTIFICATION

I, _____, A REGISTERED CIVIL ENGINEER IN THE STATE OF CALIFORNIA, HEREBY DECLARE THAT I HAVE EXERCISED RESPONSIBLE CHARGE, AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, OVER THE PREPARATION OF THE ENGINEERING PORTION OF THE RECORD DRAWINGS AND THAT THE INFORMATION SHOWN IS BASED ON AN INVESTIGATION AND SURVEY OF THE IMPROVEMENTS BETWEEN THE DATES OF _____ AND _____. TO THE BEST OF MY KNOWLEDGE AND EXPERIENCE THE INFORMATION SHOWN ON THESE PLANS PROVIDE AN ACCURATE AND CORRECT REPRESENTATION OF THE AS-BUILT CONDITIONS.

SIGNED: _____ DATE: _____
REGISTRATION NO. _____, MY REGISTRATION EXPIRES ON _____
FIRM: _____
ADDRESS: _____
TELEPHONE: _____

RESIDENTIAL FLOOD STATEMENT

I, _____, A REGISTERED CIVIL ENGINEER/LAND SURVEYOR HEREBY CERTIFY THAT THE PAD ELEVATIONS SHOWN ON THIS AS-BUILT GRADING PLAN HAVE BEEN VERIFIED BY ME AND THAT SAID ELEVATIONS ARE AT OR ABOVE THE BASE FLOOD ELEVATION AS ESTABLISHED BY THE BASE FLOOD DISCHARGE RATES SET FORTH IN THE FLOOD DAMAGE PREVENTION ORDINANCE - CHAPTER 15.52 OF THE SANTEE MUNICIPAL CODE.

SIGNED: _____ DATE: _____
REGISTRATION NO. _____, MY REGISTRATION EXPIRES ON _____

SOIL ENGINEER'S DESIGN CERTIFICATION

I, MATTHEW MARCUS, A REGISTERED CIVIL ENGINEER IN THE STATE OF CALIFORNIA, PRINCIPALLY DOING BUSINESS IN THE FIELD OF APPLIED SOIL MECHANICS, HEREBY CERTIFY THAT A SAMPLING AND STUDY OF THE SOIL CONDITIONS PREVALENT WITHIN THIS SITE WAS MADE BY ME OR UNDER MY DIRECTION BETWEEN THE DATES JULY 8, 2022 AND JULY 12, 2022. THREE COMPLETE COPIES OF THE SOILS REPORT COMPILED FROM WITH MY RECOMMENDATIONS, HAS BEEN SUBMITTED TO THE OFFICE OF THE DIRECTOR OF DEVELOPMENT SERVICES.

I HAVE REVIEWED THE PROJECT DESIGN AND THE GRADING SHOWN HEREON IS CONSISTENT WITH THE RECOMMENDATIONS CONTAINED IN THE APPROVED SOILS AND GEOTECHNICAL REPORTS FOR THE PROJECT.

I FURTHER UNDERSTAND THAT UPON APPROVAL OF THESE PLANS BY THE CITY ENGINEER, THE PLANS BECOME THE PROPERTY OF THE CITY OF SANTEE IN ACCORDANCE WITH THE CITY PUBLIC WORKS STANDARDS. AS SUCH, I HEREBY RELINQUISH RIGHT OF OWNERSHIP TO THE CITY TO USE THESE PLANS AS THEY MAY DEEM NECESSARY.

SIGNED: _____ DATE: _____
REGISTRATION NO. G.E. 3156, MY REGISTRATION EXPIRES ON 09/30/2023
FIRM: PARTNER ASSESSMENT CORPORATION (PARTNER)
ADDRESS: 2154 TORRANCE BLVD.
TORRANCE, CA 90501
TELEPHONE: (800) 419-4923

PROFESSIONAL ENGINEER MATTHEW MARCUS GE 3156 EXP. 9/30/2023 GEOTECHNICAL STATE OF CALIFORNIA

SOIL ENGINEER'S RECORD DRAWING CERTIFICATION

I, _____, A REGISTERED CIVIL ENGINEER IN THE STATE OF CALIFORNIA, HEREBY DECLARE THAT I HAVE EXERCISED RESPONSIBLE CHARGE, AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, OVER THE GEOTECHNICAL ASPECTS OF THE GRADING OF THIS PROJECT. TO THE BEST OF MY KNOWLEDGE AND EXPERIENCE THE GRADING CONFORMS WITH THE RECOMMENDATIONS CONTAINED IN THE SOILS REPORTS AND PLANS WITH THE EXCEPTION THAT ANY CHANGES OR DEVIATIONS FROM THE PLANS DUE TO UNFORESEEN FIELD CONDITIONS HAVE BEEN IDENTIFIED IN THE FINAL SOILS REPORT FOR THE PROJECT.

SIGNED: _____ DATE: _____
REGISTRATION NO. _____, MY REGISTRATION EXPIRES ON _____
FIRM: _____
ADDRESS: _____
TELEPHONE: _____

LANDSCAPE ARCHITECT'S DESIGN CERTIFICATION

I, GARY F. HOYT, HEREBY DECLARE THAT I AM THE LANDSCAPE ARCHITECT OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE, AS DEFINED IN THE BUSINESS AND PROFESSIONALS CODE, OVER THE DESIGN OF THIS PROJECT AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE GRADING DESIGN PLAN.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS IN THE CITY OF SANTEE IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME AS THE LANDSCAPE ARCHITECT OF WORK OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

I FURTHER UNDERSTAND THAT UPON APPROVAL OF THESE PLANS BY THE CITY ENGINEER, THE PLANS BECOME THE PROPERTY OF THE CITY OF SANTEE IN ACCORDANCE WITH THE CITY PUBLIC WORKS STANDARDS. AS SUCH, I HEREBY RELINQUISH RIGHT OF OWNERSHIP TO THE CITY TO USE THESE PLANS AS THEY MAY DEEM NECESSARY.

SIGNED: _____ DATE: _____
REGISTRATION NO. 2517, MY REGISTRATION EXPIRES ON 12/31/2022
FIRM: GARY F. HOYT LANDSCAPE ARCHITECTURE, INC.
ADDRESS: 13625 ADRIAN STREET, SUITE 813
POWAY, CA 92064
TELEPHONE: (858) 486-4931

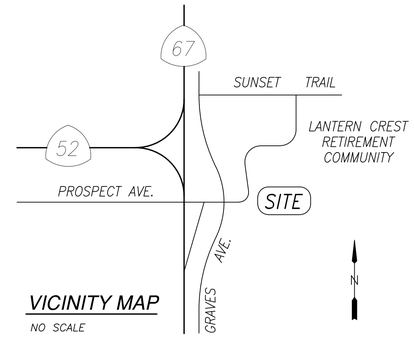
LICENSED LANDSCAPE ARCHITECT GARY F. HOYT RLA 2517 SIGNATURE 12-31-2022 RENEWAL DATE DATE STATE OF CALIFORNIA

LANDSCAPE ARCHITECT'S RECORD DRAWING CERTIFICATION

I, _____, A REGISTERED LANDSCAPE ARCHITECT IN THE STATE OF CALIFORNIA, HEREBY DECLARE THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE PREPARATION OF THESE RECORD DRAWINGS AS THEY PERTAIN TO THE LANDSCAPE IMPROVEMENTS. THE INFORMATION SHOWN IS BASED ON ACTUAL SITE INVESTIGATION AND SURVEY OF THE IMPROVEMENTS BETWEEN THE DATES OF _____ AND _____. TO THE BEST OF MY KNOWLEDGE AND EXPERIENCE THE INFORMATION SHOWN ON THESE PLANS PROVIDE AN ACCURATE AND CORRECT REPRESENTATION OF THE AS-BUILT CONDITIONS.

SIGNED: _____ DATE: _____
REGISTRATION NO. _____, MY REGISTRATION EXPIRES ON _____
FIRM: _____
ADDRESS: _____
TELEPHONE: _____

REGISTERED PROFESSIONAL ENGINEER JONATHAN RAAB RYDEEN RCE - 64811 EXP 6/30/23 CIVIL STATE OF CALIFORNIA



VICINITY MAP

NO SCALE

OWNER'S ACCEPTANCE

I, MICHAEL GRANT, PRESIDENT OF M. GRANT CORPORATION, MANAGING PARTNER, SANTEE SENIOR RETIREMENT COMMUNITIES III, LLC, AS OWNER OF THE PROPERTY DESCRIBED HEREON, ACKNOWLEDGE THESE PLANS HAVE BEEN PREPARED AT MY DIRECTION AND WITH MY FULL CONSENT. I UNDERSTAND ALL CONSTRUCTION MUST CONFORM TO CURRENT CITY STANDARDS AND BE COMPLETED IN ACCORDANCE WITH THESE PLANS. ANY CHANGES TO THE WORK MUST BE APPROVED IN ADVANCE, IN ACCORDANCE WITH THE CITY'S CONSTRUCTION CHANGE POLICY. I AGREE TO REMOVE AND RECONSTRUCT AT MY COST ANY WORK NOT COMPLETED IN STRICT ACCORDANCE WITH THESE PLANS OR ANY CONSTRUCTION CHANGES APPROVED INCIDENTAL THERETO.

SIGNED: _____ DATE: _____
MICHAEL GRANT, PRESIDENT
ADDRESS: 800 LANTERN CREST WAY
SANTEE, CA 92071
TELEPHONE: (619) 449-0249

SITE ADDRESS

200 LANTERN CREST WAY
SANTEE, CA 92071

LEGAL DESCRIPTION

PARCEL B OF CERTIFICATE OF COMPLIANCE RECORDED NOVEMBER 10, 2022 AS INSTRUMENT NO, 2022-0434391 OF OFFICIAL RECORDS

ASSESSOR PARCEL NUMBER

384-142-25, 384-142-37

PUBLIC UTILITIES

SAN DIEGO GAS & ELECTRIC	800-422-4133
SBC TELEPHONE	800-422-4133
COX COMMUNICATIONS (CATV)	619-263-5793
PADRE DAM MWD (WATER & SEWER)	619-448-3111

SHEET INDEX

NO.	DESCRIPTION
1	TITLE SHEET
2	NOTES
3-8	GRADING PLANS
9-10	EROSION CONTROL PLAN
11-18	LANDSCAPE & IRRIGATION PLANS

IMPORTANT NOTICE
Section 4216/4217 of the Government Code requires that a Dig Alert Identification Number be issued before a "Permit to Excavate" will be valid. For your Dig Alert I.D. Number Call Underground Service Alert
TOLL FREE 1-800-422-4133
Two working days before you dig

CITY OF SANTEE

FIRE DEPARTMENT
FIRE MARSHAL _____ DATE _____

COMMUNITY SERVICES DEPARTMENT
PUBLIC WORKS MANAGER _____ DATE _____

ENGINEERING DIVISION
CITY ENGINEER _____ DATE _____
RCE NO. 60112 EXPIRES: 06/30/24

PLANNING DIVISION
PROJECT PLANNER _____ DATE _____

TRAFFIC ENGINEERING DIVISION
PRINCIPAL TRAFFIC ENGINEER _____ DATE _____

WATER AGENCY

PADRE DAM MUNICIPAL WATER DISTRICT
APPROVED BY: _____ _____
DIR OF ENGINEERING & PLANNING — DATE
RCE NO. — EXP
LANTERN CREST PHASE 4
PROJECT NAME — JOB NO.
VALID FOR ONE YEAR FROM DATE OF SIGNATURE.
SIGNATURE OF THESE PLANS IS NOT A COMMITMENT TO SERVE.

CONSTRUCTION RECORD	REFERENCES	DATE	BY	REVISIONS	ACPTD
CONTRACTOR	556W, 2254WS, 2255WS, 2263WS				
INSPECTOR	2011-026, 2011-037, 2013-015,				
DATE COMPLETED	2016-163, 2016-183, 2016-352				
	G-1281				

BENCH MARK
CITY OF SANTEE VERTICAL CONTROL MONUMENT
#2076 PER R.O.S. 11252, LOCATED AT THE INTERSECTION
OF PROSPECT AVENUE & ARGENT STREET
ELEVATION: 346.35 FEET (MSL)

SCALE
HORIZ: N/A
VERT: N/A

DESIGNED BY	DRAWN BY	CHECKED BY
J.M.W.	J.M.W.	J.R.R.

PLANS PREPARED UNDER THE SUPERVISION OF _____ DATE _____
RCE NO. 64811 EXPIRES 6-30-2023

REVIEWED _____
BY _____ PROJECT ENGINEER

CITY OF SANTEE — DEPARTMENT OF DEVELOPMENT SERVICES
GRADING PLANS FOR:
LANTERN CREST - PHASE 4 — P2007-12
CITY W.O. NO. G-1383
DRAWING NO. 2022-____
SHEET 1 OF 18

LANTERN CREST - PHASE 4 PRECISE GRADING PLANS

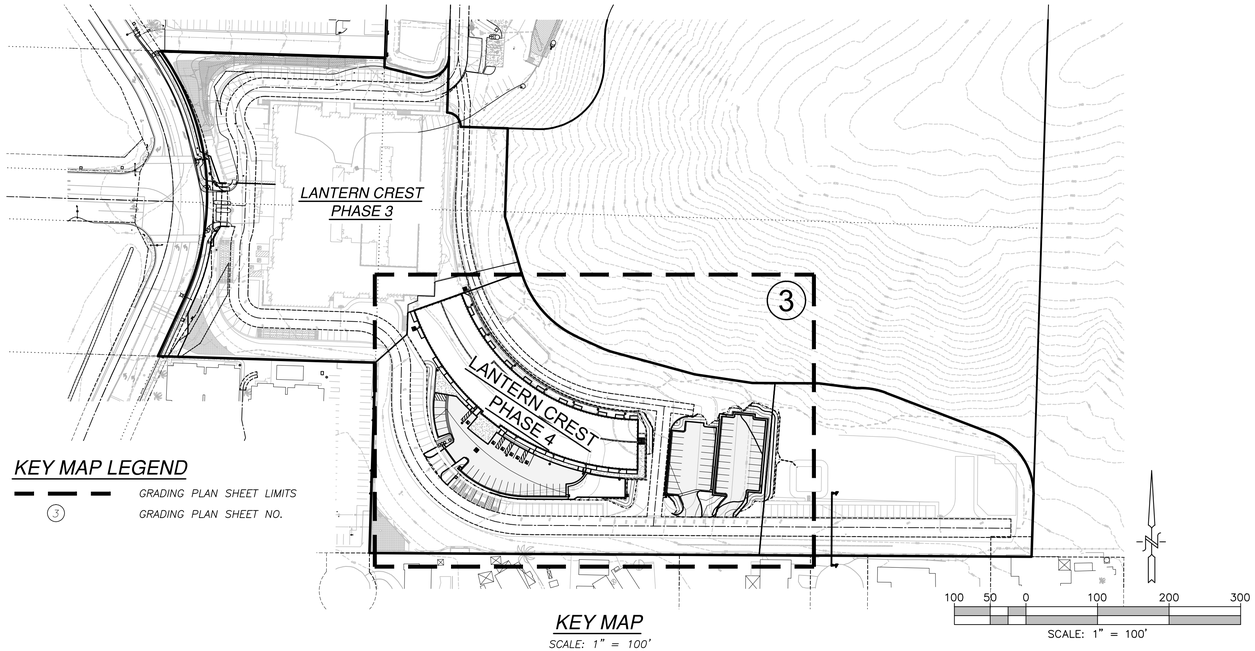
GRADING PLAN NOTES

GENERAL NOTES

1. SUBDIVISION MONUMENTATION SHALL BE PROTECTED AT ALL TIMES. PRIOR TO ISSUANCE OF GRADING PERMIT THE SUBDIVISION BOUNDARY SHALL BE STAKED AND FLAGGED, WITH LATHS AT LEAST THREE FEET IN HEIGHT, AT ALL SUBDIVISION CORNERS, ANGLE POINTS, AND POINTS OF CURVE. WHERE BOUNDARY LINES EXCEED THREE HUNDRED FEET IN LENGTH STAKES SHALL BE PLACED ON LINE AT NOT OVER THREE HUNDRED FOOT INTERVALS. WHERE PERMISSION FOR OFFSITE GRADING HAS BEEN GRANTED THE LIMITS OF OFF-SITE WORK SHALL BE STAKED AND FLAGGED ALSO. OFF-SITE WORK SHALL BE CLEARLY IDENTIFIED WITH DIFFERENT COLOR FLAGGING OR MARKINGS FROM THE SUBDIVISION BOUNDARY FLAGGING. THE CONTRACTOR SHALL AT ALL TIMES PROTECT THE SUBDIVISION BOUNDARY AND OFF-SITE MARKERS AND SHALL IMMEDIATELY REPLACE ANY MARKERS THAT ARE DISTURBED OR DESTROYED.
2. ACCEPTANCE OF THIS GRADING PLAN DOES NOT CONSTITUTE ACCEPTANCE OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREON FOR PUBLIC ROAD PURPOSES.
3. FINAL ACCEPTANCE OF THESE GRADING PLANS IS SUBJECT TO FINAL ACCEPTANCE OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
4. IMPORT MATERIAL SHALL BE OBTAINED FROM A LEGAL SITE.
5. WASTE MATERIAL GENERATED FROM GRADING OPERATIONS SHALL BE HAULED TO A LEGAL DUMP SITE AS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES.
6. AN ENCROACHMENT PERMIT IS REQUIRED PRIOR TO ANY WORK BEING PERFORMED WITHIN THE LIMITS OF THE PUBLIC RIGHT OF WAY.
7. ALL SLOPES OVER THREE FEET IN HEIGHT SHALL BE LANDSCAPED AND IRRIGATED IN ACCORDANCE WITH CITY SPECIFICATIONS.
8. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:

SAN DIEGO GAS & ELECTRIC	1-800-422-4133
PACIFIC BELL TELEPHONE	1-800-422-4133
COX CABLE TV	263-5793
PADRE DAM MUNICIPAL WATER DISTRICT (water and sewer)	448-3111

9. REQUESTS FOR RELEASE OF GRADING AND EROSION CONTROL SECURITIES UPON COMPLETION OF THE WORK SHALL BE MADE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE CITY OF SANTEE LAND DEVELOPMENT MANUAL.
10. ACCEPTANCE OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
11. THE CITY ENGINEER'S ACCEPTANCE OF THESE PLANS DOES NOT CONSTITUTE THE BUILDING OFFICIALS' ACCEPTANCE OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED IN THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED (SECTION 15.58.590, SANTEE MUNICIPAL CODE).
12. ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 A.M. AND 7:00 P.M. EACH DAY, MONDAY THROUGH FRIDAY. NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SUNDAY OR CITY HOLIDAYS. WORK ON SATURDAY REQUIRES THE WRITTEN APPROVAL OF THE CITY ENGINEER.
13. ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A SMOOTH CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL SURFACES.
14. NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE ACCEPTANCE OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING, SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM GRADING DESCRIBED ON THIS PLAN. THE CITY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION ON NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
15. ALL OFFSITE HAUL ROUTES ARE SUBJECT TO THE ACCEPTANCE OF THE CITY ENGINEER. THE CONTRACTOR SHALL MAKE APPLICATION FOR A HAUL PERMIT, IN A FORMAT SUITABLE TO THE DEPARTMENT OF DEVELOPMENT SERVICES, A MINIMUM OF 72 HOURS PRIOR TO BEGINNING WORK. THE GRADING PERMIT SHALL NOT BE ISSUED PRIOR TO ISSUANCE OF THE HAUL PERMIT.
16. SPECIAL CONDITIONS: IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE CITY ENGINEER OF THE DISCOVERY. GRADING OPERATIONS WILL NOT COMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE CITY ENGINEER TO DO SO.
17. ALL GRADING SHOWN ON THESE PLANS SHALL BE COMPLETED AS A SINGULAR UNIT WITH NO PROVISION FOR PARTIAL RELEASES. IF ANY PORTION OF THIS PROJECT IS TO BE COMPLETED SEPARATELY, A SEPARATE PLAN AND PERMIT APPLICATION SHALL BE SUBMITTED FOR ACCEPTANCE.
18. FINISH GRADING AND PLANTING SHALL BE ACCOMPLISHED ON ALL SLOPES PRIOR TO OCTOBER 1 OR IMMEDIATELY UPON COMPLETION OF ANY SLOPES BETWEEN OCTOBER 1 AND APRIL 1. ALL LANDSCAPING SHALL BE DONE IN ACCORDANCE WITH THE ACCEPTED LANDSCAPING AND IRRIGATION PLANS.
19. THE CONTRACTOR SHALL NOTIFY THE CITY OF SANTEE-DEPARTMENT OF DEVELOPMENT SERVICES AT (619) 258-4100 A MINIMUM OF 48 HOURS BEFORE ANY WORK COMMENCES AND 24 HOURS PRIOR TO REQUESTS FOR INSPECTION. CALL (619) 258-4100 x 168 FOR ALL INSPECTION REQUESTS. ALL WORK PERFORMED UNDER THIS PERMIT IS SUBJECT TO THE INSPECTION REQUIREMENTS OF THE SANTEE GRADING ORDINANCE. THE CONTRACTOR IS REFERRED TO SECTION 15.58.930 OF THE SANTEE MUNICIPAL CODE FOR A LIST OF DETAILED INSPECTION REQUIREMENTS. FAILURE TO PROVIDE ADEQUATE NOTIFICATION TO THE DEPARTMENT OF DEVELOPMENT SERVICES REQUESTING INSPECTION OF THE WORK AT THE APPROPRIATE TIMES MAY RESULT IN ISSUANCE OF A STOP WORK ORDER FOR THE GRADING OPERATIONS.



KEY MAP LEGEND

GRADING PLAN SHEET LIMITS

(3) GRADING PLAN SHEET NO.

KEY MAP

SCALE: 1" = 100'

GENERAL NOTES CONT:

20. TO ENSURE COMPLIANCE WITH THE ACCEPTED GRADING PLAN AND AS A CONDITION OF ACCEPTANCE OF THE GRADING PLAN, THE OWNER, ITS TENANTS, ITS CONTRACTORS, AND ITS SUB-CONTRACTORS SHALL MAINTAIN THE PREMISES SUBJECT TO THE GRADING PLAN OPEN FOR INSPECTION BY CITY REPRESENTATIVES AT ALL TIMES GRADING OPERATIONS ARE OCCURRING, AND AT ALL OTHER TIMES, UPON REASONABLE DEMAND BY THE CITY.
21. UPON COMPLETION OF THE GRADING WORK SHOWN ON THESE PLANS AND PRIOR TO FINAL ACCEPTANCE OF THE WORK BY THE CITY, THE OWNER SHALL HAVE AS-BUILT GRADING PLANS PREPARED. PLANS SHALL BE PREPARED IN ACCORDANCE WITH THE CITY OF SANTEE-DEPARTMENT OF DEVELOPMENT SERVICES POLICY REGARDING CONSTRUCTION CHANGES AND AS-BUILT DRAWINGS FOR PRIVATE DEVELOPMENT.
22. SLOPE RATIOS:

CUT 1.5:1 FILL 2:1
EXCAVATION: 6,400 C.Y. FILL: 1,700 C.Y. WASTE/~~IMPORT~~: 4,700 C.Y.
(Note: A separate valid permit must exist for either waste or import areas).
SHRINKAGE/EXPANSION 10 %

23. ACCEPTANCE OF THESE PLANS BY THE CITY OF SANTEE IS VALID FOR ONE YEAR FROM THE DATE OF ACCEPTANCE. FAILURE TO COMMENCE CONSTRUCTION WITHIN ONE YEAR VOIDS ACCEPTANCE OF THE PLANS.
24. THE FOLLOWING SOILS REPORT(S) SHALL BE CONSIDERED PART OF THIS GRADING PLAN. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN SAID REPORT(S).

A) REPORT OF GEOTECHNICAL INVESTIGATION FOR LANTERN CREST PHASE III, SANTEE, CALIFORNIA, DATED JUNE 9, 2017, PREPARED BY GROUP DELTA, INC.

B) ADDENDUM #1 – BOULDER HAZARD ANALYSIS FOR LANTERN CREST PHASE III, SANTEE, CALIFORNIA, DATED AUGUST 30, 2017, PREPARED BY GROUP DELTA, INC.

C) AS-GRADED GEOTECHNICAL REPORT FOR LANTERN CREST PHASE III, SANTEE CALIFORNIA, DATED OCTOBER 8, 2019, PREPARED BY GROUP DELTA, INC.

D) ADDENDUM FOR BIO-RETENTION BASIN INFILTRATION FOR LANTERN CREST PHASE III, SANTEE CALIFORNIA, DATED MAY 3, 2018, PREPARED BY GROUP DELTA, INC.

E) PERMEABLE INTERLOCKING CONCRETE PAVEMENT RECOMMENDATIONS FOR LANTERN CREST PHASE III, SANTEE CALIFORNIA, DATED JANUARY 15, 2020, PREPARED BY GROUP DELTA, INC.

F) ACCEPTANCE OF GEOTECHNICAL ENGINEER OF RECORD RESPONSIBILITY LANTERN CREST SANTEE PHASE 4 AND 5 CONSTRUCTION SERVICES DATED JULY 12TH, 2022, PREPARED BY PARTNER ASSESSMENT CORPORATION

SLOPE PLANTING NOTES

1. THE CITY REQUIRES IMMEDIATE PLANTING OF ALL SLOPES WITHIN SIXTY DAYS FOLLOWING INSTALLATION OF WATER MAINS TO SERVE THE PROJECT.
2. SLOPE PLANTING SHALL BE FULLY ESTABLISHED PRIOR TO OCCUPANCY OF ANY UNIT.

PAVING NOTES

1. A MINIMUM OF SEVEN DAYS PRIOR TO THE PLACEMENT OF ROADWAY BASE MATERIAL THE CONTRACTOR SHALL SUBMIT A CERTIFIED SOILS REPORT FROM A REGISTERED CIVIL OR GEOTECHNICAL ENGINEER CERTIFYING ALL ROADWAY AND UTILITY TRENCHING HAS BEEN COMPACTED TO THE MINIMUM REQUIREMENTS SPECIFIED IN THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE RECOMMENDATIONS CONTAINED IN THE PROJECT'S SOILS REPORT.
2. A FINAL PAVEMENT STRUCTURAL SECTION DESIGN SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL A MINIMUM OF TEN DAYS PRIOR TO PLACEMENT OF BASE MATERIAL. THE DESIGN REPORT SHALL CONFORM TO CITY FORM 4.35 – PAVEMENT DESIGN AND R-VALUE TEST SUBMITTAL PROCEDURES. THE DESIGN SHALL ADHERE TO THE METHODOLOGY SET FORTH IN CHAPTER 600 OF THE CALTRANS HIGHWAY DESIGN MANUAL AND UTILIZE THE "R" VALUE METHOD. DESIGN SHALL BE SUBMITTED IN REPORT FORM AND MUST INCLUDE ALL SUPPORTING CALCULATIONS AND TEST RESULTS. THE "R" VALUE TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH CALIFORNIA TEST NO. 301 AND SHALL BE PERFORMED BY A REGISTERED CIVIL ENGINEER WHOSE PRIMARY PROFESSIONAL ACTIVITY IS PERFORMING SUCH TESTS. THE NUMBER AND LOCATION OF R-VALUE TESTS SHALL BE COORDINATED WITH THE CITY PROJECT INSPECTOR AND BE SUBJECT TO APPROVAL OF THE CITY PROJECT ENGINEER.
3. THE FOLLOWING MINIMUM STRUCTURAL THICKNESS ARE BASED ON AN R-VALUE OF 30. TRAFFIC INDEXES ARE BASED ON CITY PUBLIC WORKS STANDARDS AND SHALL BE USED FOR PAVEMENT DESIGN BASED ON ACTUAL R-VALUES OBTAINED AT TIME OF CONSTRUCTION.

STREET NAME	TRAFFIC INDEX	ANTICIPATED STRUCT. SECTION
A. PASSENGER CAR PARKING	5.0	3" AC / 5" AB
B. TRUCK TRAFFIC AREAS	6.0	4" AC / 5" AB
C. HEAVY TRAFFIC AREAS	7.0	4" AC / 7" AB

THE MINIMUM SECTIONS LISTED ABOVE ARE FOR ESTIMATION AND DESIGN PURPOSES ONLY AND ARE SUBJECT TO CHANGE FOLLOWING SUBMITTAL OF THE FINAL PAVEMENT DESIGN REPORT.

ASPHALT CONCRETE SHALL CONFORM TO ALL PROVISIONS OF SECTION 39 OF THE CURRENT CALTRANS STANDARD SPECIFICATIONS. SURFACE COURSE SHALL BE A MINIMUM THICKNESS IS 2 INCHES, MAXIMUM THICKNESS IS 3 INCHES. ASPHALT CONCRETE SECTIONS GREATER THAN 3 INCHES SHALL CONTAIN A BASE COURSE OF ASPHALT, A MINIMUM THICKNESS OF 2 INCHES.

ACCEPTED UNTREATED BASE MATERIALS INCLUDE:

PER SECTION 200-2.2	CRUSHED AGGREGATE BASE
PER SECTION 200-2.4	CRUSHED MISCELLANEOUS BASE
CALTRANS	CLASS 2 – AGGREGATE BASE

4. PROCESSED MISCELLANEOUS BASE PER THE GREEN BOOK AND CALTRANS CLASS 2 RECYCLED BASE ARE NOT PERMITTED.

ACCEPTED ASPHALT BASE COURSE MIXES INCLUDE:
PER CALTRANS 39 PG 64-10 – ¾" MAXIMUM, COARSE

ACCEPTED ASPHALT SURFACE COURSE MIXES INCLUDE:
PER CALTRANS 39 PG 64-10 – ½" MAXIMUM, COARSE

EASEMENT NOTES

(5) AN EASEMENT TO THE CITY OF SANTEE, FOR THE PURPOSE OF CONSERVATION, RECORDED FEBRUARY 10, 2006, AS INSTRUMENT/ FILE NO. 2006-0100586 OF OFFICIAL RECORDS.

(8) A DOCUMENT ENTITLED ¿EXCLUSIVE EASEMENT AGREEMENT¬ DATED, JULY 5, 2006, EXECUTED BY LANTERN CREST, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AND WILLIAM ROBERT JEWETT AND JOLYNN TERESA JEWETT, HUSBAND AND WIFE, AS JOINT TENANTS, RECORDED JULY 6, 2006 AS INSTRUMENT NO. 2006-0477456 OF OFFICIAL RECORDS.

(12) EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SHOWN OR AS OFFERED FOR DEDICATION ON THE RECORDED MAP SHOWN BELOW. PARCEL MAP NO. 20858
A. EASEMENT PURPOSE: FIRE AND EMERGENCY VEHICLE ACCESS
B. EASEMENT PURPOSE: PROPOSED PRIVATE ROAD AND UTILITY

(A) PROPOSED EASEMENT FOR FIRE AND EMERGENCY VEHICLE ACCESS AND PROPOSED PRIVATE ROAD AND UTILITIES

GENERAL STANDARDS OF CONSTRUCTION

UNLESS OTHERWISE NOTED ON THE PLANS, ALL WORK SHALL CONFORM WITH THE FOLLOWING STANDARD SPECIFICATIONS AND DRAWINGS:

STANDARD SPECIFICATIONS:
1. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
2. STANDARD SPECIAL PROVISIONS.
3. CITY OF SANTEE PUBLIC WORKS STANDARDS, SEPTEMBER 1982.
4. CALIFORNIA DEPARTMENT OF TRANSPORTATION, "MANUAL ON TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES," LATEST EDITION.
5. STANDARD SPECIFICATIONS OF THE PADRE DAM MUNICIPAL WATER DISTRICT, WATER AGENCY STANDARDS W.A.S.
6. CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA), STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK CONSTRUCTION, LATEST EDITION.

STANDARD DRAWINGS

1. CITY OF SANTEE STANDARD DRAWINGS.
2. SAN DIEGO REGIONAL STANDARD DRAWINGS (SDRSD) AS RECOMMENDED BY THE REGIONAL STANDARDS COMMITTEE, MAINTAINED AND PUBLISHED BY THE SAN DIEGO COUNTY DEPARTMENT OF PUBLIC WORKS, LATEST EDITION.
3. STANDARD DRAWINGS OF THE PADRE DAM MUNICIPAL WATER DISTRICT WATER AGENCY STANDARDS W.A.S.

LEGEND

SYMBOL	STD. DWG. NO.	DESCRIPTION
	–	RIGHT OF WAY/LOT LINE
	–	EXISTING LOT LINE
	–	EXISTING CURB & GUTTER
	–	EXISTING AC BERM
	–	EXISTING SIDEWALK
W	–	EXISTING POTABLE WATERLINE
SS	–	EXISTING SEWERLINE
	–	EXISTING SEWER MANHOLE/CLEANOUT
	–	EXISTING STORM DRAIN
	–	EXISTING STREET LIGHT
	–	EXISTING FIRE HYDRANT
450	–	EXISTING CONTOUR
	–	EXISTING FENCE
450	–	CONTOUR
	–	DAYLIGHT LINE
	G-29	CURB RAMP
	G-7	4" THICK SIDEWALK
		AC PAVING PER SOILS ENGINEER (SEE PAVING NOTES)
	G-1	6" CONCRETE CURB
	G-2	6" CONCRETE CURB AND GUTTER
	D-30	STRAIGHT HEADWALL
	D-34	U TYPE HEADWALL
	D-2,3A	TYPE 'B' CURB INLET
	D-7	TYPE 'F' CATCH BASIN
	D-9	TYPE 'A-4' STORM DRAIN CLEANOUT
		12" NDS CATCH BASIN
	D-25	TYPE 'A' CURB OUTLET
	(MANUF. RECOMM.)	STORM DRAIN PIPE (SIZE PER PLAN)
		4" WIDE CPS 100 TRENCH DRAIN (TRAFFIC RATED)
	G-12	3' WIDE RIBBON GUTTER
1%		DRAINAGE DIRECTION & SLOPE
	D-75B	BROW DITCH
		MODULAR WETLAND SYSTEM (MWS-L-8-20)
W		PVC WATER C900 (CL 305) – SIZE PER PLAN
SS		6" PVC SEWER (SDR 35)
	SC-01	6" SEWER CLEANOUT
		RETAINING WALL PER PLAN
		BUILDING FOUNDATION WALL PER ARCHITECTURAL PLANS*
5		NUMBER OF PARKING SPACES IN ADJACENT SECTION
BW XXX.XX	–	PROPOSED BOTTOM OF WALL ELEVATION
FG XXX.XX	–	PROPOSED FINISH GRADE ELEVATION
FL XXX.XX	–	PROPOSED FLOWLINE ELEVATION
GR XXX.XX	–	PROPOSED TOP OF GRATE ELEVATION
GU XXX.XX	–	PROPOSED GUTTER ELEVATION
IE XXX.XX	–	PROPOSED PIPE INVERT ELEVATION
TC XXX.XX	–	PROPOSED TOP OF CURB ELEVATION
TF XXX.XX	–	PROPOSED TOP OF FOOTING ELEVATION
TW XXX.XX	–	PROPOSED TOP OF WALL ELEVATION
FSH XXX.XX	–	PROPOSED FINISH SURFACE ELEVATION – HIGH SIDE
FSL XXX.XX	–	PROPOSED FINISH SURFACE ELEVATION – LOW SIDE

REGISTERED PROFESSIONAL ENGINEER
JONATHAN RAAB FIDGEN
RCE ~ 64811
EXP 6/30/23
CIVIL
STATE OF CALIFORNIA

*NOT A PART OF THIS PERMIT APPROVAL – REFER TO BUILDING DEPARTMENT PERMIT.

CONSTRUCTION RECORD	REFERENCES	DATE	BY	REVISIONS	ACPTD	BENCH MARK
CONTRACTOR	556W, 2254WS, 2255WS, 2263WS					CITY OF SANTEE VERTICAL CONTROL MONUMENT
INSPECTOR	2011-026, 2011-037, 2013-015,					#2076 PER R.O.S. 11252, LOCATED AT THE INTERSECTION
DATE COMPLETED	2016-163, 2016-183, 2016-352					OF PROSPECT AVENUE & ARGENT STREET
	G-1281					ELEVATION: 346.35 FEET (MSL)

SCALE: HORIZ: 1"=100' VERT: N/A

DESIGNED BY J.M.W. DRAWN BY J.M.W. CHECKED BY J.R.R.

PLANS PREPARED UNDER THE SUPERVISION OF _____ DATE _____
RCE NO. 64811 EXPIRES 6-30-2023

REVIEWED _____
BY _____ PROJECT ENGINEER

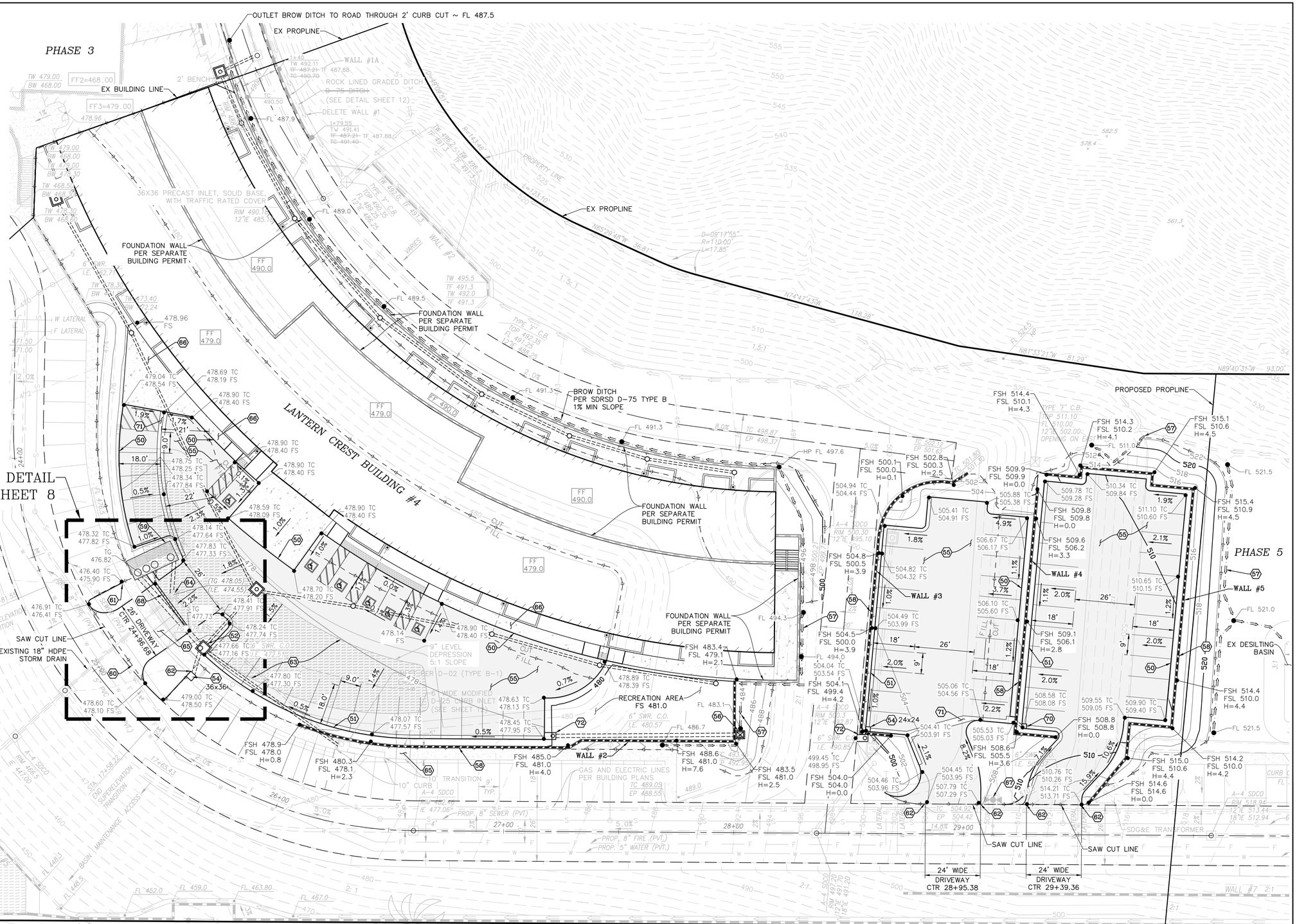
CITY OF SANTEE — DEPARTMENT OF DEVELOPMENT SERVICES
GRADING PLANS FOR:
LANTERN CREST - PHASE 4 — P2007-12
CITY W.O. NO. G-1383
DRAWING NO. 2022-___
SHEET 2 OF 18

CONSTRUCTION NOTES (#)

(50) INSTALL 6" PCC CURB PER SDRSD G-01
(51) INSTALL 6" PCC CURB AND GUTTER PER SDRSD G-02
(52) INSTALL TYPE "B" CURB INLET PER SDRSD D-02
(53) INSTALL TYPE "A" CLEAN OUT PER SDRSD D-09
(54) INSTALL BROOK BOX INLET WITH TRAFFIC RATED GRATE, SIZE PER PLAN
(55) AC PAVING PER SOILS ENGINEER
(56) INSTALL TYPE "F" INLET PER SDRSD D-07
(57) INSTALL TYPE B BROW DITCH PER SDRSD D-75
(58) INSTALL RETAINING WALL SEE SHEET 6 FOR TYPE
(59) INSTALL MODULAR WET LAND SYSTEM (MWS-L-8-20-C PER DETAIL SHEET 10)
(60) CONNECT TO EXISTING AC PAVING (MATCH ELEVATIONS)
(61) CONNECT TO EXISTING PCC CURB (MATCH ELEVATIONS)
(62) CONNECT TO EXISTING CURB AND GUTTER (MATCH ELEVATIONS)
(63) EXISTING BIO-RETENTION BASIN #3 TO BE REMOVED
(64) CONNECT TO EXISTING BOX INLET, REPLACE EX GRATE WITH TRAFFIC RATED LID AND ADJUST TO GRADE
(65) EXISTING D-25 CURB OUTLET TO BE REMOVED AND REPLACED WITH 4" PCC SIDEWALK PER SDRSD G-07
(66) INSTALL 4" PCC SIDEWALK PER SDRSD G-07
(67) EXISTING FIRE HYDRANT ~ PROTECT IN PLACE
(68) 4" WIDE CPS 100 TRENCH DRAIN (TRAFFIC RATED)
(69) DAYLIGHT WALL DRAIN TO GROUND
(70) INSTALL 24x24 BROOK BOX INLET WITH TRAFFIC RATED GRATE WITH 12" PVC OUTLET THROUGH WALL
(71) INSTALL 3' WIDE PCC RIBBON GUTTER, PER SDRSD G-12
(72) INSTALL CURB OUTLET, PER SDRSD D-25

NOTE:
SEE SHEET 4 & 5 FOR STORM DRAIN INFORMATION. SEE SHEETS 6 AND 7 FOR WALL INFORMATION. SEE SHEET 8 FOR CURB DATA TABLES

NOTE:
ADA REQUIREMENTS SHOWN FOR REFERENCE ONLY. REFER TO BUILDING PERMIT FOR APPROVAL



R·E·C Consultants, Inc.
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San Diego, CA 92101
(619)232-9200 (619)232-9210 Fax

REGISTERED PROFESSIONAL ENGINEER JONATHAN RAAB ROSEEN RCE ~ 64811 EXP 6/30/23 CIVIL STATE OF CALIFORNIA

CONSTRUCTION RECORD	REFERENCES	DATE	BY	REVISIONS	ACPTD
CONTRACTOR	556W, 2254WS, 2255WS, 2263WS				
INSPECTOR	2011-026, 2011-037, 2013-015,				
DATE COMPLETED	2016-163, 2016-183, 2016-352				
	G-1281				

BENCH MARK
CITY OF SANTEE VERTICAL CONTROL MONUMENT
#2076 PER R.O.S. 11252, LOCATED AT THE INTERSECTION
OF PROSPECT AVENUE & ARGENT STREET
ELEVATION: 346.35 FEET (MSL)

SCALE
HORIZ: 1" = 20'
VERT: N/A

DESIGNED BY	DRAWN BY	CHECKED BY
J.M.W.	J.M.W.	J.R.R.

PLANS PREPARED UNDER THE SUPERVISION OF
RCE NO. 64811 DATE EXPIRES 6-30-2023

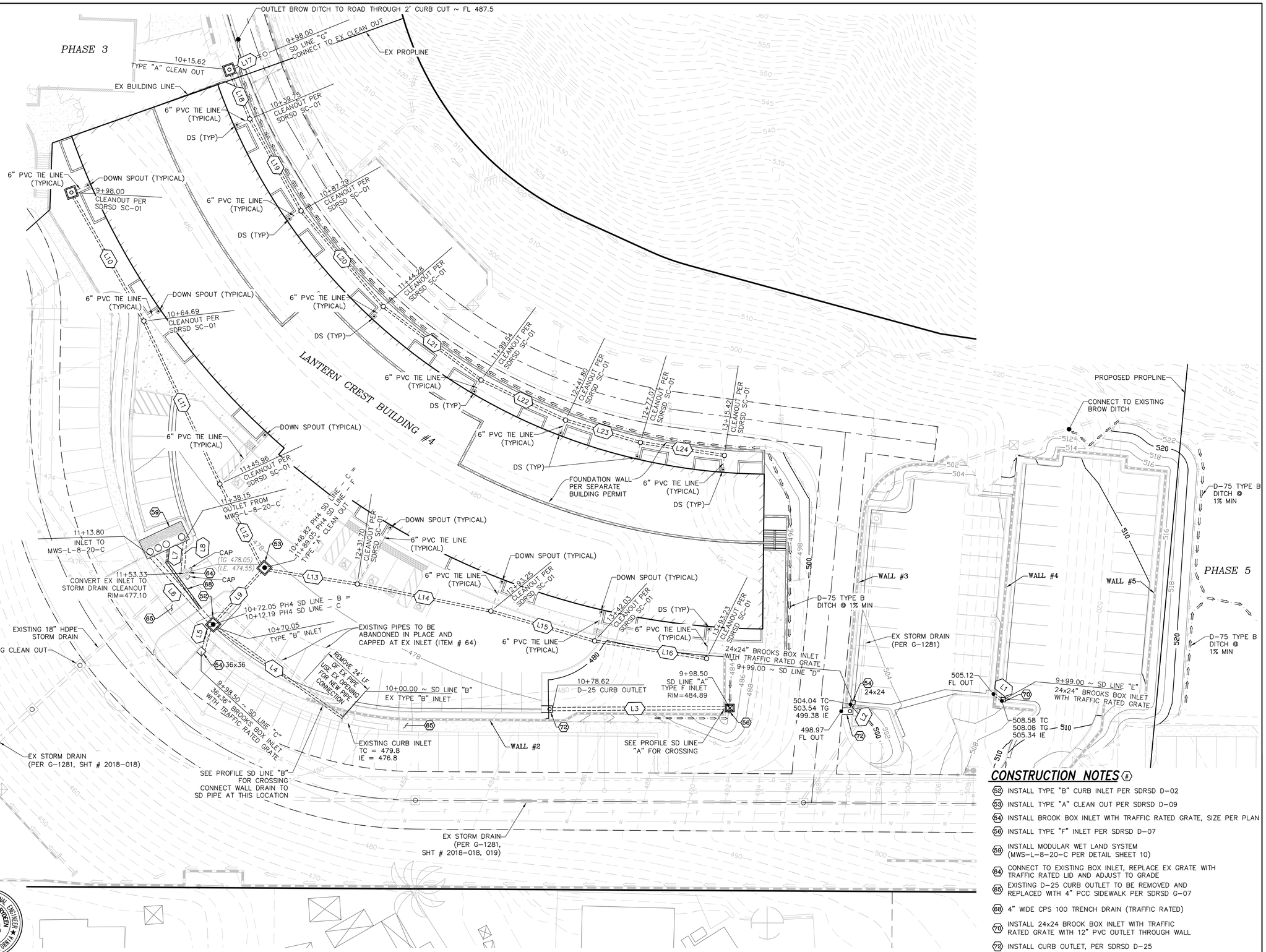
REVIEWED
BY PROJECT ENGINEER

CITY OF SANTEE — DEPARTMENT OF DEVELOPMENT SERVICES
GRADING PLANS FOR:
LANTERN CREST - PHASE 4
P2007-12

CITY W.O. NO. G-1383

DRAWING NO. 2022-___
SHEET 3 OF 18

STORM DRAIN DATA TABLE (#)				
#	BEARING/DELTA	RADIUS	LENGTH	NOTES
L1	N 51°48'35" W		3.72'	12" PVC SD LINE "E"
L2	N 28°25'37" E		1.64'	12" PVC SD LINE "D"
L3	N 89°38'47" E		78.62'	12" PVC SD LINE "A"
L4	N 54°24'35" W		70.05'	12" PVC WITH 2 SACK SLURRY BACKFILL
L5	N 16°34'13" E		10.19'	18" PVC SD LINE "C"
L6	N 41°54'20" W		39.74'	24" PVC WITH 2 SACK SLURRY BACKFILL
L7	N 06°15'51" E		6.30'	6" PVC SD LINE "B"
L8	N 04°02'39" E		14.21'	18" PVC SD LINE "B"
L9	N 42°15'43" E		30.48'	12" PVC SD LINE "C"
L10	N 29°29'39" W		64.68'	12" PVC SD LINE "F"
L11	N 24°58'39" W		81.27'	12" PVC SD LINE "F"
L12	N 26°51'49" W		41.06'	12" PVC SD LINE "F"
L13	N 81°01'59" W		40.63'	12" PVC SD LINE "F"
L14	N 78°32'59" W		61.55'	12" PVC SD LINE "F"
L15	N 73°55'07" W		48.78'	12" PVC SD LINE "F"
L16	N 81°03'00" W		51.20'	12" PVC SD LINE "F"
L17	N 65°09'29" E		13.61'	12" PVC SD LINE "G"
L18	N 22°45'30" W		22.13'	12" PVC SD LINE "G"
L19	N 29°06'25" W		47.54'	12" PVC SD LINE "G"
L20	N 40°39'12" W		56.99'	12" PVC SD LINE "G"
L21	N 53°04'07" W		55.27'	12" PVC SD LINE "G"
L22	N 64°35'42" W		42.25'	12" PVC SD LINE "G"
L23	N 73°24'35" W		35.27'	12" PVC SD LINE "G"
L24	N 81°12'08" W		38.35'	12" PVC SD LINE "G"



CONSTRUCTION NOTES (#)

(52) INSTALL TYPE "B" CURB INLET PER SDRSD D-02

(53) INSTALL TYPE "A" CLEAN OUT PER SDRSD D-09

(54) INSTALL BROOK BOX INLET WITH TRAFFIC RATED GRATE, SIZE PER PLAN

(56) INSTALL TYPE "F" INLET PER SDRSD D-07

(59) INSTALL MODULAR WET LAND SYSTEM (MWS-L-8-20-C PER DETAIL SHEET 10)

(64) CONNECT TO EXISTING BOX INLET, REPLACE EX GRATE WITH TRAFFIC RATED LID AND ADJUST TO GRADE

(65) EXISTING D-25 CURB OUTLET TO BE REMOVED AND REPLACED WITH 4" PCC SIDEWALK PER SDRSD G-07

(68) 4" WIDE CPS 100 TRENCH DRAIN (TRAFFIC RATED)

(70) INSTALL 24x24 BROOK BOX INLET WITH TRAFFIC RATED GRATE WITH 12" PVC OUTLET THROUGH WALL

(72) INSTALL CURB OUTLET, PER SDRSD D-25

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2442 Second Avenue
San Diego, CA 92101
(619)232-9200 (619)232-9210 Fax

REGISTERED PROFESSIONAL ENGINEER JONATHAN RAAB ROGEN RCE ~ 64811 EXP 6/30/23 CIVIL STATE OF CALIFORNIA

CONSTRUCTION RECORD	REFERENCES	DATE	BY	REVISIONS	ACPTD
CONTRACTOR	556W, 2254WS, 2255WS, 2263WS				
INSPECTOR	2011-026, 2011-037, 2013-015,				
DATE COMPLETED	2016-163, 2016-183, 2016-352				
	G-1281				

BENCH MARK: CITY OF SANTEE VERTICAL CONTROL MONUMENT #2076 PER R.O.S. 11252, LOCATED AT THE INTERSECTION OF PROSPECT AVENUE & ARGENT STREET ELEVATION: 346.35 FEET (MSL)

SCALE: HORIZ: 1" = 20' VERT: 1" = 8'

DESIGNED BY	DRAWN BY	CHECKED BY
J.M.W.	J.M.W.	J.R.R.

PLANS PREPARED UNDER THE SUPERVISION OF _____ DATE _____
RCE NO. 64811 EXPIRES 6-30-2023

REVIEWED _____
BY _____ PROJECT ENGINEER

CITY OF SANTEE — DEPARTMENT OF DEVELOPMENT SERVICES

GRADING PLANS FOR:

LANTERN CREST - PHASE 4

P2007-12

CITY W.O. NO. G-1383

DRAWING NO. 2022-___

SHEET 4 OF 18

CONSTRUCTION NOTES (#)

(58) INSTALL MASONRY RETAINING WALL PER SDRSD (TYPE AS SHOWN)

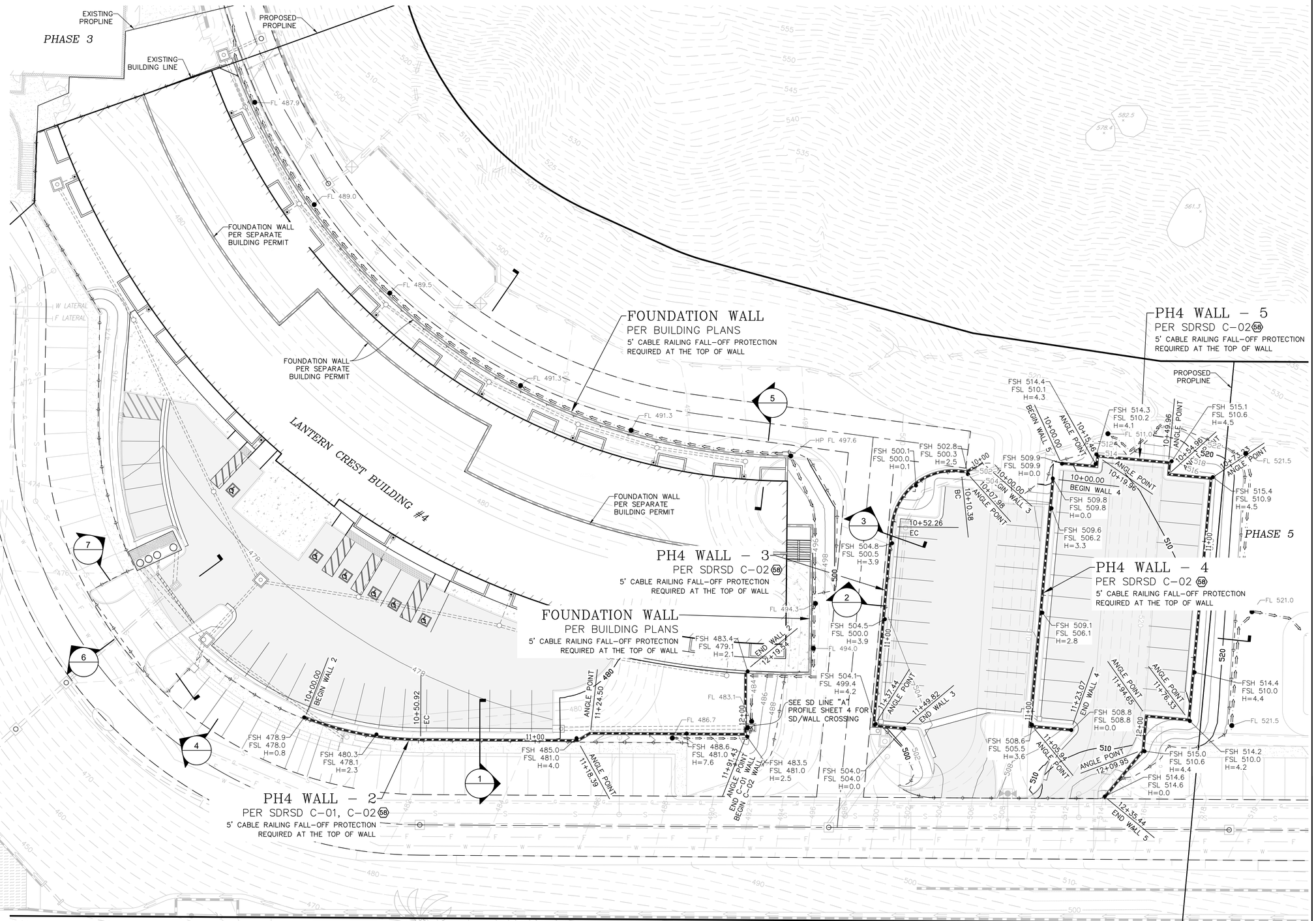
SEE SHEET 7 FOR CROSS SECTIONS

NOTES:

1. *SEE SHEET 7, FOR WALL PROFILES*
2. *5' CABLE RAILING FALL-OFF PROTECTION REQUIRED AT THE TOP OF ALL WALLS, SEE PLANS FOR DETAILS*

NOTE:

ALL WALL'S TO BE CONSTRUCTED OVER THE EXISTING STORM DRAIN - CONCRETE ENCASE WITH 2 SACK SLURRY BACKFILL



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CONSTRUCTION RECORD	REFERENCES	DATE	BY	REVISIONS	ACPTD	BENCH MARK	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
CONTRACTOR	556W, 2254WS, 2255WS, 2263WS					CITY OF SANTEE VERTICAL CONTROL MONUMENT		J.M.W.	J.M.W.	J.R.R.
INSPECTOR	2011-026, 2011-037, 2013-015,					#2076 PER R.O.S. 11252, LOCATED AT THE INTERSECTION	HORIZ: 1" = 20'	PLANS PREPARED UNDER THE SUPERVISION OF		
DATE COMPLETED	2016-163, 2016-183, 2016-352					OF PROSPECT AVENUE & ARGENT STREET	VERT: N/A	DATE		
	G-1281					ELEVATION: 346.35 FEET (MSL)		RCE NO. 64811	EXPIRES 6-30-2023	

REVIEWED _____

BY _____ PROJECT ENGINEER

CITY OF SANTEE — DEPARTMENT OF DEVELOPMENT SERVICES

GRADING PLANS FOR:

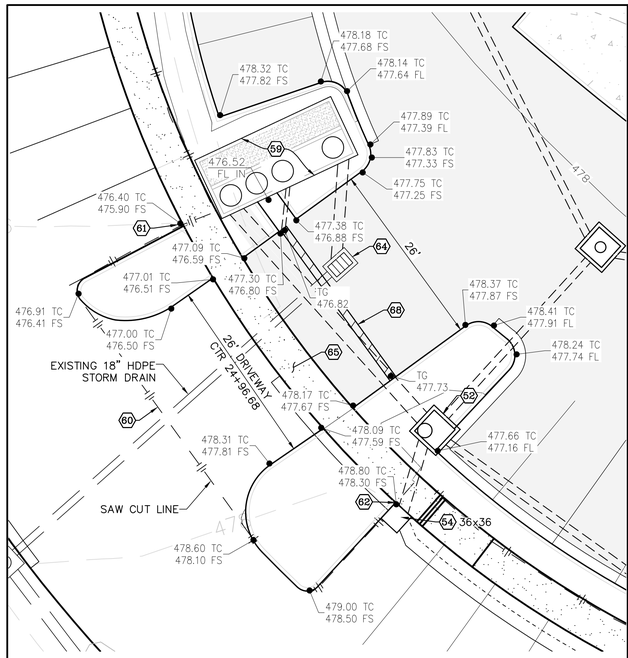
LANTERN CREST - PHASE 4

P2007-12

CITY W.O. NO. G-1383

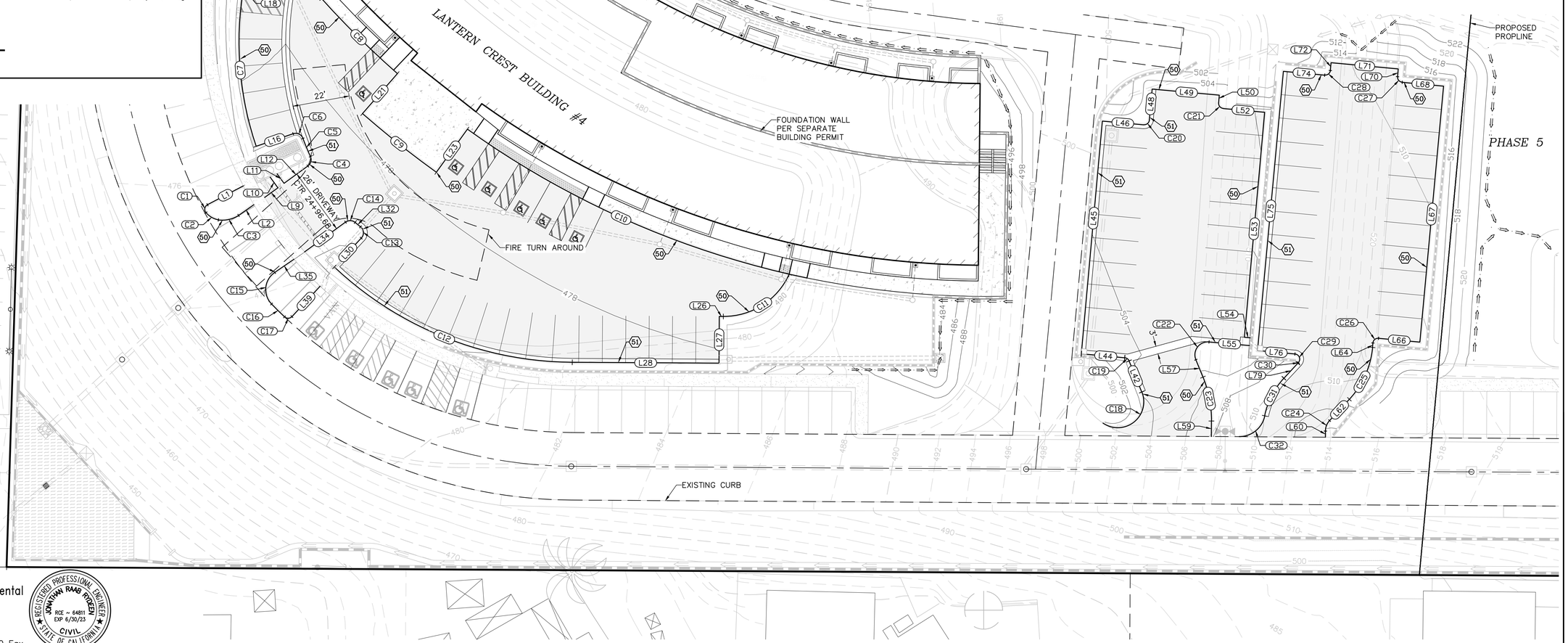
DRAWING NO. 2022-____

SHEET 6 OF 18



B MAIN ENTRANCE DETAIL

SCALE: 1"=10'



6" PCC CURB (SDRSD G-01) #			
#	BEARING/DELTA	RADIUS	LENGTH
C1	Δ = 103°05'24"	2.00'	3.60'
C2	Δ = 38°05'10"	8.49'	5.64'
C3	Δ = 39°26'55"	11.80'	8.13'
C4	Δ = 78°21'22"	3.00'	4.10'
C7	Δ = 27°36'50"	124.66'	60.08'
C8	Δ = 6°48'28"	345.57'	41.06'
C9	Δ = 5°38'27"	369.35'	36.36'
C10	Δ = 22°39'30"	346.18'	136.90'
C11	Δ = 66°06'33"	27.64'	31.89'
C14	Δ = 75°32'26"	3.00'	3.96'
C15	Δ = 99°27'54"	8.00'	13.89'
C16	Δ = 2°29'28"	162.00'	7.04'
C17	Δ = 90°42'58"	2.00'	3.17'
C18	Δ = 146°55'01"	10.00'	25.64'
C21	Δ = 90°00'00"	2.00'	3.14'
C22	Δ = 117°24'02"	5.00'	10.25'
C23	Δ = 22°35'41"	44.00'	17.35'
C24	Δ = 42°27'28"	6.00'	4.45'
C25	Δ = 37°31'12"	34.00'	22.26'
C26	Δ = 90°00'00"	2.00'	3.14'
C27	Δ = 90°00'00"	2.00'	3.14'
C28	Δ = 90°00'00"	2.00'	3.14'
C32	Δ = 78°58'50"	10.00'	13.78'
L1	S 62°16'37" W		15.60'
L2	N 54°59'55" E		7.21'
L9	N 53°58'04" E		6.29'
L10	N 36°01'56" W		5.12'
L11	S 36°01'56" E		4.55'

6" PCC CURB (SDRSD G-01) #			
#	BEARING/DELTA	RADIUS	LENGTH
L12	N 53°58'04" E		11.33'
L16	S 71°13'51" W		15.04'
L18	N 07°30'32" E		3.05'
L19	S 79°45'11" E		30.50'
L21	S 41°07'20" W		20.44'
L23	N 35°46'20" E		20.44'
L26	N 89°39'05" W		1.58'
L27	S 00°20'55" W		18.00'
L34	S 53°58'04" W		19.51'
L35	S 55°29'30" W		8.95'
L39	N 42°49'10" E		15.99'
L49	S 84°50'14" E		26.00'
L50	S 05°09'46" W		3.00'
L52	S 84°50'14" E		16.00'
L53	S 05°09'46" W		87.00'
L57	S 22°14'17" E		7.22'
L59	S 00°21'24" W		5.96'
L60	N 00°21'08" E		2.35'
L62	N 42°48'37" E		11.21'
L64	N 05°17'25" E		1.71'
L66	S 84°42'35" E		16.00'
L67	N 05°17'25" E		99.00'
L68	N 84°42'35" W		16.00'
L70	N 05°17'25" E		3.00'
L71	N 84°42'35" W		26.00'
L72	S 05°17'25" W		3.00'
L74	N 84°42'35" W		16.00'

6" PCC CURB & GUTTER (SDRSD G-02) #			
#	BEARING/DELTA	RADIUS	LENGTH
C5	Δ = 4°03'09"	106.64'	7.54'
C6	Δ = 88°25'57"	3.00'	4.63'
C12	Δ = 42°55'40"	135.00'	101.15'
C13	Δ = 93°34'55"	3.00'	4.90'
C19	Δ = 62°35'58"	2.00'	2.19'
C20	Δ = 90°00'00"	2.00'	3.14'
C29	Δ = 125°52'31"	2.00'	4.39'
C30	Δ = 1°38'41"	10.00'	0.29'
C31	Δ = 31°26'18"	30.00'	16.46'
L28	N 89°39'21" W		56.54'
L30	N 43°05'25" E		15.21'
L32	N 50°29'31" W		2.71'
L42	N 22°14'17" W		12.92'
L44	N 84°50'14" W		16.79'
L45	N 05°09'46" E		90.00'
L46	S 84°50'14" E		16.00'
L48	N 05°09'46" E		12.00'
L54	S 84°44'17" E		2.40'
L55	N 84°50'14" W		15.81'
L75	S 05°17'25" W		108.00'
L76	S 84°42'35" E		14.48'
L79	S 42°48'37" W		7.93'

CONSTRUCTION NOTES

50 INSTALL 6" PCC CURB PER SDRSD G-01

51 INSTALL 6" PCC CURB AND GUTTER PER SDRSD G-02

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REGISTERED PROFESSIONAL ENGINEER JONATHAN RAAB RYDEN RCE ~ 64811 EXP 6/30/23 CIVIL STATE OF CALIFORNIA

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PLANS PREPARED UNDER THE SUPERVISION OF _____ DATE _____
RCE NO. 64811 EXPIRES 6-30-2023

REVIEWED _____
BY _____ PROJECT ENGINEER

CITY OF SANTEE — DEPARTMENT OF DEVELOPMENT SERVICES

GRADING PLANS FOR:

LANTERN CREST - PHASE 4

P2007-12

CITY W.O. NO. G-1383

DRAWING NO. 2022-___

SHEET 8 OF 18

BMP PLAN SHEET
LANTERN CREST PHASE 4

LEGEND

DMA BOUNDARY

STORM DRAIN STENCILING & PROHIBITIVE SIGNAGE (SEE SAMPLE BELOW)

MATERIALS & WASTE MANAGEMENT CONTROL BMPS:

- EC-1 SCHEDULING
- WM-1 MATERIAL DELIVERY & STORAGE:
- WM-3 STOCKPILE MANAGEMENT:
- WM-4 SPILL PREVENTION AND CONTROL:
- WM-5 SOLID WASTE MANAGEMENT:
- WM-6 HAZARDOUS WASTE MANAGEMENT:
- WM-8 CONCRETE WASTE MANAGEMENT:
- WM-9 SANITARY WASTE MANAGEMENT:
- NS-1 WATER CONSERVATION PRACTICES:
- NS-3 PAVING AND GRINDING OPERATIONS:
- NS-6 ILLICIT CONNECTION/DISCHARGE
- NS-7 POTABLE WATER/IRRIGATION
- NS-8 VEHICLE AND EQUIPMENT CLEANING
- NS-9 VEHICLE AND EQUIPMENT FUELING
- NS-10 VEHICLE AND EQUIPMENT MAINTENANCE
- NS-12 CONCRETE CURING
- NS-13 CONCRETE FINISHING

TEMPORARY RUNOFF CONTROL BMPS:

- SE-1 SILT FENCE
- SC-6/8 GRAVEL OR SAND BAGS
- SC-10 STORM DRAIN INLET PROTECTION
- SE-5 FIBER ROLL
- TC-1 STABILIZED CONSTRUCTION ENTRANCE
- SS-7/SS-4 JUTE MAT & HYDROSEED
- SE-7 STREET SWEEPING

NOTES

* APPROXIMATE DEPTH TO GROUNDWATER > 20 FT
* UNDERLYING SOIL TYPE D

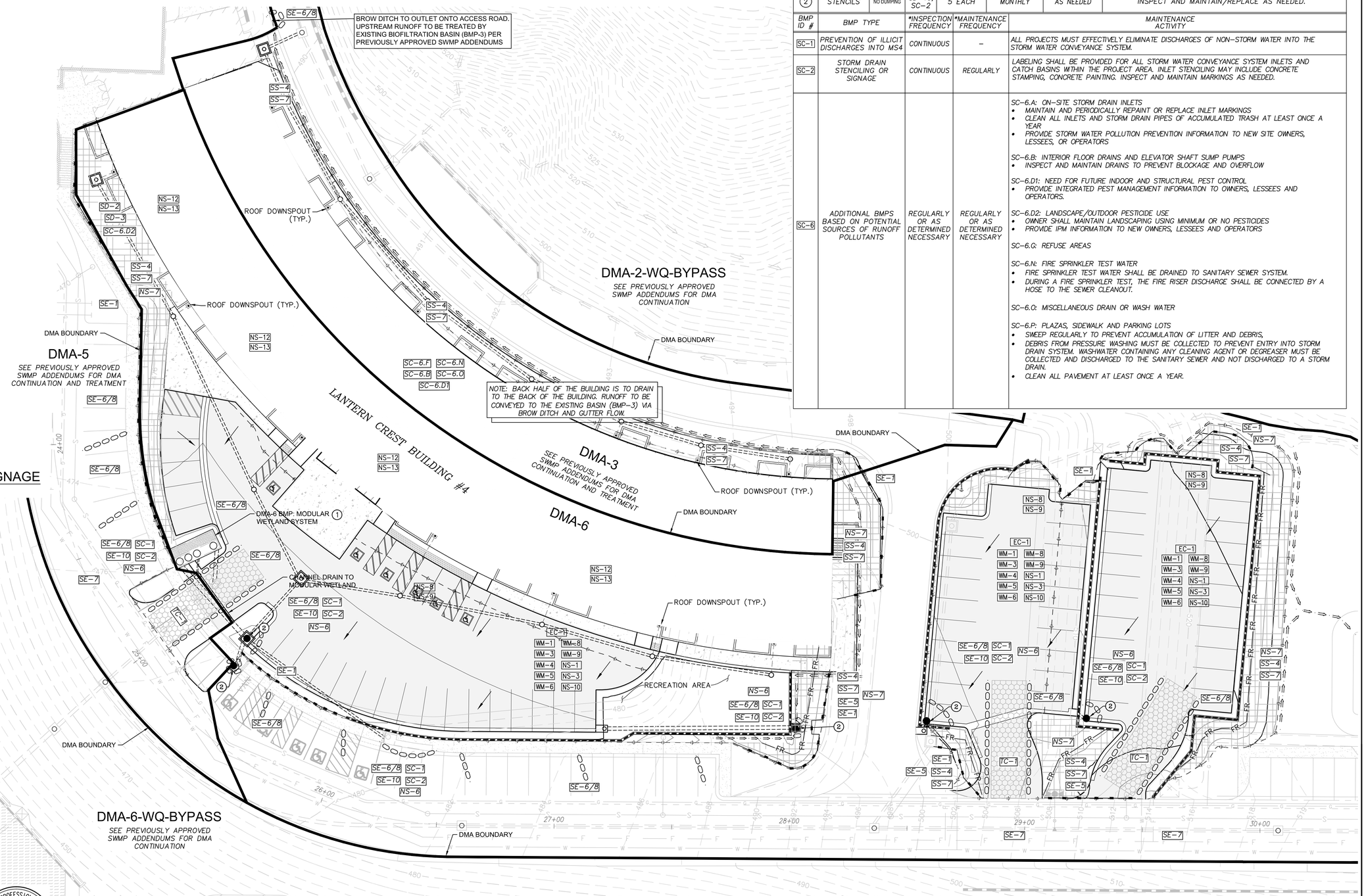
NO DUMPING DRAINS TO WATERWAYS

SAMPLE PROHIBITIVE SIGNAGE

NTS

SCALE: 1" = 20'

0 20 40 60



SOURCE CONTROL

BMP ID #	BMP TYPE	SYMBOL	CASQA NO.	AREA	*INSPECTION FREQUENCY	*MAINTENANCE FREQUENCY	MAINTENANCE ACTIVITY
2	STENCILS	NO DUMPING	SD-13, SC-2	5 EACH	MONTHLY	AS NEEDED	INSPECT AND MAINTAIN/REPLACE AS NEEDED.

BMP ID #	BMP TYPE	*INSPECTION FREQUENCY	*MAINTENANCE FREQUENCY	MAINTENANCE ACTIVITY
SC-1	PREVENTION OF ILLICIT DISCHARGES INTO MS4	CONTINUOUS	–	ALL PROJECTS MUST EFFECTIVELY ELIMINATE DISCHARGES OF NON-STORM WATER INTO THE STORM WATER CONVEYANCE SYSTEM.
SC-2	STORM DRAIN STENCILING OR SIGNAGE	CONTINUOUS	REGULARLY	LABELING SHALL BE PROVIDED FOR ALL STORM WATER CONVEYANCE SYSTEM INLETS AND CATCH BASINS WITHIN THE PROJECT AREA. INLET STENCILING MAY INCLUDE CONCRETE STAMPING, CONCRETE PAINTING. INSPECT AND MAINTAIN MARKINGS AS NEEDED.
SC-6	ADDITIONAL BMPS BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS	REGULARLY OR AS DETERMINED NECESSARY	REGULARLY OR AS DETERMINED NECESSARY	SC-6.A: ON-SITE STORM DRAIN INLETS • MAINTAIN AND PERIODICALLY REPAINT OR REPLACE INLET MARKINGS • CLEAN ALL INLETS AND STORM DRAIN PIPES OF ACCUMULATED TRASH AT LEAST ONCE A YEAR • PROVIDE STORM WATER POLLUTION PREVENTION INFORMATION TO NEW SITE OWNERS, LESSEES, OR OPERATORS SC-6.B: INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS • INSPECT AND MAINTAIN DRAINS TO PREVENT BLOCKAGE AND OVERFLOW SC-6.D1: NEED FOR FUTURE INDOOR AND STRUCTURAL PEST CONTROL • PROVIDE INTEGRATED PEST MANAGEMENT INFORMATION TO OWNERS, LESSEES AND OPERATORS. SC-6.D2: LANDSCAPE/OUTDOOR PESTICIDE USE • OWNER SHALL MAINTAIN LANDSCAPING USING MINIMUM OR NO PESTICIDES • PROVIDE IPM INFORMATION TO NEW OWNERS, LESSEES AND OPERATORS SC-6.G: REFUSE AREAS SC-6.N: FIRE SPRINKLER TEST WATER • FIRE SPRINKLER TEST WATER SHALL BE DRAINED TO SANITARY SEWER SYSTEM. • DURING A FIRE SPRINKLER TEST, THE FIRE RISER DISCHARGE SHALL BE CONNECTED BY A HOSE TO THE SEWER CLEANOUT. SC-6.O: MISCELLANEOUS DRAIN OR WASH WATER SC-6.P: PLAZAS, SIDEWALK AND PARKING LOTS • SWEEP REGULARLY TO PREVENT ACCUMULATION OF LITTER AND DEBRIS, • DEBRIS FROM PRESSURE WASHING MUST BE COLLECTED TO PREVENT ENTRY INTO STORM DRAIN SYSTEM. WASHWATER CONTAINING ANY CLEANING AGENT OR DEGREASER MUST BE COLLECTED AND DISCHARGED TO THE SANITARY SEWER AND NOT DISCHARGED TO A STORM DRAIN. • CLEAN ALL PAVEMENT AT LEAST ONCE A YEAR.

ALL SLOPES OVER 3' IN HEIGHT TO BE LANDSCAPED AND IRRIGATED WITH HYDROSEED AND TEMPORARY IRRIGATION UNTIL PERMANENT VEGETATION AND IRRIGATION CAN BE ESTABLISHED.

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CONSTRUCTION RECORD	REFERENCES	DATE	BY	REVISIONS	ACPTD
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J.M.W.	J.M.W.	J.R.R.

PLANS PREPARED UNDER THE SUPERVISION OF _____ DATE _____
RCE NO. 64811 EXPIRES 6-30-2023

REVIEWED _____ BY _____ PROJECT ENGINEER

CITY OF SANTEE — DEPARTMENT OF DEVELOPMENT SERVICES

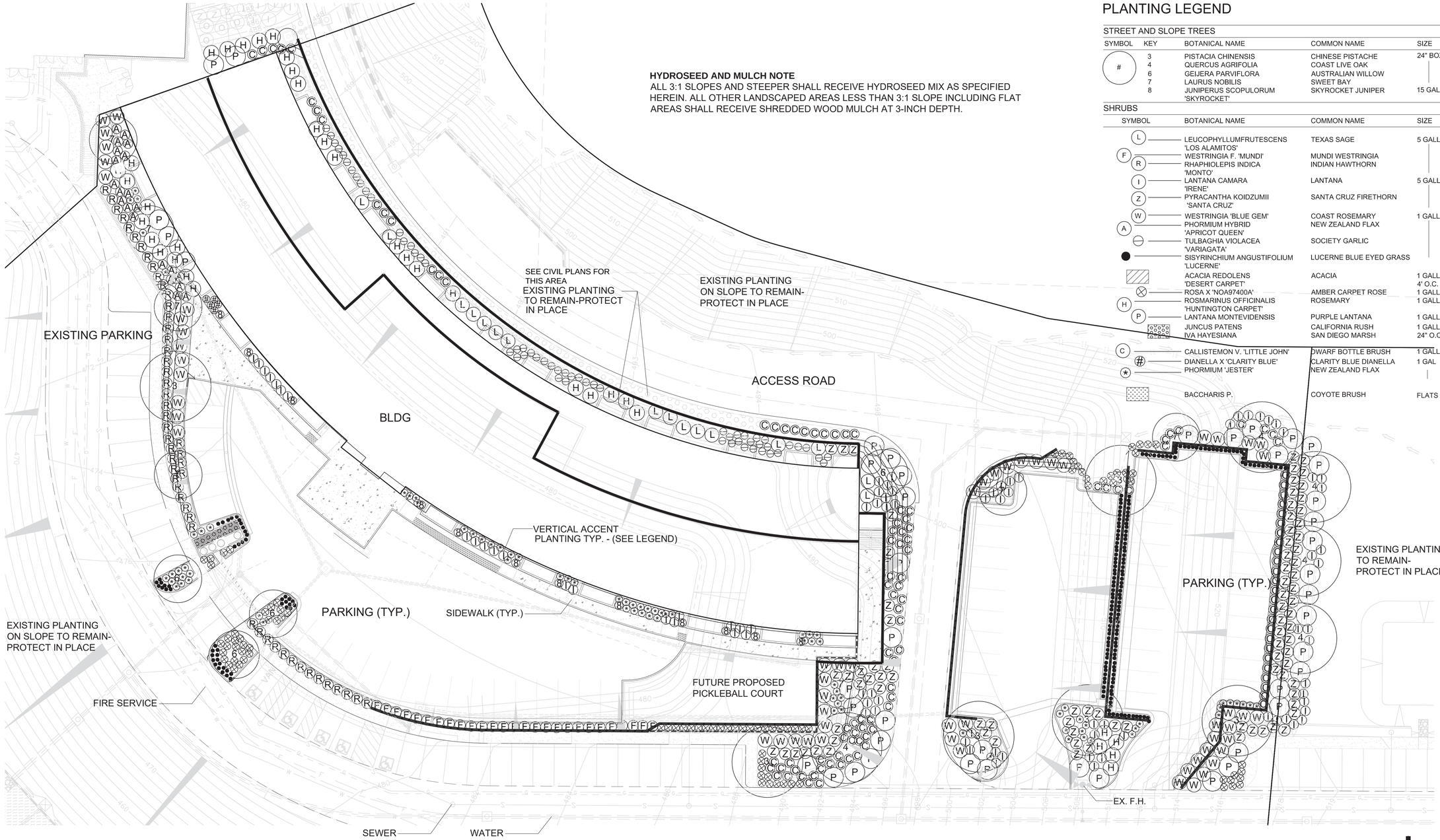
BMP PLAN FOR:

LANTERN CREST - PHASE 4 — P2007-12

CITY W.O. NO. G-1383

DRAWING NO. 2022-____

HYDROSEED AND MULCH NOTE
ALL 3:1 SLOPES AND STEEPER SHALL RECEIVE HYDROSEED MIX AS SPECIFIED HEREIN. ALL OTHER LANDSCAPED AREAS LESS THAN 3:1 SLOPE INCLUDING FLAT AREAS SHALL RECEIVE SHREDDED WOOD MULCH AT 3-INCH DEPTH.



PLANTING LEGEND

STREET AND SLOPE TREES

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY.
#	3	PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX	M	6
	4	QUERCUS AGRIFOLIA	COAST LIVE OAK		L	6
	6	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW		L	2
	7	LAURUS NOBILIS	SWEET BAY		M	6
	8	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	15 GALLON	L	12

SHRUBS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY.
L	LEUCOPHYLLUMFRUTESCENS 'LOS ALAMITOS'	TEXAS SAGE	5 GALLON	L	16
F	WESTRINGIA F. 'MUNDI'	MUNDI WESTRINGIA		L	27
R	RHAPHIOLEPIS INDICA 'MONTO'	INDIAN HAWTHORN		L	52
I	LANTANA CAMARA 'IRENE'	LANTANA	5 GALLON	L	82
Z	PYRACANTHA KOIDZUMII 'SANTA CRUZ'	SANTA CRUZ FIRETHORN		L	84
W	WESTRINGIA 'BLUE GEM'	COAST ROSEMARY	1 GALLON	L	73
A	PHORMIUM HYBRID 'APRICOT QUEEN'	NEW ZEALAND FLAX		M	21
⊖	TULBAGHIA VIOLACEA 'VARIAGATA'	SOCIETY GARLIC		L	58
●	SISYRINCHIUM ANGUSTIFOLIUM 'LUCERNE'	LUCERNE BLUE EYED GRASS		L	210
	ACACIA REDOLENS 'DESERT CARPET'	ACACIA	1 GALLON 4' O.C.	L	-
⊗	ROSA X 'NOA97400A'	AMBER CARPET ROSE	1 GALLON	L	65
H	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'	ROSEMARY	1 GALLON	L	36
P	LANTANA MONTEVIDENSIS	PURPLE LANTANA	1 GALLON	L	43
	JUNCUS PATENS	CALIFORNIA RUSH	1 GALLON	L	-
	IVA HAYESIANA	SAN DIEGO MARSH	24" O.C.	L	
C	CALLISTEMON V. 'LITTLE JOHN'	DWARF BOTTLE BRUSH	1 GALLON	L	116
#	DIANELLA X 'CLARITY BLUE'	CLARITY BLUE DIANELLA	1 GAL	L	12
*	PHORMIUM 'JESTER'	NEW ZEALAND FLAX		L	75
	BACCHARIS P.	COYOTE BRUSH	FLATS 36" O.C.	L	

SEE SHEET L-2 FOR PLANTING DETAILS AND NOTES
SEE SHEET L-3 FOR IRRIGATION SPECIFICATIONS

PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL LANDSCAPED AREAS PRIOR TO MULCH PLACEMENT.

NORTH

0' 20 40 60
SCALE: 1"=20'-0"

Gary F. Hoyt
landscape architecture, inc
Poway CA 92064
tel: (858) 486-4931
fax: (858) 486-1457

LICENSED LANDSCAPE ARCHITECT
GARY F. HOYT RLA #2517
SIGNATURE
12/31/24
RENEWAL DATE
DATE
STATE OF CALIFORNIA

CONSTRUCTION RECORD	REFERENCES	DATE	BY	REVISIONS	ACPTD
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DESIGNED BY	DRAWN BY	CHECKED BY
PML	PML	GFH

PLANS PREPARED UNDER THE SUPERVISION OF GARY HOYT DATE 01/03/23
RCE NO. 2517 EXPIRES 12/31/24

REVIEWED
BY PROJECT PLANNER

CITY OF SANTEE DEPARTMENT OF DEVELOPMENT SERVICES
LANDSCAPE PLAN FOR
LANTERN CREST PHASE 4
P2007-12

DATE: 01-03-2023
CITY W.O. NO. G-1383
DRAWING NO. L-1 2022-
SHEET 16 OF 18