



City Council
Mayor John W. Minto
Vice Mayor Laura Koval
Council Member Ronn Hall
Council Member Rob McNelis
Council Member Dustin Trotter

CITY OF SANTEE REGULAR MEETING AGENDA Santee City Council

City Manager | Marlene D. Best
City Attorney | Shawn D. Hagerty
City Clerk | Annette Fagan Ortiz

MEETING INFORMATION

Wednesday, November 8, 2023

6:30 p.m.

Council Chambers | Building 2

10601 Magnolia Ave • Santee, CA 92071

TO WATCH LIVE:

AT&T U-verse channel 99 (SD Market) | Cox channel 117 (SD County)

www.cityofsanteeca.gov

IN-PERSON ATTENDANCE

Members of the public who wish to view the Council Meeting live, can watch the live taping of the Council meeting in the Council Chambers on the meeting date and time listed above.

LIVE PUBLIC COMMENT

Members of the public who wish to comment on matters on the City Council agenda or during Non-Agenda Public Comment may appear in person and submit a speaker slip, before the item is called. Your name will be called when it is time to speak.

PLEASE NOTE: Public Comment will be limited to 3 minutes and speaker slips will only be accepted until the item is called. The timer will begin when the participant begins speaking.



The City Council also sits as the Community Development Commission Successor Agency and the Santee Public Financing Authority. Any actions taken by these agencies are separate from the actions taken by City Council. For questions regarding this agenda, please contact the City Clerk's Office at (619) 258-4100 x114

ROLL CALL: Mayor John W. Minto
 Vice Mayor Laura Koval – District 3
 Council Member Rob McNelis – District 1
 Council Member Ronn Hall – District 2
 Council Member Dustin Trotter – District 4

LEGISLATIVE INVOCATION: Sonrise Community Church – Pastor Jerry Phillips

PLEDGE OF ALLEGIANCE

PROCLAMATION: Proclaiming November 12-18, 2023, United Against Hate Week in the City of Santee

PRESENTATION: Veterans East County Alliance (VECA): Announcing VECA's Inaugural Veterans Awards Luncheon of Recognition (VALOR)

PLEASE NOTE: Consent Calendar items are considered routine and will be approved by one motion, with no separate discussion prior to voting. The public, staff or Council Members may request specific items be removed from the Consent Calendar for separate discussion or action. Speaker slips for this category must be presented to the City Clerk at the start of the meeting. Speakers are limited to 3 minutes.

- (1) **Approval of Reading by Title Only and Waiver of Reading in Full of Ordinances and Resolutions on the Agenda. (City Clerk – Ortiz)**
- (2) **Approval of Meeting Minutes of the Santee City Council for the September 13, September 27, October 11, and October 25, 2023, Regular Meetings, and October 11, 2023, Special Meeting. (City Clerk – Ortiz)**
- (3) **Approval of Payment of Demands as Presented. (Finance – Jennings)**
- (4) **Approval of the Expenditure of \$87,651.55 for October 2023 Legal Services. (Finance – Jennings)**
- (5) **Adoption of a Resolution Authorizing the Purchase of New Structural Firefighting Clothing (Turnouts) from Municipal Emergency Services, per County of Los Angeles, CA Contract #MA-IS-1840141-6. (Fire – Matsushita)**
- (6) **Adoption of a Resolution Finding in Support of and Authorizing the Purchase of One New 2025 Braun North Star 171-3 Ambulance on a 2025 Ford E450 Chassis from Braun Northwest, Inc. per HGACBuy Contract AM 10-23, the Purchase of Add-On Items on the Open Market, and the Appropriation of Funds from the Emergency Medical Services Fund Reserve. (Fire – Matsushita)**



- (7) **Adoption of a Resolution Authorizing the Appropriation and Expenditure of FY2021 State Homeland Security Program Grant Reallocation Funds in Accordance with All Program Requirements and Approving Purchase of Equipment to Create a Command Training Center for All Central Zone Agencies to Utilize at the Joint Training Facility, Heartland Training Facility. (Fire – Matsushita)**

NON-AGENDA PUBLIC COMMENT (15 minutes):

Persons wishing to address the City Council regarding items not on the posted agenda may do so at this time. In accordance with State law, Council may not take action on an item not scheduled on the Agenda. If appropriate, the item will be referred to the City Manager or placed on a future agenda. This first Non-Agenda Public Comment period is limited to a total of 15 minutes. Additional Non-Agenda Public Comment is received prior to Council Reports.

PUBLIC HEARING:

- (8) **A Public Hearing for an Ordinance Amending Title 13 (“Zoning Ordinance”) of the City of Santee Municipal Code Modifying “Vehicle Storage Yard” from a Use that is Currently Prohibited to a Use that is Permitted with a Minor Conditional Use Permit in the Light Industrial (IL) Zone and Approving an Exemption from the California Environmental Quality Act (“CEQA”) in Accordance with Section 15305 of the CEQA Guidelines. (Planning and Building – Sawa)**

Recommendation:

1. Conduct and close the Public Hearing; and
2. Find that the Ordinance is exempt from the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines Section 15305; and
3. Introduce the Ordinance for First Reading and schedule the Ordinance for a Second Reading on December 13, 2023.

- (9) **Public Hearing for Conditional Use Permit P2022-5 for a 4,307-Square-Foot Church Facility and Related Site Improvements on a 0.61-Acre Vacant Lot Located at 9300 Pike Road (APN 380-112-08) in the Neighborhood Commercial Zone (NC) and Finding the Project Exempt from the California Environmental Quality Act (“CEQA”) Pursuant to the Class 32 Infill Exemption. (Applicant: St. Nicholas Diocese in Chicago for the Ukrainians). (Planning and Building – Sawa)**

Recommendation:

1. Conduct and close the Public Hearing; and
2. Find Conditional Use Permit P2022-5 Categorical Exempt from the provisions of CEQA pursuant to Section 15332 of the CEQA Guidelines and authorize the filing of a Notice of Exemption; and
3. Approve Conditional Use Permit P2022-5 per the Resolution.



CONTINUED BUSINESS:

- (10) Public Workshop on the Town Center Specific Plan Update and Finding the Action is Not a Project Subject to the California Environmental Quality Act (“CEQA”). (Planning and Building – Sawa)**

Recommendation:

Receive the draft Town Center Specific Plan and direct staff to commence with the public review process.

NEW BUSINESS:

- (11) A Report for the Consideration of Implementing a Fee to Recover Credit Card Transaction Cost and if Directed Set a Public Hearing for December 13, 2023, to Add the Fee to the City’s Fee Schedule. (Finance – Jennings)**

Recommendation:

1. Receive the report regarding the considerations of implementing a fee to recover credit card transaction cost.
2. Decide on one of the options listed or develop a new option.
3. If a fee is to be established, direct staff to schedule a Public Hearing for December 13, 2023, to add a credit card processing fee to the City’s fee schedule.

- (12) Resolution Approving an Amended Salary Schedule for Positions Subject to Minimum Wage Increases, a Market Adjustment Increase for Certain Fire Management Positions, and to Include a Part-Time Information Technology Technician Position, and Authorizing the Appropriation of \$32,240.00 to the Fiscal Year 2023-24 Adopted Operating Budget. (Human Resources – Freeman)**

Recommendation:

1. Approve and adopt the amended salary schedule effective January 4, 2024 (for certain Fire Management positions) and effective January 1, 2024, to comply with minimum wage requirements, and include the salary for a part-time I.T. Technician.
2. Authorize the appropriation of \$32,240.00 from the General Fund Reserve to the FY 2023-24 Adopted Budget.

NON-AGENDA PUBLIC COMMENT (Continued):

All public comment not presented within the first Non-Agenda Public Comment period above will be heard at this time.

CITY COUNCIL REPORTS:

CITY MANAGER REPORTS:

CITY ATTORNEY REPORTS:

- (13) **Report on 2024 Initiatives Related to State and Local Revenues. (City Attorney – Hagerty)**

CLOSED SESSION:

- (14) **Public Employee Performance Evaluation**
(Government Code Section 54957(b))
Title: City Manager

ADJOURNMENT:





BOARDS, COMMISSIONS & COMMITTEES
NOVEMBER & DECEMBER MEETINGS

Table with 4 columns: Date, Meeting Name, Status, and Location. Includes entries for Nov 01, 08, 13 and Dec 07, 11, 13, with some items marked as CANCELLED.

The Santee City Council welcomes you and encourages your continued interest and involvement in the City’s decision-making process.

For your convenience, a complete Agenda Packet is available for public review at City Hall and on the City website at www.CityofSanteeCA.gov.

The City of Santee complies with the Americans with Disabilities Act. Upon request, this agenda will be made available in appropriate alternative formats to persons with disabilities, as required by Section 12132 of the American with Disabilities Act of 1990 (42 USC § 12132).



MEETING DATE November 8, 2023

ITEM TITLE PROCLAIMING NOVEMBER 12-18, 2023 UNITED AGAINST HATE WEEK IN THE CITY OF SANTEE

DIRECTOR/DEPARTMENT John Minto, Mayor

SUMMARY

United Against Hate Week (Nov. 12-18, 2023) is a call for local civic action to stop the hate and biases that pose a dangerous threat to the safety and civility of our neighborhoods, towns, and cities. The United Against Hate campaign, which emerged from a poster campaign by Bay Area Cities, has spread to over 200+ communities. The City of Santee and the County of San Diego will participate for the second time this year.

Inspired by partners throughout California, the San Diego Anti-Hate Coalition and the U.S. Attorney's Office are leading this powerful campaign that will empower local residents and communities to stand against racism and alter the course of growing intolerance. When cities and residents work together against hate, we can restore respect, embrace the strength of diversity, and build inclusive and equitable communities for all.

The City of Santee will proclaim and recognize November 12-18, 2023 as United Against Hate Week in Santee. In addition, the City will be participating in the social media campaign and providing information regarding activities and resources that are available at unitedagainsthateweek.org.

FINANCIAL STATEMENT

N/A

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION *MSB*

Present the proclamation.

ATTACHMENT

Proclamation





| Proclamation

WHEREAS, the United States is a nation of immigrants whose strength comes from its diversity; and

WHEREAS, the Constitution enshrines equality on all individuals, regardless of race, gender, orientation, religion, or political views; and

WHEREAS, there is an ongoing escalation of hate speech that encourages the propagation of racist, xenophobic, anti-Semitic, anti-Asian, anti-Black, sexist, homophobic, and other bigoted views by emboldened hate groups and individuals; and

WHEREAS, the City of Santee, in partnership with the County of San Diego, is a Live Well community and is dedicated to preventing and opposing hate and intolerance; and

WHEREAS, education, compassion, and cooperation are key to unlocking understanding and embracing differences between people; and

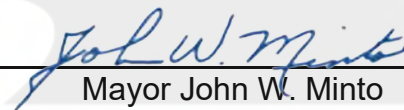
WHEREAS, we seek to join dozens of other communities in California's second statewide United Against Hate Week as an important step in bridging divisions and strengthening our communities.

NOW, THEREFORE, I, John W. Minto, Mayor of the City of Santee, on behalf of the City Council, do hereby proclaim November 12-18, 2023, as

“UNITED AGAINST HATE WEEK”

in the city of Santee and urge all citizens to learn more about United Against Hate Week and the activities that are available through the County of San Diego at unitedagainsthateweek.org.

IN WITNESS WHEREOF, I have hereunto set my hand this eighth day of November, two thousand twenty-three, and have caused the Official Seal of the City of Santee to be affixed.



Mayor John W. Minto

MEETING DATE November 8, 2023

ITEM TITLE VETERANS EAST COUNTY ALLIANCE (VECA) PRESENTATION:
ANNOUNCING VECA'S INAUGURAL VETERANS AWARDS LUNCHEON OF
RECOGNITION (VALOR)

DIRECTOR/DEPARTMENT John W. Minto, Mayor

SUMMARY

The Veterans East County Alliance (VECA) is a distinguished group of passionate community leaders. In partnership with the San Diego East County Regional Chamber of Commerce, VECA seeks to honor and support ALL veteran-owned and veteran-friendly businesses in East County and the San Diego region. VECA membership is free to veteran-owned and veteran-friendly businesses, veteran resources, cities, chambers, elected officials, and community leaders.

VECA honors and supports veterans with engaging monthly meetings, mixers, workshops, partners with other veteran organizations and events, and yearly provides scholarships and grants to veterans to benefit their businesses. VECA has appreciated the City of Santee's support for VECA since 2021, its inception.

VECA will be having its inaugural Veterans Awards Luncheon of Recognition (VALOR) on November 30th, 2023, at the Jamul Casino/The Rooftop from 11:30 am to 2:00 pm. VECA is once again looking for the City of Santee to attend, honor and support the recognition of veterans, spouses, veteran-friendly, veteran resources, and veteran-owned businesses at the Veterans Award Luncheon of Recognition.

FINANCIAL STATEMENT

N/A

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *MRB*

Recognize VECA's benefits to the military veterans community and its inaugural Veterans Awards Luncheon of Recognition.


ATTACHMENT

None



MEETING DATE November 08, 2023

ITEM TITLE APPROVAL OF READING BY TITLE ONLY AND WAIVER OF READING
IN FULL OF ORDINANCES AND RESOLUTIONS ON THE AGENDA

DIRECTOR/DEPARTMENT Annette Ortiz, CMC, City Clerk 

SUMMARY

This Item asks the City Council to waive the reading in full of all Ordinances on the Agenda (if any) and approve their reading by title only. The purpose of this Item is to help streamline the City Council meeting process, to avoid unnecessary delay and to allow more time for substantive discussion of Items on the agenda.

State law requires that all Ordinances be read in full either at the time of introduction or at the time of passage, unless a motion waiving further reading is adopted by a majority of the City Council. (Gov. Code, § 36934). This means that each word in each Ordinance would have to be read aloud unless such reading is waived. Such reading could substantially delay the meeting and limit the time available for discussion of substantive Items. Adoption of this waiver streamlines the procedure for adopting the Ordinances on tonight's Agenda (if any), because it allows the City Council to approve Ordinances by reading aloud only the title of the Ordinance instead of reading aloud every word of the Ordinance.

The procedures for adopting Resolutions are not as strict as the procedures for adopting Ordinances. For example, Resolutions do not require two readings for passage, need not be read in full or even by title, are effective immediately unless otherwise specified, do not need to be in any particular format unless expressly required, and, with the exception of fixing tax rates or revenue amounts, do not require publication. However, like Ordinances, all Resolutions require a recorded majority vote of the total membership of the City Council. (Gov. Code § 36936).

FINANCIAL STATEMENT

N/A

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION


It is recommended that the Council waive the reading of all Ordinances and Resolutions in their entirety and read by title only.

ATTACHMENT

None

MEETING DATE November 08, 2023

ITEM TITLE APPROVAL OF MEETING MINUTES OF THE SANTEE CITY COUNCIL FOR THE SEPTEMBER 13, SEPTEMBER 27, OCTOBER 11, AND OCTOBER 25, 2023, REGULAR MEETINGS, AND OCTOBER 11, 2023, SPECIAL MEETING

DIRECTOR/DEPARTMENT Annette Ortiz, CMC, City Clerk 

SUMMARY

Submitted for your consideration and approval are the minutes of the above meetings.

FINANCIAL STATEMENT

N/A

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION

Approve Minutes as presented.

ATTACHMENT

Regular Meeting Minutes

- September 13, 2023
- September 27, 2023
- October 11, 2023
- October 25, 2023

Special Meeting Minutes

- October 11, 2023

DRAFT

**Minutes
Santee City Council
Council Chamber – Building 2
10601 Magnolia Avenue
Santee, California
September 13, 2023**

This Regular Meeting of the Santee City Council was called to order by Mayor John W. Minto at 6:32 p.m.

ROLL CALL: Present: Mayor John W. Minto, Vice Mayor Laura Koval and Council Members Ronn Hall, Rob McNelis and Dustin Trotter – 5

Officers present: City Manager Marlene Best, City Attorney Shawn Hagerty, and City Clerk Annette Ortiz

INVOCATION was given by Bishop Lounsbery Tate - The Church of Jesus Christ of Latter-day Saints

PLEDGE OF ALLEGIANCE was led by James Sly

PROCLAMATION: Constitution Week

Mayor Minto read the Proclamation to the public.

ADJOURNMENT IN MEMORY: August A. Caires

Mayor Minto and Vice Mayor Koval presented the Adjournment in Memory of August A. Caires to Bill Pommering, Padre Dam Municipal Water District Board President.

CONSENT CALENDAR:

The City Clerk requested Items 1, 2, 3, and 6 be pulled for discussion.

- (1) **Item Pulled for Discussion.**
- (2) **Item Pulled for Discussion.**
- (3) **Item Pulled for Discussion.**
- (4) **Rejection of Claims Against the City by James Mailly, Laura Taylor, and Cari McCormick. (Human Resources – Freeman)**
- (5) **Adoption of a Resolution Rejecting a Bid Protest and Awarding the Construction Contract for the City Hall Painting and Wood Repairs (CIP 2023-34) Project to Perfection Painting Corp. and Determining the Project**

is Categorically Exempt from Environmental Review Under the California Environmental Quality Act ("CEQA") per State CEQA Guidelines Section 15301(c). (Engineering – Schmitz) (Reso 105-2023)

- (6) Item Pulled for Discussion.
- (7) Adoption of a Resolution Authorizing the Purchase of Five (5) APX 8000 All-Band Portable Radios, and Three (3) APX 8500 All-Band Mobile Radios from Motorola Solutions, Inc. per County of San Diego Regional Communications System Contract No. 553982. (Fire – Matsushita) (Reso 107-2023)
- (8) Adoption of a Resolution Declaring Vehicle V-083 as Surplus Property Upon Receipt and Acceptance of the New Ford F-550 Firematic Type 6 Fire Engine and Appropriating Funds from the Sale of V-083. (Fire – Matsushita) (Reso 108-2023)

ACTION: Council Member Trotter moved approval of the Consent Calendar and Agenda as Amended.

Council Member McNelis seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Koval: Aye; and Council Members Hall: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

Items removed from the Consent Calendar:

- (1) Approval of Reading by Title Only and Waiver of Reading in Full of Ordinances and Resolutions on the Agenda. (City Clerk – Ortiz)

PUBLIC SPEAKER:

- Truth

ACTION: Council Member McNelis moved approval of staff recommendation.

Vice Mayor Koval seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Koval: Aye; and Council Members Hall: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

- (2) Approval of Meeting Minutes of the Santee City Council for the July 12, and August 9, 2023, Regular Meetings. (City Clerk – Ortiz)

PUBLIC SPEAKER:

- Truth

ACTION: Council Member Trotter moved approval of staff recommendation.

Vice Mayor Koval seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Koval: Aye; and Council Members Hall: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

(3) Approval of Payment of Demands as Presented. (Finance – Jennings)

PUBLIC SPEAKER:

- Truth

ACTION: Council Member McNelis moved approval of staff recommendation.

Council Member Trotter seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Koval: Aye; and Council Members Hall: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

(6) Adoption of a Resolution Approving the Appropriation of \$34,410.00 to the Code Enforcement Department Budget for the Abatement of a Structure at 7953 Rancho Fanita Drive APN: 386-133-06-00. (Building – Strum) (Reso 106-2023)

PUBLIC SPEAKER:

- Truth

ACTION: Council Member McNelis moved approval of staff recommendation.

Vice Mayor Koval seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Koval: Aye; and Council Members Hall: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

NON-AGENDA PUBLIC COMMENT (15 minutes):

- (A) Truth spoke about County of San Diego District 2 Supervisor and the County of San Diego's budget; Mobile Smart ADUs in relation to SANDAG goals; and Constitution Week and democracy.
- (B) Patrick Henry, Santee Firefighters, requested the City Council direct the City Manager to hire a qualified individual to conduct a Sales Tax Initiative Feasibility Study and the need for new Fire Stations in Santee.
- (C) Bryant Rumbaugh spoke about Constitution Week; the lack of public engagement in governance; and Covid 19.

NEW BUSINESS:

- (9) Public Workshop on the Town Center Specific Plan Update and Finding the Action is not a Project Subject to the California Environmental Quality Act ("CEQA"). (Planning – Coyne)**

The Principal Planner provided a PowerPoint presentation with the assistance of Mark Steele, M. W. Steele Group, and responded to Council questions.

PUBLIC SPEAKERS:

- Darcy Fagerwold, Expressions Dance & Movement Center
- Truth
- Erik Wiese, Wiese & Associates

The Council received the report and provided feedback and direction to staff.

- (10) Resolution Approving a Lien and Development Impact Fee Payment Deferral Agreement for Phase 4 of the Lantern Crest Congregate Care Facility Project and Authorizing the City Manager to Execute Said Agreement. Location: 200 Lantern Crest Way (APN: 384-142-37). Applicant: Santee Senior Retirement Communities LLC (Michael Grant). (Planning – Coyne) (Reso 109-2023)**

The Principal Planner provided a PowerPoint presentation and responded to Council questions.

PUBLIC SPEAKERS:

- Truth
- Michael Grant (Did not speak)

ACTION: Council Member McNelis moved approval of staff recommendation.

Council Member Trotter seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

- (11) Public Workshop on Detached Residential Accessory Structures in Front Yards. (Planning – Coyne)**

The Senior Planner provided a PowerPoint presentation and responded to Council questions.

PUBLIC SPEAKERS:

- Virginia Hall
- Truth
- Lynda Marrokal
- Bryant Rumbaugh

The Council received the report and provided feedback and direction to staff.

- (12) Overview of the City's New Online Permitting and Licensing System and the New Santee App. (City Manager – Best)**

The Assistant to the City Manager provided a PowerPoint presentation and responded to Council questions.

The Council received the report and provided feedback.

(13) Resolution Approving the City's Use of the Solar App+ Web Tool for Expediting the Issuance of Residential Solar Energy Permits. (Building – Strum) (Reso 110-2023)

ACTION: Council Member Hall moved approval of staff recommendation.

Vice Mayor Koval seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

(14) Waste Management (WM) Waste and Recycling Update. (Community Services – Chavez)

The Community Services Director introduced the Item and Kristine Costa, Waste Management provided a PowerPoint presentation and responded to Council questions.

The Council received a report and provided feedback.

NON-AGENDA PUBLIC COMMENT: (Continued)

- (A) John Hossick, Santee Mobilehome Owners Action Committee, spoke about Buddy's Backpacks and thanked Council for their involvement; announced on September 19th the Santee School District will recognize Buddy's Backpacks; and invited the Council to Mission Gorge Villa on Saturday, September 23rd for a meeting about a neighboring development project.
- (B) Lynda Marrokal spoke about impacts to her neighborhood from a nearby development project.

CITY COUNCIL REPORTS:

Vice Mayor Koval wants to create a platinum business recognition for local businesses that have been in Santee for twenty-five years or longer.

Mayor Minto reported that he, Vice Mayor Koval, Council Member Hall, the City Manager and Assistance City Clerk would be attending the upcoming Cal Cities Annual Conference next week.

CITY MANAGER REPORTS:

The City Manager reported the City would be putting red curbing on the west side of Marrokal Lane.

CITY ATTORNEY REPORTS:

None.

ADJOURNMENT:

There being no further business, the meeting was adjourned at 10:39 p.m. in memory of August "Augie" Caires.

Date Approved:

Annette Fagan Ortiz, CMC, City Clerk

DRAFT

DRAFT

**Minutes
Santee City Council
Council Chamber – Building 2
10601 Magnolia Avenue
Santee, California
September 27, 2023**

This Regular Meeting of the Santee City Council was called to order by Vice Mayor Koval at 6:30 p.m.

ROLL CALL: Vice Mayor Laura Koval and Council Members Ronn Hall, Rob McNelis and Dustin Trotter – 4. Absent: Mayor John W. Minto – 1.

Officers present: City Manager Marlene Best, City Attorney Shawn Hagerty, and City Clerk Annette Ortiz

INVOCATION was given by Pastor Jamie Pangman – Santee United Methodist Church

PLEDGE OF ALLEGIANCE was led by Jamie Pangman

PROCLAMATION: Proclaiming October 7, 2023, SanTree Day in the City of Santee

Vice Mayor Koval read the Proclamation and alongside the City Council, presented the proclamation to Dean Velasco, Santee Park and Recreation Committee Chair.

PROCLAMATION: Proclaiming October as Manufacturing Month California in the City of Santee

The City Clerk read the proclamation and the Vice Mayor and City Council presented the proclamation to Jo Ann Peterson, Tayor Guitars, and Chair of the Manufacturing EXPO.

CONSENT CALENDAR:

The City Clerk requested Items 1, 2 and 3 be pulled for discussion.

- (1) **Item Pulled for Discussion.**
- (2) **Item Pulled for Discussion.**
- (3) **Item Pulled for Discussion.**
- (4) **Approval of the Expenditure of \$79,144.76 for August 2023 Legal Services. (Finance – Jennings)**
- (5) **Rejection of Claim Against the City by Melissa Perrell. (Human Resources – Freeman)**

- (6) **Adoption of a Resolution Authorizing an Application for a Neighborhood Reinvestment Program Grant from the County of San Diego for the Town Center Community Park Synthetic Turf Sports Field Replacement Project. (Community Services – Chavez) (Reso 111-2023)**
- (7) **Adoption of a Resolution Approving the Third Amendment to the Agreement with Paradigm Mechanical Corp. for HVAC Maintenance and Repairs. (Community Services – Chavez) (Reso 112-2023)**

ACTION: Council Member Trotter moved approval of the Consent Calendar and Agenda as Amended.

Council Member McNelis seconded the motion, which carried by the following vote: Vice Mayor Koval: Aye; and Council Members Hall: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 4. Noes: 0. Absent: Mayor Minto – 1.

Items removed from the Consent Calendar:

- (1) **Approval of Reading by Title Only and Waiver of Reading in Full of Ordinances and Resolutions on the Agenda. (City Clerk – Ortiz)**

PUBLIC SPEAKER:

- Truth

ACTION: Council Member Trotter moved approval of staff recommendation.

Council Member McNelis seconded the motion, which carried by the following vote: Vice Mayor Koval: Aye; and Council Members Hall: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 4. Noes: 0. Absent: Mayor Minto – 1.

- (2) **Approval of Meeting Minutes of the Santee City Council for the August 23, 2023, Regular Meeting. (City Clerk – Ortiz)**

PUBLIC SPEAKER:

- Truth

ACTION: Council Member Trotter moved approval of staff recommendation.

Council Member McNelis seconded the motion, which carried by the following vote: Vice Mayor Koval: Aye; and Council Members Hall: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 4. Noes: 0. Absent: Mayor Minto – 1.

- (3) **Approval of Payment of Demands as Presented. (Finance – Jennings)**

ACTION: Council Member McNelis moved approval of staff recommendation.

Council Member Hall seconded the motion, which carried by the following vote: Vice

Mayor Koval: Aye; and Council Members Hall: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 4. Noes: 0. Absent: Mayor Minto – 1.

NON-AGENDA PUBLIC COMMENT (15 minutes):

- (A) Steve White spoke about aggressive homelessness near Walmart, Target, and Chevron.
- (B) Patrick Henry, Santee Firefighters, spoke about a feasibility study for a half cent sale tax and the need for additional infrastructure in Santee.
- (C) Truth spoke about the SANDAG meeting; Town Center concepts for the Arts and Entertainment District; and public comment at the San Diego City Council meetings.
- (D) Michael Ranson thanked the City for approving funds for floral arrangements for the Veterans Memorial; he also offered to fund adding a POW/MIA flag to the Veterans Memorial flagpole.
- (E) Bryant Rumbaugh spoke about Gillespie Field; the need for change in the Country, homelessness, and inflation; he would like to see the citizenry provide a platform that is used for running campaigns to help get society more involved.

PUBLIC HEARING:

- (8) **Public Hearing for Tentative Map TM-2023-0001, Development Review Permit DR-2023-0001 and Density Bonus DB-2023-0001 for a Multifamily Residential Development Consisting of 17 Units and Related Site Improvements on a 0.65-Acre Lot Located at 8932 1st Street (APN 384-106-16) in the Town Center Specific Plan Area with a High Density Residential (R-22) Land Use Designation and Finding the Project Exempt from the California Environmental Quality Act (“CEQA”) Pursuant to the Class 32 Infill Exemption. (Applicant: San Diego Habitat for Humanity, Inc.). (Planning and Building – Sawa) (Reso 113-2023 and 114-2023)**

The Public Hearing was opened at 7:02 p.m. The Principal Planner provided a PowerPoint presentation and responded to Council questions with the assistance of the Fire Chief and Ryan Brem, Stephen Dalton Architects.

PUBLIC SPEAKERS:

- Roxann Janes, San Diego Habitat for Humanity
- Truth
- Rev. Jamie Pangman, Santee United Methodist Church
- Rob Ridge, Santee United Methodist Church

ACTION: Council Member Hall moved approval of staff recommendation.

Council Member McNelis seconded the motion, which carried by the following vote: Vice Mayor Koval: Aye; and Council Members Hall: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 4. Noes: 0. Absent: Mayor Minto – 1.

The Public Hearing was closed at 7:45 p.m.

NEW BUSINESS:

- (9) **Resolution Awarding the Construction Contract for the Citywide CMP Lining and Rehabilitation Program 2023 (CIP 2023-20) Project and Determining the Project is Categorically Exempt from Environmental Review Under the California Environmental Quality Act (“CEQA”) per State CEQA Guidelines Section 15301(c). (Engineering – Schmitz) (Reso 115-2023)**

The Director of Engineering provided a PowerPoint presentation.

ACTION: Council Member Hall moved approval of staff recommendation.

Council Member Trotter seconded the motion, which carried by the following vote: Vice Mayor Koval: Aye; and Council Members Hall: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 4. Noes: 0. Absent: Mayor Minto – 1.

NON-AGENDA PUBLIC COMMENT: (Continued)

None.

CITY COUNCIL REPORTS:

Council Member Hall attended the Zero Emissions Buses Conference where MTS was displaying their 60-foot electric bus; he also reminded the community that free ride day with MTS is Wednesday, October 4, 2023.

Council Member McNelis reported on a SANDAG meeting he attended in which the road usage charge item was discussed, as well as wanting all the vehicles at the shipyards at the port to be all electric.

Vice Mayor Koval reported on attending the League of California Cities with Mayor Minto, Council Member Hall, the City Manager and Assistant City Clerk; she also reported that she and Council Member Hall have been attending Transfer of Care meetings and requested the Fire Chief provide an update.

At Vice Mayor Koval's request, the Fire Chief provided an update on offload delays at local hospitals.

CITY MANAGER REPORTS:

The City Manager reminded the community about the Movies in the Park event at Town Center Community Park on Saturday, September 30, 2023.

CITY ATTORNEY REPORTS:

None.

ADJOURNMENT:

There being no further business, the meeting was adjourned at 8:01 p.m.

Date Approved:

Annette Fagan Ortiz, CMC, City Clerk

DRAFT

DRAFT

**Minutes
Santee City Council
Council Chamber – Building 2
10601 Magnolia Avenue
Santee, California
October 11, 2023**

This Regular Meeting of the Santee City Council was called to order by Mayor John W. Minto at 6:30 p.m.

ROLL CALL: Present: Mayor John W. Minto, Vice Mayor Laura Koval and Council Members Rob McNelis and Dustin Trotter – 4. Absent: Council Member Ronn Hall –1.

Officers present: City Manager Marlene Best, City Attorney Shawn Hagerty, and Assistant City Clerk James Jeffries

INVOCATION was given by Lakeside Community Presbyterian Church – Tim Avazian

PLEDGE OF ALLEGIANCE was led by John Hossick

Mayor Minto spoke on current events in Israel and the impact it has had on the community.

CONSENT CALENDAR:

The Assistant City Clerk requested Items 1, 2, and 3 be pulled for discussion.

- (1) **Item Pulled for Discussion.**
- (2) **Item Pulled for Discussion.**
- (3) **Item Pulled for Discussion.**

Items removed from the Consent Calendar:

- (1) **Approval of Reading by Title Only and Waiver of Reading in Full of Ordinances and Resolutions on the Agenda. (City Clerk – Ortiz)**

PUBLIC SPEAKER:

- Truth

ACTION: Council Member McNelis moved approval of staff recommendation.

Vice Mayor Koval seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Koval: Aye; Council Members McNelis: Aye; and Trotter: Aye. Ayes: 4. Noes: 0. Absent: Council Member Hall – 1.

(2) Approval of Payment of Demands as Presented. (Finance – Jennings)**PUBLIC SPEAKER:**

- Truth

ACTION: Council Member McNelis moved approval of staff recommendation.

Vice Mayor Koval seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Koval: Aye; Council Members McNelis: Aye; and Trotter: Aye. Ayes: 4. Noes: 0. Absent: Council Member Hall – 1.

(3) Adoption of a Resolution Prohibiting Parking of Vehicles on the West Side of Marrokal Lane. (Engineering – Schmitz)

The Director of Engineering provided a PowerPoint presentation and responded to Council questions.

PUBLIC SPEAKERS:

- James C. Meng (Rancho Fanita Villas, Santee Condo Project Owner)
- Lynda Marrokal
- John Hossick, Santee Mobilehome Owners Action Committee
- Truth

ACTION: Vice Mayor Koval moved approval of staff recommendation.

Council Member McNelis seconded the motion, which carried by the following vote: Mayor Minto: No; Vice Mayor Koval: Aye; Council Members McNelis: Aye; and Trotter: Aye. Ayes: 3. Noes: 1. Absent: Council Member Hall – 1.

NON-AGENDA PUBLIC COMMENT (15 minutes):

- (A) Jennifer Palmer provided a handout to Council and spoke about health risks related to Round Up and Glyphosate and requested that Council ban the use of them in the community.
- (B) John Hossick thanked the City of Santee and Council for their leadership and involvement with the mobile home parks.
- (C) Robert Germann, Citizens Against Gillespie's Expansion & Low Flying Aircraft, provided a handout to Council and spoke about health concerns related to lead in aviation gas.
- (D) Truth commented on the current events in the Middel East, suggested a touch screen monitor for the agenda in chambers for the public, and commented on SANDAG meetings and the removal of per mile road usage tax, priced parking, EV taxes, congestion tax and toll lanes.
- (E) Michael Brando spoke about County Board of Supervisors meetings, the City of San Diego City Council meetings and SANDAG meetings.

NEW BUSINESS:

- (4) **Update on the Ongoing Efforts of the Homeless Working Group. (City Manager – Best)**

The City Manager, with assistance from the City Attorney, provided a PowerPoint presentation.

PUBLIC SPEAKER:

- Truth

The Council received the report.

- (5) **Resolution Appropriating Funds for the Potential Future Construction of a Temporary Fire Station at the Public Services Operations Yard and Finding the Action is Not a Project Subject to the California Environmental Quality Act (“CEQA”). (Fire – Matsushita) (Reso 117-2023)**

The Fire Chief, with assistance from the Director of Finance, provided a PowerPoint presentation and responded to Council questions.

PUBLIC SPEAKERS:

- Truth
- Dustin Garhartt, Santee Fire Fighters Association

ACTION: Council Member McNelis moved approval of staff recommendation.

Vice Mayor Koval seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Koval: Aye; Council Members McNelis: Aye; and Trotter: Aye. Ayes: 4. Noes: 0. Absent: Council Member Hall – 1

NON-AGENDA PUBLIC COMMENT: (Continued)

None.

CITY COUNCIL REPORTS:

Vice Mayor Koval attended the El Cajon Oktoberfest accompanied by Council Members McNelis and Trotter; she attended the Annual Manufacturing Expo at Grossmont College and presented a Proclamation on behalf of the Council; she attended the First Annual Lōkahi Festival celebrating Pacific Islanders at Guardian Angels Church; she attended the Santee Fire Department Open House; and the SANDAG meeting which was a joint committee meeting with the Transportation Committee, Borders Committee, Regional Planning and Public Safety Committees.

Council Member Trotter attended the Mission Trails Regional Task Force meeting in which the Rangers discussed growing homelessness in the area; he went to Camp Pendleton along with Council Member McNelis to support our military troops; he also attended the tree planting event at Weston Park with Council Member McNelis, as well as the Fire Station 4 open house; and he made an announcement that Guardian Angels Church will host an upcoming Fall Festival.

Mayor Minto commented on the streets and road conditions on the East Coast and the Midwest compared to Santee.

CITY MANAGER REPORTS:

The City Manager reminded the community about the Brews and Bites Festival on October 21, 2023, with the YMCA offering babysitting services during the event.

CITY ATTORNEY REPORTS:

None.

ADJOURNMENT:

There being no further business, the meeting was adjourned at 9:09 p.m.

Date Approved:

Annette Fagan Ortiz, CMC, City Clerk

DRAFT

**Minutes
Santee City Council
Council Chamber – Building 2
10601 Magnolia Avenue
Santee, California
October 25, 2023**

This Regular Meeting of the Santee City Council was called to order by Mayor John W. Minto at 6:30 p.m.

ROLL CALL: Present: Mayor John W. Minto, Vice Mayor Laura Koval and Council Members Ronn Hall, Rob McNelis and Dustin Trotter – 5

Officers present: City Manager Marlene Best, City Attorney Shawn Hagerty, and City Clerk Annette Ortiz

INVOCATION was given by Council Member Trotter.

PLEDGE OF ALLEGIANCE was led by Mayor John Minto.

PRESENTATION: San Diego County Library – Santee Branch

Liz A. Vagani, Branch Manager, San Diego County Library provided a PowerPoint presentation and responded to Council questions.

CONSENT CALENDAR:

The City Clerk requested Items 1 and 2 be pulled for discussion.

- (1) **Item Pulled for Discussion.**
- (2) **Item Pulled for Discussion.**
- (3) **Approval of the Expenditure of \$72,440.21 for September 2023 Legal Services. (Finance – Jennings)**

ACTION: Council Member Hall moved approval of the Consent Calendar and Agenda as Amended.

Council Member McNelis seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Koval: Aye; and Council Members Hall: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

Items removed from the Consent Calendar:

- (1) **Approval of Reading by Title Only and Waiver of Reading in Full of Ordinances and Resolutions on the Agenda. (City Clerk – Ortiz)**

PUBLIC SPEAKER:

- Truth

ACTION: Council Member Trotter moved approval of staff recommendation.

Vice Mayor Koval seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Koval: Aye; and Council Members Hall: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

- (2) **Approval of Payment of Demands as Presented. (Finance – Jennings)**

PUBLIC SPEAKER:

- Truth

ACTION: Vice Mayor Koval moved approval of staff recommendation.

Council Member McNelis seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Koval: Aye; and Council Members Hall: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

NON-AGENDA PUBLIC COMMENT (15 minutes):

- (A) Truth spoke about the County Board of Supervisors meeting, spoke about what makes America a country and made suggestions regarding bringing more transparency to the community at upcoming City events.

PUBLIC HEARING:

- (4) **Public Hearing for Conditional Use Permit P2022-10 and Mitigated Negative Declaration AEIS2022-11 for an Auto Center with Two Dealership Buildings, a Detail Building, a Body Shop, an Automatic Carwash and Related Site Improvements on a 13.1-Acre Site Located at 10335 Mission Gorge Road (APN 384-091-01, -13, -14) in the General Commercial (GC) Zone (Applicant: Kevin Perry, HED Design). (Planning and Building – Sawa) (Reso 118-2023 and 119-2023)**

The Public Hearing was opened at 6:50 p.m. The Principal Planner provided a PowerPoint presentation and responded to Council questions with the assistance of Jim Moxham with Cameron Brothers.

PUBLIC SPEAKERS:

- Jim Moxham, Cameron Brothers
- Manny Sedano, Sedano Auto Group

ACTION: Vice Mayor Koval moved approval of staff recommendation.

Council Member McNelis seconded the motion, which carried by the following vote: Mayor Minto: Aye; Vice Mayor Hall: Aye; and Council Members Koval: Aye; McNelis: Aye; and Trotter: Aye. Ayes: 5. Noes: 0.

The Public Hearing was closed at 7:09 p.m.

NON-AGENDA PUBLIC COMMENT: (Continued)

None.

CITY COUNCIL REPORTS:

Council Member Hall spoke about MTS trolley enforcement; he also spoke about attending the Hon. Ernest J. Dronenburg, Jr. Archives Reading Room Dedication Ceremony alongside Vice Mayor Koval and Council Member Trotter.

Council Member Trotter announced that the annual rivalry football game between West Hills High School and Santana High School is on October 27, 2023.

Council Member McNelis congratulated staff on the Brews and Bites event and thanked staff for the good job they did; he mentioned the consensus from the community was that the City should not have changed the name of the event.

Mayor Minto spoke about the Brews and Bites event.

CITY MANAGER REPORTS:

The City Manager gave thanks to Council and City staff for their support at Brews and Bites; she reminded the community there is a Blood Drive at City Hall on October 30th and Spooky Snapshots at City Hall on October 31st; she also announced there will be several updates for Veterans Day to honor Veterans in Santee.

CITY ATTORNEY REPORTS:

None.

ADJOURNMENT:

There being no further business, the meeting was adjourned at 7:17 p.m.

Date Approved:

Annette Fagan Ortiz, CMC, City Clerk

DRAFT

**Minutes
Santee City Council
Council Chamber – Building 2
10601 Magnolia Avenue
Santee, California
October 11, 2023**

1. Call to Order:

The Special Meeting was called to order by Mayor Minto at 6:30 p.m.

Present: Present: Mayor John W. Minto, Vice Mayor Laura Koval and Council Members Rob McNelis and Dustin Trotter – 4. **Absent:** Council Member Ronn Hall –1.

2. Closed Session:

Conference with Labor Negotiators

(Government Code Section 54957.6)

City Designated Representative: City Manager

Employee Organization: Santee Firefighters Association

Council Members convened in Closed Session at 8:43 p.m.

Council Members reconvened in Open Session at 9:09 p.m. with all members present. Mayor Minto reported direction given to staff.

3. Adjournment:

There being no further business, the meeting was adjourned at 9:09 p.m.

Date Approved:

Annette Fagan Ortiz, CMC, City Clerk

MEETING DATE November 8, 2023

ITEM TITLE APPROVAL OF PAYMENT OF DEMANDS

DIRECTOR/DEPARTMENT Heather Jennings, Finance *HJ*

SUMMARY

A listing of checks that have been disbursed since the last Council meeting is submitted herewith for approval by the City Council.

FINANCIAL STATEMENT

Adequate budgeted funds are available for the Payment of Demands per the attached listing.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *MSB*

Approve the Payment of Demands as presented.

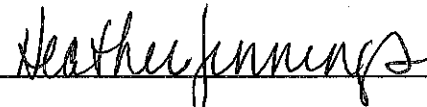
ATTACHMENT

- 1) Summary of Payments Issued
- 2) Voucher Lists

Payment of Demands
Summary of Payments Issued

<u>Date</u>	<u>Description</u>	<u>Amount</u>
10/12/23	Accounts Payable	\$ 24,981.52
10/18/23	Retiree Health	132,410.11
10/18/23	Accounts Payable	47,437.73
10/19/23	Accounts Payable	2,664,962.18
10/19/23	Accounts Payable	27,723.43
10/19/23	Payroll	445,812.25
10/19/23	Accounts Payable	20,239.71
10/20/23	Accounts Payable	41,578.74
10/24/23	Accounts Payable	145,443.40
10/25/23	Accounts Payable	<u>528,398.70</u>
TOTAL		<u><u>\$4,078,987.77</u></u>

I hereby certify to the best of my knowledge and belief that the foregoing demands listing is correct, just, conforms to the approved budget, and funds are available to pay said demands.



 Heather Jennings, Director of Finance

vchlist
10/20/2023 12:12:40PM


Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
231011	10/12/2023	10482 TRISTAR RISK MANAGEMENT	118878		WORKERS COMP LOSSES; SEP23	24,981.52
					Total :	24,981.52
1 Vouchers for bank code : ubgen						Bank total : 24,981.52
1 Vouchers in this report						Total vouchers : 24,981.52

Prepared by: 

Date: 10-20-23

Approved by: 

Date: 10/20/23

vchlist
10/20/2023 12:20:15PM

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
96966	10/18/2023	10956 FRANCHISE TAX BOARD	PPE 10/11/23		CA STATE TAX WITHHELD	32,454.06
					Total :	32,454.06
97001	10/18/2023	10955 DEPARTMENT OF THE TREASURY	PPE 10/11/23		FED WITHHOLD & MEDICARE	99,956.05
					Total :	99,956.05
2 Vouchers for bank code : ubgen						Bank total : 132,410.11
2 Vouchers in this report						Total vouchers : 132,410.11

Prepared by: *Juanita*
 Date: 10.20.23
 Approved by: *E. Bull*
 Date: 10-23-23

vchlist
10/18/2023 4:14:57PM

Voucher List
CITY OF SANTEE

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134745	10/18/2023	10001 US BANK	0000111987		APWA MEMBERSHIP RENEWAL	264.00
			0006		WELLNESS EVENT	100.00
			0007		WELLNESS EVENT	100.00
			0020695		SMALL TOOLS	214.41
			007497		OFFICE SUPPLIES	31.98
			0076224		OFFICE SUPPLIES	11.63
			010507		LIGHTNING COMPLEX FIRE	24.13
			010579		SENIOR SUPPLIES	40.12
			015536		LIGHTNING COMPLEX FIRE	116.65
			0176528-IN		UNIFORM SUPPLIES	1,946.33
			018312		LIGHTNING COMPLEX FIRE	41.64
			018546		MEETING SUPPLIES	20.70
			021640		LIGHTNING COMPLEX FIRE	114.13
			022458		SENIOR SUPPLIES	25.66
			024771		MATERIALS & SUPPLIES	1,616.25
			026349		MEETING SUPPLIES	7.49
			027298		LIGHTNING COMPLEX FIRE	38.99
			028555		LIGHTNING COMPLEX FIRE	10.28
			029515		LIGHTNING COMPLEX FIRE	3.74
			030365		MEETING SUPPLIES	30.00
			033523		DAY CAMP SUPPLIES	28.06
			037961		COUNCIL MEETING SUPPLIES	40.21
			038217		LIGHTNING COMPLEX FIRE	4.61
			038507		REPLACEMENT KEY	5.33
			03904-7455422		ANNUAL SUBSCRIPTION	119.99
			039511		MEETING SUPPLIES	10.54
			046417		LIGHTNING COMPLEX FIRE	35.60
			047254		MEETING SUPPLIES	15.89
			047580		GENERAL EVENT SUUPLIES	45.17
			050200		FIRE ACADEMY GRADUATION	66.93
			0514-0480		MSA CONFERENCE REGISTRATIOI	550.00
			0516-0482		MSA CONFERENCE REGISTRATIOI	550.00
			054455		MEETING SUPPLIES	11.37
			058836		LIGHTNING COMPLEX FIRE	10.71
			062582		MATERIALS & SUPPLIES	137.80
			063475		SMALL TOOLS	43.08

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10/18/2023 4:14:57PM

Voucher List
CITY OF SANTEE

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134745	10/18/2023	10001 US BANK	(Continued)			
			066949		LIGHTNING COMPLEX FIRE	111.24
			06P68912		MATERIALS & SUPPLIES	115.62
			070029		TEEN CENTER AMENITIES	806.69
			073121		LIGHTNING COMPLEX FIRE	83.31
			076562		MATERIALS & SUPPLIES	28.89
			077739		CHAMBER BULLETIN DECOR	7.68
			080097		MEETING SUPPLIES	26.72
			080308		TEEN CENTER SUPPLIES	38.34
			081640		LIGHTNING COMPLEX	40.40
			0823274		NAME BADGES FOR CITY COUNCI	135.64
			08282023		SD CONVENTION CENTER PARKIN	20.00
			083751		MEETING AND OFFICE SUPPLIES	147.31
			084178		SUPPLIES FOR SANTEE FOUNDAT	24.98
			089623		TEEN CENTER SUPPLIES	110.81
			090212		MATERIALS & SUPPLIES	162.10
			09022023		EVENTS PROMOTION	90.00
			090693		INTERVIEW PANEL SUPPLIES	17.05
			091177		MATERIALS & SUPPLIES	59.32
			09142023		WELLNESS EVENT	387.00
			09162023		EQUIPMENT SUPPLIES	57.05
			091734		TEEN CTR SUPPLIES	42.88
			09192023		INTERVIEW PANEL SUPPLIES	26.16
			09282023		TRANSPORTATON FOR LEAGUE O	46.85
			097361		SANTEE FOUNDATION MEETING S	31.59
			1002215.001		FIRE MECHANICS ACADEMY	735.00
			10032023		LIGHTNING COMPLEX FIRE	60.21
			10487		BREWS AND BITES SUPPLIES	103.20
			1056635509		WELLNESS PROGRAM SUPPLIES	331.89
			1095710		PUBLIC EDUCATION MATERIALS	443.88
			112-9905548-0148216		MATERIALS AND SUPPLIES	43.09
			113-5245296-1385845		LOCK BOX FOR BLDG DEPT	35.57
			113-5358963-3111442		OFFICE SUPPLIES	54.10
			113-6304831-1662617		WELLNESS SUPPLIES	2,375.36
			11512134		PARK KIOSK SIGNS	252.76
			11571014		KIOSK SIGNS	293.06
			119605		INTERVIEW PANEL SUPPLIES	89.15

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10/18/2023 4:14:57PM

Voucher List
CITY OF SANTEE

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134745	10/18/2023	10001 US BANK	(Continued)			
			119620		INTERVIEW PANEL SUPPLIES	12.35
			1232220		STATION SUPPLIES	144.39
			1246754		MEMBERSHIP	185.00
			127262		LIGHTNING COMPLEX FIRE VEHIC	41.32
			130		LIGHTNING COMPLEX FIRE	16.27
			13223648		BREWS & BITES FACEBOOK MARK	140.92
			1371418		IPHONE SUPPLIES	446.27
			1392081		EVENTS PROMOTION	168.80
			1-524578		VEHICLE REPAIR PART	5.21
			1564		WELLNESS EVENT	1,472.64
			17954		CONFERENCE PARKING	20.00
			189228830		SENIOR TRIP QUEEN MARY	799.20
			1CC5KKD		COMPUTER EQUIPMENT	1,475.43
			20014		PROFESSIONAL LUNCH	63.88
			20970G		IPMA MEMBERSHIP	100.00
			2112921419		RESCUE EQUIPMENT	325.41
			23-0852		EQUIPMENT REPAIR PART	317.32
			230862		EQUIPMENT REPAIR PART	38.29
			239525		HOLIDAY LIGHTING LIGHT RENTAL	637.50
			245		MEETING SUPPLIES	15.97
			2495428		COMPUTER SUPPLIES	68.88
			2580954		RESCUE TOOL	11.73
			2583		SENIOR TRIPS HARBOR CRUISE	100.00
			2660256R		MATERIALS AND SUPPLIES - REFL	-23.60
			2698663308		DOMAIN NAME REGISTRATION	87.66
			2704882592		DOMAIN NAME RENEWAL	46.34
			27696		SENIOR TRIP SEAL TOUR	1,662.00
			27910769		BREWS & BITES BANNER	215.23
			27912558		MOVIE IN THE PARK FLIERS	44.65
			27929055		BREWS & BITES FLYERS	51.75
			27958892		MYSANTEE APP PROMO FLYER	82.06
			27970261		HOLIDAY LIGHTING FLYERS	52.54
			27986651		BREWS AND BITES BANNER	45.78
			28372278		INTERVIEW PANEL SUPPLIES	102.14
			289330		REGISTRATION FOR VETERAN AW	50.00
			29165905		PUBLIC EDUCATION MATERIALS	1,874.55

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10/18/2023 4:14:57PM

Voucher List
CITY OF SANTEE

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134745	10/18/2023	10001 US BANK	(Continued)			
			2940250		MATERIALS & SUPPLIES	34.35
			29672		STATION SUPPLIES	151.81
			30033		MEETING SUPPLIES	42.98
			311905		MEMBERSHIP DUES	125.00
			323/SXQL		LIGHTNING COMPLEX FIRE	157.07
			326386121-001		OFFICE SUPPLIES	81.87
			3275417		SAFETY EQUIPMENT	322.56
			33169		PUBLIC EDUCATION SUPPLIES	183.77
			3514298		MATERIALS & SUPPLIES	73.14
			3-59225		HEALTH FAIR SUPPLIES	3,662.48
			3612657		GRAFFITTI ABATEMENT SUPPLIES	55.86
			3643331		LIGHTNING COMPLEX FIRE	116.65
			3643384		LIGHTNING COMPLEX FIRE	116.65
			399193		SAFETY EQUIPMENT	359.90
			4016304		MATERIALS & SUPPLIES	172.14
			40173		MEETING SUPPLIES	7.28
			4155402		MATERIALS & SUPPLIES	42.02
			427583		LIGHTNING COMPLEX FIRE	36.03
			43737		EMS SUPPLIES	521.30
			4435		MEETING SUPPLIES	95.79
			4443826		MEMBERSHIP DUES	130.00
			4689802		RESCUE EQUIPMENT	83.26
			496197		REGISTRATION FEE FOR ICSC WE	2,250.00
			496327		MEMBERSHIP DUES FOR ICSC	125.00
			496329		REGISTRATION FOR ICSC WESTE	450.00
			4WMNJI		NEOGOV CONFERENCE AIRFARE	173.96
			5025888		SMALL TOOLS	486.87
			519760		REGISTRATION FOR VETERAN AW	50.00
			5264233		SENIOR SUPPLIES	38.44
			5277845		OFFICE FURNITURE	32.47
			537100		REGISTRATION FOR VETERAN AW	50.00
			5374423		STATION SUPPLIES	349.01
			542602		TRANSPORTATION CHARGE	30.29
			5443		CONFERENCE	22.40
			5538632		CODE SUPPLIES	16.82
			5660226		MATERIALS AND SUPPLIES	29.91

vchlist
10/18/2023 4:14:57PM

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134745	10/18/2023	10001 US BANK	(Continued)			
			5668216		FITNESS EQUIPMENT	140.06
			5795441		OFFICE SUPPLIES	31.86
			5921031		OFFICE SUPPLIES	37.14
			5978186		STATION SUPPLIES	449.43
			6229868		STATION SUPPLIES	59.34
			6396		MATERIALS & SUPPLIES	538.75
			6422		MATERIALS & SUPPLIES	26.94
			6777828		COMPUTER SUPPLIES	453.30
			698262		EQUIPMENT REPAIR	548.64
			700932		FITNESS PROGRAM SUBSCRIPTIC	49.50
			704565		MEETING SUPPLIES	97.56
			714776		MEETING SUPPLIES	28.48
			760397		LIGHTNING COMPLEX FIRE	12.39
			7696704739		NEOGOV CONFERENCE REGISTR	1,199.00
			7697869		PLANNING SUPPLIES	40.75
			7800378		CERTIFIED MAIL EXPENSE	6.03
			7810767		CERTIFIED MAIL EXPENSE	205.02
			788722		TRANSPORTATION CHARGE	36.99
			81734132		LIGHTNING COMPLEX FIRE	157.07
			8215459		MATERIALS AND SUPPLIES	75.39
			8492		TRANSPORTATION - CONFERENCE	23.84
			8812206		MISC OFFICE SUPPLIES	12.92
			89331		STAFF APPAREL	652.28
			916-4453891		MEMBERSHIP	120.00
			9192257		MATERIALS & SUPPLIES	330.13
			9341866		CAMERA EQUIPMENT	106.88
			93531		CPRS CONFERENCE	480.00
			93648		CPRS CONFERENCE REGISTRATI	960.00
			9523293		MATERIALS & SUPPLIES	49.44
			9523294		MATERIALS & SUPPLIES	24.02
			99188572		LIGHTNING COMPLEX FIRE	63.39
			999803		CERTIFIED MAIL EXPENSE	452.25
			9XHNO		MEETING SUPPLIES	36.78
			A50031		VEHICLE MAINTENANCE	320.00
			C6BD8A35-B5		MEETING SUPPLIES	11.79
			E/2475620		LIGHTNING COMPLEX FIRE	9.17

vchlist
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Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134745	10/18/2023	10001 US BANK	(Continued) E/2475627 FDNNFRH6XH7 R4455212318 S06580 SA4810438 WR 225894434B		LIGHTNING COMPLEX FIRE REGISTRATION TO MSA CONFERE NEOGOV 2023 CONFERENCE LOD MATERIALS & SUPPLIES BREWS & BITES SAMPLE CUPS ACCOMMODATIONS APA 2023 FRE	44.01 395.00 1,630.26 106.80 1,317.24 654.61
					Total :	47,437.73

1 Vouchers for bank code : ubgen

Bank total : 47,437.73

1 Vouchers in this report

Total vouchers : 47,437.73

Prepared by: *Jueh*
 Date: 10-18-23
 Approved by: *[Signature]*
 Date: 10/18/23

vchlist
10/19/2023 1:06:52PM

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134746	10/19/2023	15008 AETNA (CARE HMO)	ACID 2448		REFUND - AMBULANCE BILLING	621.09
					Total :	621.09
134747	10/19/2023	10292 ALL STAR FIRE EQUIPMENT INC	250561	54348	SAFETY EQUIPMENT	1,526.75
					Total :	1,526.75
134748	10/19/2023	10010 ALLIANT INSURANCE SERVICES INC	2451367		EVENT INSURANCE - BREWS & BI	2,763.00
					Total :	2,763.00
134749	10/19/2023	15032 AMR MCR	ACID 511		REFUND - AMBULANCE BILLING	78.15
					Total :	78.15
134750	10/19/2023	15033 BLUECROSS OF CA	ACID 293		REFUND - AMBULANCE BILLING	536.66
					Total :	536.66
134751	10/19/2023	11513 BOND, ELLEN	11012023-263		MEADOWBROOK HARDSHIP PROC	117.86
					Total :	117.86
134752	10/19/2023	13292 BORDER RECAPPING LLC	23-0100540-008	54413	TIRES	2,075.22
			23-0110822-008	54413	TIRES	731.68
					Total :	2,806.90
134753	10/19/2023	11402 CARROLL, JUDI	11012023-96		MEADOWBROOK HARDSHIP PROC	118.15
					Total :	118.15
134754	10/19/2023	10031 CDW GOVERNMENT LLC	MC35907	54549	EMS & TABLET COMMAND IPADS	3,492.58
					Total :	3,492.58
134755	10/19/2023	10032 CINTAS CORPORATION 694	4168959479	54468	MISC SHOP RENTAL SERVICES	85.86
					Total :	85.86
134756	10/19/2023	10050 CITY OF EL CAJON	1240		2ND QTR HCFA ASSESSMENT	106,818.50
					Total :	106,818.50
134757	10/19/2023	11409 CLAYTON, SYLVIA	11012023-340		MEADOWBROOK HARDSHIP PROC	123.64
					Total :	123.64

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10/19/2023 1:06:52PM

Voucher List
CITY OF SANTEE

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134758	10/19/2023	10333 COX COMMUNICATIONS	094486701; OCT23		CITY HALL GROUP BILL	3,383.85
					Total :	3,383.85
134759	10/19/2023	10046 D MAX ENGINEERING INC	8088 8100	54476 54475	STORMWATER INSPECTIONS & RE STORMWATER PROGRAM ASSIST/	1,957.25 4,844.87
					Total :	6,802.12
134760	10/19/2023	14930 DISABILITY ACCESS	23-229	54318	DISABILITY ACCESS CONSULTANT	19,390.00
					Total :	19,390.00
134761	10/19/2023	13275 DOCHTERMAN, LINDA	09212023LC		COMMISSIONER STIPEND	50.00
					Total :	50.00
134762	10/19/2023	13393 FIRE CATT, LLC	13141	54283	FIRE HOSE TESTING	3,346.00
					Total :	3,346.00
134763	10/19/2023	10009 FIRE ETC	183499	54370	EQUIPMENT SERVICE	200.00
					Total :	200.00
134764	10/19/2023	13274 GRANBOIS, DARCY	09212023DG		COMMISSIONER STIPEND	50.00
					Total :	50.00
134765	10/19/2023	11875 HALL, RONN	09222023-1		LEAGUE OF CA CITIES TRAVEL RE	16.38
					Total :	16.38
134766	10/19/2023	15054 HARKINS, SHANNA	RFD2076		REFUNDABLE DEPOSIT	735.80
					Total :	735.80
134767	10/19/2023	15013 HEALTHNET OF CA (CARE HMO)	ACID 2484		REFUND - AMBULANCE BILLING	606.75
					Total :	606.75
134768	10/19/2023	15013 HEALTH NET OF CA	ACID 4367		REFUND - AMBULANCE BILLING	149.22
					Total :	149.22
134769	10/19/2023	10600 HINDERLITER, DE LLAMAS & ASSOC	SIN032410	54218	CANNABIS CONSULTING SVCS	375.00
					Total :	375.00
134770	10/19/2023	15034 JIMENEZ, PETE	ACID 1407		REFUND - AMBULANCE BILLING	200.00

vchlist
10/19/2023 1:06:52PM

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134770	10/19/2023	15034 15034 JIMENEZ, PETE	(Continued)			Total : 200.00
134771	10/19/2023	13247 JOHNSON, DOUGLAS	13247		RETIREE HEALTH INSURANCE	989.40
					Total :	989.40
134772	10/19/2023	15015 KAISER	ACID 3535		REFUND - AMBULANCE BILLING	347.72
					Total :	347.72
134773	10/19/2023	13223 KOVAL, LAURA	09222023-2		LEAGUE OF CA CITIES TRAVEL RE	24.89
					Total :	24.89
134774	10/19/2023	10997 LAKESIDE FIRE PROTECTION	9252023	54577	NURSE COORDINATOR JULY - SEF	17,914.37
					Total :	17,914.37
134775	10/19/2023	11292 LIEBERT CASSIDY WHITMORE	6627		LCW SEMINAR	100.00
					Total :	100.00
134776	10/19/2023	10204 LIFE ASSIST INC	1366034 1366716	54377 54377	EMS SUPPLIES EMS SUPPLIES	6,397.73 79.14
					Total :	6,476.87
134777	10/19/2023	11285 MGT OF AMERICA CONSULTING LLC	53759	54333	FY23/24 STATE MANDATE COST CL	2,875.00
					Total :	2,875.00
134778	10/19/2023	14208 MINUTEMAN PRESS EL CAJON	65323	54543	BUS CARDS DDS-FIRE	140.79
					Total :	140.79
134779	10/19/2023	10527 MOYNEUR, KYLE	10102023		TUITION REIMBURSEMENT	455.00
					Total :	455.00
134780	10/19/2023	10308 O'REILLY AUTO PARTS	2968-178364	54384	VEHICLE REPAIR PART	50.63
					Total :	50.63
134781	10/19/2023	10344 PADRE DAM MUNICIPAL WATER DIST	29700015; SEP23 90000366; SEP23		CONSTRUCTION METER GROUP BILL	251.50 54,735.13
					Total :	54,986.63
134782	10/19/2023	14266 PATCH, LILI	09212023LP		COMMISSIONER STIPEND	50.00

vchlist
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Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134782	10/19/2023	14266 14266 PATCH, LILI	(Continued)			Total : 50.00
134783	10/19/2023	11442 PATTERSON, EDWARD	11012023-225		MEADOWBROOK HARDSHIP PROC	113.99
						Total : 113.99
134784	10/19/2023	14970 PAVEMENT COATINGS COMPANY	CIP2023-06 1P CIP2023-06 1R	54442	CITYWIDE SLURRY SEAL AND ROF RETENTION #1	507,657.90 -25,382.89
						Total : 482,275.01
134785	10/19/2023	10092 PHOENIX GROUP INFO SYSTEMS	082023031	54334	FY 23/24 PARKING CITE PROCESS	550.45
						Total : 550.45
134786	10/19/2023	10221 QUALITY CODE PUBLISHING LLC	GC0012051	54540	MUNICIPAL CODE CODIFICATION	4,579.00
						Total : 4,579.00
134787	10/19/2023	10096 ROGER DANIEL'S ALIGN & BRAKE	59388	54392	VEHICLE REPAIR	619.33
						Total : 619.33
134788	10/19/2023	10606 S.D. COUNTY SHERIFF'S DEPT.	SHERIFF AUGUST 2023		LAW ENFORCEMENT AUGUST 202	1,396,762.49
						Total : 1,396,762.49
134789	10/19/2023	10407 SAN DIEGO GAS & ELECTRIC	04229703218; JAN-SEP		STREET LIGHTS	368,140.63
						Total : 368,140.63
134790	10/19/2023	10212 SANTEE SCHOOL DISTRICT	9440 9441	54480 54480	BUS TRANSPORTATION TO TEEN C BUS TRANSPORTATION CAMP FIEL	68.28 1,125.00
						Total : 1,193.28
134791	10/19/2023	10768 SANTEE SCHOOL DISTRICT	9442	54394	CHET HARRITT LIGHTS	3.90
						Total : 3.90
134792	10/19/2023	13171 SC COMMERCIAL, LLC	2481883-IN 2484711-IN	54395 54395	DELIVERED FUEL DELIVERED FUEL	772.45 733.10
						Total : 1,505.55
134793	10/19/2023	15036 SCRIPPS HEALTH PLAN	ACID 5273		REFUND - AMBULANCE BILLING	639.02
						Total : 639.02

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10/19/2023 1:06:52PM

Voucher List
CITY OF SANTEE

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134794	10/19/2023	14797 SEDANO FORD OF LM INC	223947	54446	VEHICLE REPAIR	593.90
Total :						593.90
134795	10/19/2023	15020 SHARP COMMUNITY MEDICAL GRP	2915-3056-5156		REFUND - AMBULANCE BILLING	1,759.36
Total :						1,759.36
134796	10/19/2023	15020 SHARP HEALTH PLAN MCR	ACID 5985		REFUND - AMBULANCE BILLING	932.26
Total :						932.26
134797	10/19/2023	15037 SHARP REES-STEALY MEDICAL	ACID 2909/3050		REFUND - AMBULANCE BILLING	1,016.26
Total :						1,016.26
134798	10/19/2023	13271 SHI INTERNATIONAL CORP	B17412395	54320	SWITCHES FOR CYBERSECURITY	13,339.99
Total :						13,339.99
134799	10/19/2023	11403 ST. JOHN, LYNNE	11012023-78		MEADOWBROOK HARDSHIP PROC	118.37
Total :						118.37
134800	10/19/2023	10217 STAPLES ADVANTAGE	3548450210	54335	FY 23/24 OFFICE SUPPLIES - FINAL	124.12
Total :						124.12
134801	10/19/2023	10119 STEVEN SMITH LANDSCAPE INC	52169	54321	CITY HALL SLOPE PER RFP 22/23--	78,911.00
			52172	54405	A1 LANDSCAPE SERVICES	8,055.92
			52302	54451	A 2 LANDSCAPE SERVICES	2,301.00
			52346	54406	A 3 LANDSCAPE SERVICES	1,498.30
			52361	54406	A 3 LANDSCAPE SERVICES	5,000.00
			52463	54405	A 1 LANDSCAPE SERVICES	5,977.60
Total :						101,743.82
134802	10/19/2023	15035 SUTTER, GISELA	ACID 51		REFUND - AMBULANCE BILLING	50.00
Total :						50.00
134803	10/19/2023	15038 UNITED (CARE HMO)	ACID 4687		REFUND - AMBULANCE BILLING	587.68
Total :						587.68
134804	10/19/2023	12480 UNITED SITE SERVICES	114-13697976	54339	SNLL PORTAPOT SERVICES	192.30
Total :						192.30

vchlist
10/19/2023 1:06:52PM

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134805	10/19/2023	10338 VANDIVER, EDDIE	09212023EV		COMMISSIONER STIPEND	50.00
Total :						50.00
134806	10/19/2023	11305 VELOCITY TRUCK CENTERS	RA290033290:01 XA290170859:01	54568 54455	FIRE APPARATUS REPAIR VEHICLE REPAIR PARTS	3,991.62 467.09
Total :						4,458.71
134807	10/19/2023	10148 WESTAIR GASES EQUIPMENT INC	0011710241	54411	VEHICLE REPAIR SUPPLIES	431.86
Total :						431.86
134808	10/19/2023	10537 WETMORE'S	06P69361 06P69464	54457 54457	VEHICLE REPAIR PARTS VEHICLE REPAIR PART	497.58 137.07
Total :						634.65
134809	10/19/2023	13152 WORKMAN, CARISA	10162023		TUITION REIMBURSEMENT	845.00
Total :						845.00
134810	10/19/2023	10318 ZOLL MEDICAL CORPORATION	3820348	54556	MEDICAL EQUIPMENT	42,895.69
Total :						42,895.69
65 Vouchers for bank code : ubgen						Bank total : 2,664,962.18
65 Vouchers in this report						Total vouchers : 2,664,962.18

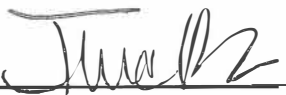

Prepared by: *J. [Signature]*
 Date: 10/19/23
 Approved by: *[Signature]*
 Date: 10/19/23

vchlist
10/25/2023 1:52:45PM

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
231018	10/19/2023	10482 TRISTAR RISK MANAGEMENT	118992		WORKERS COMP CLAIM PREFUND	27,723.43
Total :						27,723.43
1 Vouchers for bank code : ubgen						Bank total : 27,723.43
1 Vouchers in this report						Total vouchers : 27,723.43

Prepared by: 
Date: 10.29.23
Approved by: 
Date: 10/27/23

PyBatch
10/17/2023 3:10:00PM

Payroll Processing Report
CITY OF SANTEE
9/28/2023 to 10/11/2023-2 Cycle b

EARNINGS SECTION				DEDUCTIONS SECTION				LEAVE SECTION				
Type	Hours/units	Rate	Amount Src	Plan	Base Wages	Deduction	Benefit/Cont	LvPlan	Accrued	Taken	Banked	Lost
wctx	4.00		201.70	rhsaal		1,231.51						
				rhsabc	29,784.69	595.69						
				roth	63,701.40	6,977.93						
				sb-1		82.77						
				sb-3		72.39						
				sffa		3,582.75						
				sffapc		483.48						
				st1cs3	83,853.27	2,515.61	-2,515.61					
				st2cs3	14,157.74	424.73	-424.73					
				texlif		55.16						
				vaccpr		536.20						
				vaccpt		232.89						
				vcanpr		328.21						
				vcanpt		116.75						
				vgcipt		79.44						
				vision	14,662.92	583.23						
				voladd		25.49						
				voldis		214.57						
				vollif		238.03						
				vollpb			-238.03					
Grand Totals	<u>15,953.57</u>		<u>696,578.91</u>			<u>250,766.66</u>	<u>91,103.63</u>					

Gross:	696,578.91
Net:	445,812.25

<< No Errors / 12 Warnings >>

KA
EB 10/17/23
PPE 10/11/23
Pay date 10/19/23

vchlist
10/19/2023 3:39:21PM

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134811	10/19/2023	12724 AMERICAN FIDELITY ASSURANCE	D648439		VOLUNTARY LIFE INS-AM FIDELITY	4,168.80
					Total :	4,168.80
134812	10/19/2023	12903 AMERICAN FIDELITY ASSURANCE CO	2216912C		FLEXIBLE SPENDING ACCOUNT	2,568.03
					Total :	2,568.03
134813	10/19/2023	14793 CONTROLLING INS COST IN CA, SCHOO 2023-10			EMPLOYEE ASSISTANCE PROGRA	360.84
					Total :	360.84
134814	10/19/2023	12722 FIDELITY SECURITY LIFE	165974884		EYEMED - VOLUNTARY VISION	1,134.27
					Total :	1,134.27
134815	10/19/2023	10508 LIFE INSURANCE COMPANY OF	October 2023		LIFE/LTD INSURANCE	3,027.38
					Total :	3,027.38
134816	10/19/2023	14452 MEDICAL AIR SERVICES ASSC, MASA	1665464		MEDICAL AIR TRANSPORT SVCS	154.00
					Total :	154.00
134817	10/19/2023	14458 METROPOLITAN LIFE INSURANCE	78609584		VOLUNTARY LEGAL	346.50
					Total :	346.50
134818	10/19/2023	10784 NATIONAL UNION FIRE INSURANCE	August 2023 October 2023		VOLUNTARY AD&D VOLUNTARY AD&D	62.45 51.05
					Total :	113.50
134819	10/19/2023	10335 SAN DIEGO FIREFIGHTERS FEDERAL	October 2023		LONG TERM DISABILITY-SFFA	1,504.50
					Total :	1,504.50
134820	10/19/2023	10424 SANTEE FIREFIGHTERS	PPE 10/11/23		DUES/PEC/BENEVOLENT/BC EXP	4,217.36
					Total :	4,217.36
134821	10/19/2023	10776 STATE OF CALIFORNIA	PPE 10/11/23		WITHHOLDING ORDER	449.53
					Total :	449.53
134822	10/19/2023	10776 STATE OF CALIFORNIA	PPE 10/11/23		WITHHOLDING ORDER	429.69
					Total :	429.69

vchlist
10/19/2023 3:39:21PM

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134823	10/19/2023	14467 TEXAS LIFE INSURANCE COMPANY	SM0F0U20230913001		VOLUNTARY INS RIDERS	110.35
Total :						110.35
134824	10/19/2023	10001 US BANK	PPE 10/11/23		PARS RETIREMENT	903.12
Total :						903.12
134825	10/19/2023	14600 WASHINGTON STATE SUPPORT	PPE 10/11/23		WITHHOLDING ORDER	751.84
Total :						751.84
15 Vouchers for bank code : ubgen						Bank total : 20,239.71
15 Vouchers in this report						Total vouchers : 20,239.71

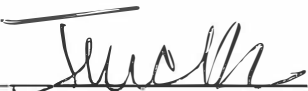

Prepared by: *[Signature]*
Date: 10-19-23
Approved by: *[Signature]*
Date: 10-19-23

vchlist
10/20/2023 12:48:21PM

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
6877037	10/20/2023	14704 457 MISSIONSQUARE	PPE 10/11/23		ICMA - 457	35,683.74
					Total :	35,683.74
6896946	10/20/2023	14705 RHS MISSIONSQUARE	PPE 10/11/23		RETIREE HSA	5,895.00
					Total :	5,895.00
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2 Vouchers in this report						Total vouchers : 41,578.74

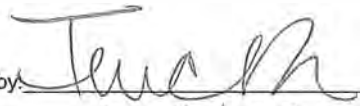
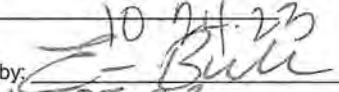
Prepared by: 
Date: 10.20.23
Approved by: 
Date: 10-23-23

vchlist
10/24/2023 11:33:13AM

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
10233	10/24/2023	10353 PERS	10 23 3		RETIREMENT PAYMENT	145,443.40
Total :						145,443.40
1 Vouchers for bank code : ubgen						Bank total : 145,443.40
1 Vouchers in this report						Total vouchers : 145,443.40

Prepared by: 
Date: 10-24-23
Approved by: 
Date: 10-28-23

vchlist
10/25/2023 2:47:28PM

Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134826	10/25/2023	10292 ALL STAR FIRE EQUIPMENT INC	250959	54557	SAFETY EQUIPMENT	6,075.76
					Total :	6,075.76
134827	10/25/2023	11445 AMERICAN MESSAGING	L1072898XJ		FD PAGER SERVICE	200.14
					Total :	200.14
134828	10/25/2023	15032 AMERICAN MEDICAL RESPONSE	Ambulance refund		AMBULANCE REFUND	20,406.28
					Total :	20,406.28
134829	10/25/2023	10412 AT&T	000020565324		TELEPHONE	851.29
					Total :	851.29
134830	10/25/2023	10020 BEST BEST & KRIEGER LLP	LEGAL SVCS SEPT 2023		LEGAL SVCS SEPT 2023	72,440.21
					Total :	72,440.21
134831	10/25/2023	10478 CALIFORNIA DEPARTMENT OF	USE TAX JUL-SEP 2023		USE TAX JULY - SEPTEMBER 2023	225.00
					Total :	225.00
134832	10/25/2023	10876 CANON SOLUTIONS AMERICA INC	4040718659 4040718660	54482 54482	SCANNER MAINTENANCE PLOTTER MAINTENANCE & USAGE	128.82 34.84
					Total :	163.66
134833	10/25/2023	10032 CINTAS CORPORATION 694	4169612773	54468	MISC. SHOP RENTAL SERVICE	70.13
					Total :	70.13
134834	10/25/2023	11862 CORODATA SHREDDING INC	DN1433139		CORODATA SHREDDING	49.82
					Total :	49.82
134835	10/25/2023	10358 COUNTY OF SAN DIEGO	24CTOFSAN03 24CTOFSASN03	54528 54458	SHERIFF RADIOS 800 MHZ RADIO ACCESS	2,622.00 1,938.00
					Total :	4,560.00
134836	10/25/2023	10333 COX COMMUNICATIONS	052335901; OCT23 064114701; OCT23		8950 COTTONWOOD AVE 8115 ARLETTE ST	195.24 204.06
					Total :	399.30
134837	10/25/2023	10608 CRISIS HOUSE	781	54491	CDBG SUBRECIPIENT	777.86

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Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134837	10/25/2023	10608 10608 CRISIS HOUSE	(Continued)			Total : 777.86
134838	10/25/2023	10142 CSA SAN DIEGO COUNTY	841	54516	CDBG SUBRECIPIENT	5,035.98
					Total :	5,035.98
134839	10/25/2023	10046 D MAX ENGINEERING INC	8036	54476	STORMWATER INSPECTIONS & RE	803.25
			8101	54476	STORMWATER INSPECTIONS & RE	956.25
					Total :	1,759.50
134840	10/25/2023	13129 DAVID TURCH AND ASSOCIATES	1022023	54477	LEGISLATIVE ADMINISTRATION	5,000.00
					Total :	5,000.00
134841	10/25/2023	12593 ELLISON WILSON ADVOCACY, LLC	2023-10-07	54505	LEGISLATIVE ADVOCACY SERVICE	1,500.00
					Total :	1,500.00
134842	10/25/2023	12964 ESO SOLUTIONS INC.	ESO-122507	54584	ANNUAL SOFTWARE RENEWAL	5,076.41
					Total :	5,076.41
134843	10/25/2023	10009 FIRE ETC	183690	54370	EQUIPMENT SERVICE	332.00
					Total :	332.00
134844	10/25/2023	12638 GEORGE HILLS COMPANY, INC.	INV1026345	54486	LIABILITY CLAIMS ADMIN FEE FY 2	1,458.33
					Total :	1,458.33
134845	10/25/2023	10490 HARRIS & ASSOCIATES INC	57390	54585	SAFETY & ENV JUSTICE ELEMENT	2,405.00
					Total :	2,405.00
134846	10/25/2023	14459 HMC GROUP	170223	53747	SANTEE COMMUNITY CENTER	16,070.40
					Total :	16,070.40
134847	10/25/2023	10120 KEARNY PEARSON FORD	1911546	54374	VEHICLE REPAIR PARTS	801.05
			1911632	54374	VEHICLE REPAIR PART	5.66
			1912198	54374	VEHICLE REPAIR PARTS	467.61
			CM1911546	54374	CR-REPAIR PART RETURNED	-753.53
					Total :	520.79
134848	10/25/2023	10204 LIFE ASSIST INC	1367546	54377	EMS SUPPLIES	122.16

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Voucher List
CITY OF SANTEE

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134848	10/25/2023	10204 10204 LIFE ASSIST INC	(Continued)			Total : 122.16
134849	10/25/2023	13155 LIFETIME DOG TRAINING, LLC	5006		INSTRUCTOR PAYMENT	4,440.00
						Total : 4,440.00
134850	10/25/2023	10174 LN CURTIS AND SONS	INV747879 INV748224	54551 54506	FY23/24 AREA 2 LANDSCAPE SER\	892.17
					SAFETY APPAREL	5,176.87
						Total : 6,069.04
134851	10/25/2023	10083 MUNICIPAL EMERGENCY SERVICES	IN1930819	53854	MATERIALS & SUPPLIES	28,429.09
						Total : 28,429.09
134852	10/25/2023	10085 NATIONAL SAFETY COMPLIANCE INC	95505		DRUG/ALCOHOL TESTING	227.73
						Total : 227.73
134853	10/25/2023	10308 O'REILLY AUTO PARTS	2968-179309 2968-179428	54384 54384	VEHICLE SUPPLIES	280.14
					VEHICLE REPAIR PART	14.37
						Total : 294.51
134854	10/25/2023	10344 PADRE DAM MUNICIPAL WATER DIST	90000367; OCT23		GROUP BILL	48,003.02
						Total : 48,003.02
134855	10/25/2023	10101 PROFESSIONAL MEDICAL SUPPLY	B024830 B024831 B024832	54443 54443 54443	OXYGEN CYLINDER RENTAL	126.60
					OXYGEN CYLINDER RENTAL	383.59
					OXYGEN CYLINDER RENTAL	90.00
						Total : 600.19
134856	10/25/2023	12062 PURETEC INDUSTRIAL WATER	2113355	54508	DEIONIZED WATER SERVICE	144.00
						Total : 144.00
134857	10/25/2023	11583 RIVERSAGE ENTERTAINMENT	07/27/23	54444	SANTEE SUMMER CONCERT	2,500.00
						Total : 2,500.00
134858	10/25/2023	14539 ROGERS ANDERSON MALODY & SCOTT	73612	54466	FY 2022-23 AUDIT SERVICES	6,000.00
						Total : 6,000.00
134859	10/25/2023	10097 ROMAINE ELECTRIC CORPORATION	12-059923	54487	VEHICLE SUPPLIES	1,127.83

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Voucher List
CITY OF SANTEE

Bank code : ubqen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134859	10/25/2023	10097	10097 ROMAINE ELECTRIC CORPORATION (Continued)			Total : 1,127.83
134860	10/25/2023	10407	SAN DIEGO GAS & ELECTRIC		79900685777; OCT23	BALLFIELDS; FACILITIES; PARKS 32,185.51
						Total : 32,185.51
134861	10/25/2023	13061	SAN DIEGO HUMANE SOCIETY &		OCT-23	54472 ANIMAL CONTROL SERVICES 36,794.00
						Total : 36,794.00
134862	10/25/2023	13171	SC COMMERCIAL, LLC		2488134-IN	54395 DELIVERED FUEL 785.36
					2490009-IN	54395 DELIVERED FUEL 284.15
						Total : 1,069.51
134863	10/25/2023	14245	SEVERIN MOBILE TOWING		23-13073	54567 TRAINING SUPPLIES 300.00
					23-13673	54567 TRAINING SUPPLIES 300.00
					23-48278	54567 TRAINING SUPPLIES 300.00
						Total : 900.00
134864	10/25/2023	10837	SOUTHWEST TRAFFIC SIGNAL		82864	54465 USA MARKOUTS 358.80
					82865	54465 TRAFFIC SIGNAL MAINTENANCE 4,446.29
					82866	54465 TRAFFIC SIGNAL SERVICE CALLS 2,730.45
					82867	54447 DIG ALERTS 747.50
					82869	54447 TRAFFIC SIGNAL SERVICE CALLS 500.00
						Total : 8,783.04
134865	10/25/2023	14240	SPICER CONSULTING GROUP		1433	54280 ASSMNT ENG & CFD SVCS FY 22-2 2,709.38
					1434	54546 INITIAL YEAR AUDIT/SET UP 5,500.00
						Total : 8,209.38
134866	10/25/2023	10217	STAPLES ADVANTAGE		3548375058	54534 STAPLES OFFICE SUPPLIES 174.80
					3548450209	54403 OFFICE SUPPLIES 48.75
					3549327115	54403 OFFICE SUPPLIES 45.78
						Total : 269.33
134867	10/25/2023	10027	STATE OF CALIFORNIA		686545	FINGERPRINTING SERVICES 64.00
						Total : 64.00
134868	10/25/2023	10119	STEVEN SMITH LANDSCAPE INC		52571	54405 A 1 LANDSCAPE SERVICES 57,843.51
					52572	54451 A 2 LANDSCAPE SERVICES 21,413.45

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Voucher List
CITY OF SANTEE

Bank code : ubgen

Voucher	Date	Vendor	Invoice	PO #	Description/Account	Amount
134868	10/25/2023	10119 STEVEN SMITH LANDSCAPE INC	(Continued)			
			52573	54406	A 3 LANDSCAPE SERVICES	13,707.31
			52577	54405	A 1 LANDSCAPE SERVICES	7,080.00
			52578	54405	A 1 LANDSCAPE SERVICES	40,120.00
			52580	54405	A 1 LANDSCAPE SERVICES	4,108.50
			52581	54451	A 2 LANDSCAPE SERVICES	3,426.37
			52583	54406	A 3 LANDSCAPE SERVICES	1,707.55
			52587	54405	A 1 LANDSCAPE SERVICES	35,400.00
					Total :	184,806.69
134869	10/25/2023	14354 TRILOGY MEDWASTE WEST, LLC	1468112	54453	BIOMEDICAL WASTE DISPOSAL	161.15
			1468113	54453	BIOMEDICAL WASTE DISPOSAL	161.15
					Total :	322.30
134870	10/25/2023	10133 UNDERGROUND SERVICE ALERT	23-241190	54481	DIG ALERT SERVICES - STATE FEE	57.68
			920230697	54481	DIG ALERT - MONTHLY TICKETS	160.50
					Total :	218.18
134871	10/25/2023	12480 UNITED SITE SERVICES	114-13670072	54339	PORTAPOT SUMMER CONCERTS	1,368.96
			INV-02039592	54339	PORTAPOT SERVICING	155.54
					Total :	1,524.50
134872	10/25/2023	11305 VELOCITY TRUCK CENTERS	XA290171388:01	54455	VEHICLE REPAIR PART	84.03
					Total :	84.03
134873	10/25/2023	14097 VOICES FOR CHILDREN	1-2024	54514	CDBG SUBRECIPIENT	1,216.60
					Total :	1,216.60
134874	10/25/2023	15061 WELSH, JAMES	101823		EMPLOYEE REIMBURSEMENT	250.00
					Total :	250.00
134875	10/25/2023	14039 WESTERN EXTRICATION	2410	54536	RESCUE EQUIPMENT	7,418.17
					Total :	7,418.17
134876	10/25/2023	10537 WETMORE'S	06P64747	54457	VEHICLE REPAIR PARTS	948.03
					Total :	948.03
51 Vouchers for bank code : ubgen						Bank total : 528,398.70

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Voucher List
CITY OF SANTEE

Bank code : ubqen


<u>Voucher</u>	<u>Date</u>	<u>Vendor</u>	<u>Invoice</u>	<u>PO #</u>	<u>Description/Account</u>	<u>Amount</u>
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51 Vouchers in this report

Total vouchers : 528,398.70

Prepared by: 

Date: 10.24.23

Approved by: 

Date: 10/25/23

MEETING DATE November 8, 2023

ITEM TITLE APPROVAL OF THE EXPENDITURE OF \$87,651.55 FOR OCTOBER 2023 LEGAL SERVICES

DIRECTOR/DEPARTMENT Heather Jennings, Finance *HJ*

SUMMARY

Legal services invoices proposed for payment for the month of October 2023 total \$87,651.55 as follows:

1) General Retainer Services	\$ 17,026.00
2) Labor & Employment	3,260.89
3) Litigation & Claims	11,566.10
4) Special Projects - General Fund	34,704.06
5) Special Projects – Other Funds	3,346.50
6) Third-Party Reimbursable Projects	<u>17,748.00</u>
Total	<u>\$ 87,651.55</u>

FINANCIAL STATEMENT

Account Description: Legal Services

	<u>AMOUNT</u>	<u>BALANCE</u>
General Fund:		
Adopted Budget	\$ 811,300.00	
Revised Budget	811,300.00	
Prior Expenditures	(173,264.24)	
Current Request	(66,557.05)	\$ 571,478.71
Other Funds (excluding third-party reimbursable items):		
Adopted Budget	\$ 95,000.00	
Revised Budget	95,000.00	
Prior Expenditures	(37,380.50)	
Current Request	(3,346.50)	\$ 54,273.00

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *MSB*

Approve the expenditure of \$87,651.55 for October 2023 legal services and reimbursable costs.

ATTACHMENTS

1. Legal Services Billing Summary October 2023
2. Legal Services Billing Recap FY 2023-24



**LEGAL SERVICES BILLING SUMMARY
OCTOBER 2023**

DESCRIPTION	CURRENT AMOUNT	INVOICE NUMBER	NOTES
Retainer 1001.00.1201.51020	\$ 17,026.00 <u>17,026.00</u>	978560	
Labor & Employment: Labor & Employment Employee Benefits 1001.00.1201.51020	1,700.59 1,560.30 <u>3,260.89</u>	978561 978566	
Litigation & Claims: Litigation & Claims Allan Family Trust Litigation Lee Receivership Sky Ranch Potential Homeowner/HOA Litigation 1001.00.1201.51020	302.50 6,145.50 2,023.00 3,095.10 <u>11,566.10</u>	978562 978579 978572 978571	
Special Projects (General Fund): Community Oriented Policing Annual Municipal Code Update CEQA Special Advice Water Quality Prop 218 Entertainment District Parcel 4 Hotel Advanced Records Center Services for PRA Cannabis Safety-Environ Justice Element Surplus Land Act/Real Property Special Advice 1001.00.1201.51020	24,955.56 27.50 1,375.00 192.50 1,062.50 137.50 742.50 1,591.00 4,235.00 330.00 55.00 <u>34,704.06</u>	978563 978573 978582 978565 978567 978568 978569 978574 978575 978576 978578	
Mobile Home Rent Control Commission Cuyamaca Street Right-of-Way Acquisition SLEMSA JPA	1,834.00 1,512.50 <u>3,346.50</u>	978570 978577	2901.04.4106.51020 cup71402.30.05 5505.00.1901.51020
MSCP Subarea Plan Santee Auto Center CUP Redevelopment of Carlton Oaks Golf Course Tyler St. Subdivision St John the Baptizer Ukrainian Church Prospect Estates II Soapy Joe's Car Wash Palisade Warehouse Super Star Car Wash	8,282.40 4,120.80 489.60 693.60 326.40 204.00 1,958.40 612.00 1,060.80 <u>17,748.00</u>	978580 978587 978583 978584 978586 978581 978589 978588 978590	spp2101a.93.05 cup2210a.10.05 cup1906a.10.05 tm17001a.10.05 cup2205a.10.06 grd1341a.20.05 mr23001a.10.05 dr23002a.10.05 cup2302a.10.05
Total	\$ 87,651.55		

**LEGAL SERVICES BILLING RECAP
FY 2023-24**

Attachment 2

<u>Category</u>	<u>Adopted Budget</u>	<u>Revised Budget</u>	<u>Previously Spent Year to Date</u>	<u>Available Balance</u>	<u>Current Request Mo./Yr.</u>	<u>Amount</u>
General Fund:						
General / Retainer	\$ 206,310.00	\$ 206,310.00	\$ 51,233.80	\$ 155,076.20	Oct-23	\$ 17,026.00
Labor & Employment	60,000.00	60,000.00	16,650.00	43,350.00	Oct-23	3,260.89
Litigation & Claims	50,000.00	50,000.00	13,266.10	36,733.90	Oct-23	11,566.10
Special Projects	494,990.00	494,990.00	92,114.34	402,875.66	Oct-23	34,704.06
Total	<u>\$ 811,300.00</u>	<u>\$ 811,300.00</u>	<u>\$ 173,264.24</u>	<u>\$ 638,035.76</u>		<u>\$ 66,557.05</u>
Other City Funds:						
MHFP Commission	\$ 10,000.00	\$ 10,000.00	\$ 935.00	\$ 9,065.00	Oct-23	\$ -
Capital Projects	75,000.00	75,000.00	30,807.00	44,193.00	Oct-23	1,834.00
SLEMSA JPA	10,000.00	10,000.00	5,638.50	4,361.50	Oct-23	1,512.50
Total	<u>\$ 95,000.00</u>	<u>\$ 95,000.00</u>	<u>\$ 37,380.50</u>	<u>\$ 57,619.50</u>		<u>\$ 3,346.50</u>
Third-Party Reimbursable:						
Total			<u>\$ 29,300.00</u>			<u>\$ 17,748.00</u>

Total Previously Spent to Date FY 2023-24	
General Fund	\$ 173,264.24
Other City Funds	37,380.50
Applicant Deposits or Grants	<u>29,300.00</u>
Total	<u>\$ 239,944.74</u>

Total Proposed for Payment	
General Fund	\$ 66,557.05
Other City Funds	3,346.50
Applicant Deposits or Grants	<u>17,748.00</u>
Total	<u>\$ 87,651.55</u>

MEETING DATE November 8, 2023

ITEM TITLE RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA AUTHORIZING THE PURCHASE OF NEW STRUCTURAL FIREFIGHTING CLOTHING (TURNOUTS) FROM MUNICIPAL EMERGENCY SERVICES, PER COUNTY OF LOS ANGELES, CA CONTRACT #MA-IS-1840141-6

DIRECTOR/DEPARTMENT Justin Matsushita, Fire Chief 

SUMMARY

This item requests City Council authorization to purchase an additional eighteen (18) structural firefighting coats and eighteen (18) pairs of structural firefighting pants (turnouts) from Municipal Emergency Services (MES). This purchase is necessary in order to outfit the Fire Department's five (5) new firefighter-paramedics with properly fitting gear and to replace existing turnouts that failed annual testing and cannot remain in service.

Santee Municipal Code Section 3.24.130 authorizes the City to buy directly from a vendor at a price established by a competitive or competitively negotiated bid by another public jurisdiction in substantial compliance with the formal purchasing procedures as provided in Section 3.24.100 even if the City has not joined with that public agency in a cooperative purchase. On January 1, 2018, the County of Los Angeles, California completed a competitive request for bids process for the procurement of firefighting personal protective apparel, and accessories that substantially complied with the formal purchasing procedures in Section 3.24.100. Based on evaluation criteria such as pricing, selection and variety of products offered, customer support and ability to meet the contract requirements, Municipal Emergency Services (MES) was awarded Contract #MA-IS-1840141-6 for an initial term of three (3) years with the option to extend the agreement for up to two (2) additional one-year extension periods, for a maximum total term of five (5) years. On December 9, 2021 the agreement was extended for an additional twenty-four (24) month period by mutual consent, extending the contract through December 31, 2023. Staff has evaluated the pricing, products and support provided by the contract and the purchasing agent has determined that utilization of Contract #MA-IS-1840141-6 for the purchase of turnouts to be in the City's best interest.

Santee Purchasing Ordinance requires City Council approval of all purchases exceeding \$50,000 in any single fiscal year. Staff recommends utilizing the County of Los Angeles, California Contract #MA-IS-1840141-6 for the purchase of eighteen (18) structural firefighting coats and eighteen (18) pairs of structural firefighting pants from MES for an amount not to exceed \$61,900.54.

FINANCIAL STATEMENT 

Adequate funding for the purchase of the additional eighteen (18) structural firefighting coats and eighteen (18) structural firefighting pants (turnouts) is included in the FY 23/24 Fire Department budget.



ENVIRONMENTAL REVIEW

The purchase of structural firefighting coats and pants for the Fire and Life Safety Department does not have the potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment, and is therefore not a "project" subject to the California Environmental Quality Act. (State CEQA Guidelines § 15378.)

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION *MSB*

Adopt the attached resolution authorizing the purchase of structural firefighting clothing (turnouts) to include eighteen (18) coats and eighteen (18) pairs of pants from Municipal Emergency Services (MES) per the County of Los Angeles, California Contract #MA-IS-1840141-6 for an amount not to exceed \$61,900.54 and authorizing the City Manager to execute all necessary documents.

ATTACHMENT

Resolution
Quote (QT1746529)

RESOLUTION NO. _____

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, AUTHORIZING THE PURCHASE OF NEW STRUCTURAL FIREFIGHTING CLOTHING (TURNOUTS) FROM MUNICIPAL EMERGENCY SERVICES PER COUNTY OF LOS ANGELES, CA CONTRACT #MA-IS-1840141-6

WHEREAS, the City of Santee's ("City") adopted FY 2023/24 Fire and Life Safety Department operating budget includes funding for the purchase of structural firefighting clothing (turnouts); and

WHEREAS, Santee Municipal Code Section 3.24.130(B) authorizes the City to buy directly from a vendor at a price established by a competitive or competitively negotiated bid by another public jurisdiction in substantial compliance with the formal purchasing procedures as provided in Section 3.24.100 even if the City has not joined with that public agency in a cooperative purchase; and

WHEREAS, in January 2018, the County of Los Angeles, California completed a competitive request for bids process for the procurement of firefighting personal protective apparel and accessories that substantially complied with the formal purchasing procedures as provided in Section 3.24.100 of the Santee Municipal Code; and

WHEREAS, based on evaluation criteria such as pricing, selection and variety of products offered, customer support and ability to meet the contract requirements, Municipal Emergency Services (MES) was awarded Contract #MA-IS-1840141-6 for firefighting personal protective apparel and accessories for an initial term of three years plus two annual options to renew; and

WHEREAS, staff has evaluated the pricing, products and support provided by the County of Los Angeles, California Contract #MA-IS-1840141-6 and desires to use the County of Los Angeles, California Contract #MA-IS-1840141-6 to purchase eighteen (18) structural firefighting coats and eighteen (18) pairs of structural firefighting pants (turnouts) for the Fire and Life Safety Department to outfit the department's newest firefighters with safety clothing and to replace existing gear that failed annual testing and cannot remain in service.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Santee, California, that the City Council hereby:

1. Authorizes the purchase of an additional eighteen (18) structural firefighting coats and eighteen (18) pairs of structural firefighting pants (turnouts) from Municipal Emergency Services (MES) per the County of Los Angeles, California Contract #MA-IS-1840141-6 for an amount not to exceed \$61,900.54; and
2. Authorizes the City Manager to execute all necessary documents.

ADOPTED by the City Council of the City of Santee, California, at a Regular Meeting thereof held this 8th day of November 2023, by the following roll call vote, to wit:

RESOLUTION NO. _____

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

ANNETTE ORTIZ, CMC, CITY CLERK



(877) 637-3473

Quote

Quote # QT1746529
Date 10/04/2023
Expires 11/20/2023
Sales Rep Leightner, Scott
PO # 18 SETS OF TO'S RFQ
Shipping Method FedEx Ground
Customer CITY OF SANTEE (CA)
Customer # C47634

Bill To

SANTEE FIRE DEPARTMENT
 10601 MAGNOLIA AVENUE
 Santee CA 92071
 United States

Ship To

CAPTAIN KYE HARDIN
 CITY OF SANTEE FIRE DEPT.
 8950 COTTONWOOD AVENUE
 SANTEE CA 92071
 United States

Item	Alt. Item #	Units	Description	QTY	Unit Price	Amount
FIRE-DEX	FXR TURNOUT SCAPPEC CONTRACT COAT		FXR TURNOUT SCAPPEC CONTRACT COAT Custom FIRE-DEX SCAPPEC - PBI MAX GOLD OUTER SHELL, TITANIUM THERMAL LINER, STEDAIR 4000 MOISTURE BARRIER	18	\$1,798.47	\$32,372.46
FIRE-DEX	FXR TURNOUT SCAPPEC CONTRACT PANT		FXR TURNOUT SCAPPEC CONTRACT PANT Custom FIRE-DEX PBI MAX GOLD OUTER SHELL, TITANIUM THERMAL LINER, STEDAIR 4000 MOISTURE BARRIER	18	\$1,186.29	\$21,353.22
FIRE-DEX	XMHS-5		XMHS-5 Custom FIRE-DEX XMHS-5 CREE HARNESS STRAPS, 1.5' X 3.5"	18	\$81.50	\$1,467.00
FIRE-DEX	ITFR CREE		ITFR CREE Custom FIRE-DEX CREE BELT	18	\$115.00	\$2,070.00

SCAPPEC PRICING PER CONTRACT NO: MA-IS-1840141-6

Subtotal \$57,262.68
Shipping Cost \$200.00
Tax Total \$4,437.86
Total \$61,900.54

This Quotation is subject to any applicable sales tax and shipping and handling charges that may apply. Tax and shipping charges are considered estimated and will be recalculated at the time of shipment to ensure they take into account the most current information.

All returns must be processed within 30 days of receipt and require a return authorization number and are subject to a restocking fee.

Custom orders are not returnable. Effective tax rate will be applicable at the time of invoice.



QT1746529

MEETING DATE November 8, 2023

ITEM TITLE RESOLUTION OF THE CITY COUNCIL FINDING IN SUPPORT OF AND AUTHORIZING THE PURCHASE OF ONE NEW 2025 BRAUN NORTH STAR 171-3 AMBULANCE ON A 2025 FORD E450 CHASSIS FROM BRAUN NORTHWEST, INC. PER HGACBUY CONTRACT AM 10-23, THE PURCHASE OF ADD-ON ITEMS ON THE OPEN MARKET, AND THE APPROPRIATION OF FUNDS FROM THE EMERGENCY MEDICAL SERVICES FUND RESERVE

DIRECTOR/DEPARTMENT Justin Matsushita, Fire Chief 

SUMMARY

This item requests City Council authorization to purchase one (1) new 2025 Braun North Star 171-3 ambulance on a 2025 Ford E450 chassis from Braun Northwest, Incorporated, and select add-on items which will be purchased separately from other vendors. This purchase will increase the City fleet to seven (7) ambulances.

Santee Municipal Code 3.24.130 authorizes the City to join with other public jurisdictions in operative purchasing plans or programs as determined by the purchasing agent to be in the City's best interest. On October 1, 2023, HGACBuy, a cooperative purchasing program of the Houston-Galveston Area Council of Governments, of which the City is a member, completed a competitive request for proposals process for the purchase of Ambulances, EMS, and Other Special Service Vehicles and related services. Based on evaluation criteria such as pricing, selection and variety of products offered, customer support and the ability to meet the contract requirements per procedures set forth in Santee Municipal Code 3.24.100, Braun Northwest, Inc. was awarded HGACBuy Contract AM 10-23.

The purchase of one (1) new Braun North Star 171-3 ambulance on a 2025 Ford E450 4x2 ambulance prep gas chassis is \$335,702.23. Staff recommends that the City Council authorize the City Manager to approve additional expenditures for unforeseen changes in an amount not to exceed \$16,785.11, which is 5% contingency, for a grand total of \$352,487.34. Staff also recommends certain add-ons, for graphics, replacement radios, radio chargers, hand lights, tablet mount, etc., in an amount not to exceed \$21,477.65. Santee's Purchasing Ordinance requires City Council approval of all purchases exceeding \$50,000, and certain open market purchases. Thus, Staff recommends that the City Council approve utilizing HGACBuy Contract AM 10-23 to purchase one (1) new 2025 Braun North Star 171-3 ambulance on a 2025 Ford E450 4x2 ambulance prep gas chassis, authorize the purchase of selected add-ons on the open market, and approve a 5% contingency, for a total authorized amount of \$373,964.99.

FINANCIAL STATEMENT 

Funding for this vehicle in the amount of \$339,240.00 is included in the FY 2023-24 Vehicle Replacement Fund budget. An additional appropriation of \$34,730.00 is requested from the Emergency Medical Services Fund Reserve.



CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION *MSB*

Adopt Resolution:

1. Authorizing the purchase of a new 2025 Braun North Star 171-3 ambulance on a 2025 Ford E-450 chassis from Braun Northwest, Incorporated per HGACBuy Contract AM 10-23, in the amount of \$335,702.23; and
2. Authorizing the City Manager to approve additional expenditures for unforeseen changes in an amount not to exceed \$16,785.11 (5%); and
3. Authorizing the open market purchase of select add-ons, such as graphics, replacement radios, radio chargers, hand lights, tablet mount, etc. in an amount not to exceed \$21,477.65; and
4. Authorizing the appropriation of \$34,730.00 from the Emergency Medical Services Fund Reserve to the FY 2023-24 Vehicle Replacement Fund budget; and
5. Authorizing the City Manager to execute all necessary documents; to accomplish the purchase with Braun Northwest, Inc.

ATTACHMENT

Staff Report
Resolution

STAFF REPORT

RESOLUTION FINDING IN SUPPORT OF AND AUTHORIZING THE PURCHASE OF ONE NEW 2025 BRAUN NORTH STAR 171-3 AMBULANCE ON A 2025 FORD E450 CHASSIS FROM BRAUN NORTHWEST, INC. PER HGACBUY CONTRACT AM 10-23, THE PURCHASE OF ADD-ON ITEMS ON THE OPEN MARKET, AND THE APPROPRIATION OF FUNDS FROM THE EMERGENCY MEDICAL SERVICES FUND RESERVE

November 8, 2023

This item requests City Council authorization to purchase one new 2025 Braun North Star 171-3 Ambulance on a 2025 Ford E450 chassis from Braun Northwest, Incorporated, and select add-on items which will be purchased separately from other vendors, utilizing an open market purchase process. This purchase is budgeted in the Vehicle Replacement fund with additional funds provided by the Emergency Medical Services Fund.

This purchase will increase the City's fleet to seven (7) ambulances. The addition of the Basic Life Support (BLS) transport unit increased the number of ambulances in service daily from two to three. Adding an additional ambulance to the fleet will allow enough reserve ambulances to maintain three transporting units and still allow for upstaffing of an additional ambulance during disaster events or periods of high demand. Below is the status of our current ambulance fleet:

- V-187 is a 2018 Ford E450 with 114,275 miles. This ambulance is currently in service as BLS4, and is projected to be remounted during the 2024-25 budget year.
- V-190 is a 2018 Ford F450 with 140,953 miles. This ambulance is currently our reserve BLS ambulance.
- V-196 is a 2019 Ford E450 with 57,143 miles. This is currently a reserve paramedic ambulance.
- V-200 is a 2019 Ford E450 with 80,757 miles. This is currently a reserve paramedic ambulance.
- V-204 is a 2022 Ford E450 with 86,076 miles. This is currently in service as M4. This ambulance is considered a reliable ambulance.
- V-214 is a 2022 Ford E450 with 17,256 miles. This is currently in service as M5. This ambulance is considered a reliable ambulance.

Santee Municipal Code 3.24.130 authorizes the City to join with other public jurisdictions in cooperative purchasing plans or programs as determined by the purchasing agent to be in the City's best interest. On October 1, 2023, HGACBuy, a cooperative purchasing program of the Houston-Galveston Area Council of Governments, of which the City is a member, completed a competitive request for proposals process for the purchase of Ambulances, EMS, and Other Special Service Vehicles and related services. Based on evaluation criteria such as pricing, selection and variety of products offered, customer support and ability to meet the contract requirements, Braun Northwest, Inc. was awarded HGACBuy, Contract #AM 10-23, and solely awarded Product AM23CA17 North Star Type 3 onto a Ford E450 gas engine.

Braun Northwest, Inc., of Chehalis, Washington, is a certified Qualified Vehicle Modifier (QVM). The quote reflects pricing pursuant to HGACBuy Contract AM10-23 which was publicly bid and substantially complies with the City's formal bidding procedures in Santee Municipal Code Section 3.24.100. Braun Northwest, Inc., is also an authorized Ford vendor.

The total projected cost, including selected add-ons, is \$335,702.23. The total purchase is for an amount not to exceed \$373,964.99, which includes add-ons purchased from separate vendors and a 5% contingency for any unforeseen changes.

Anticipated cost amounts are as follows, which include base price, options, inspections, delivery, add-ons, and a 5% contingency for any unforeseen changes.

1. Base Price:	\$ 312,132.00
2. CA Sales Tax @ 7.75%:	\$23,570.23
3. Extended Warranty:	Included
4. 5% Contingency Fund:	\$16,785.11
Total Braun Northwest, Incorporated:	\$ 352,487.34
5. <u>Add-ons:</u>	<u>\$21,477.65</u>
Total, All-Inclusive Amount:	\$ 373,964.99

The FY 2023-24 Decision Packet for the purchase of this ambulance approved the purchase of a 2024 North Star Ambulance for \$339,240. Due to continued supply chain delays, the anticipated build-out date has been pushed to approximately 515 days. As a result of this delay, the 2024 model will not be available and instead has been replaced by a 2025 model in this purchase request. As a result of the cost increase associated with the change from the 2024 to the 2025 model, plus the optional addition of a liquid spring front suspension for improved patient and crew comfort, staff recommends the utilization of reserve funds earmarked for the SLEMSA JPA to cover the \$34,724.99 gap between the Decision Package and the new Braun quote, add-ons, and the \$16,785.11 contingency.

Staff requests that the City Council adopt the Resolution providing authorization to purchase one new 2025 Braun North Star 171-3 ambulance on a 2025 Ford E450 chassis from Braun Northwest, Incorporated, and select add-on items which will be purchased separately from other vendors; authorizing the City Manager to approve additional expenditures for unforeseen changes in an amount not to exceed five percent (5%) of the base price, authorizing the appropriation of \$34,730.00 from the Emergency Medical Services Fund Reserve to the Vehicle Replacement Fund, authorizing the City Manager to execute all necessary documents for a total, all-inclusive purchase amount not to exceed \$373,964.99.

RESOLUTION NO. _____

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, FINDING IN SUPPORT OF AND AUTHORIZING THE PURCHASE OF ONE NEW 2025 BRAUN NORTH STAR 171-3 AMBULANCE ON A 2025 FORD E450 CHASSIS FROM BRAUN NORTHWEST, INC. PER HGACBUY CONTRACT AM 10-23, THE PURCHASE OF ADD-ON ITEMS ON THE OPEN MARKET, AND THE APPROPRIATION OF FUNDS FROM THE EMERGENCY MEDICAL SERVICES FUND RESERVE

WHEREAS, the City placed a Basic Life Support (BLS) ambulance in service on June 30, 2023, to help alleviate high unit hour utilizations on the existing Advanced Life Support (ALS) ambulances. The addition of the BLS transport unit increased the number of ambulances in service daily from two to three. Adding an additional ambulance to the fleet will allow enough reserved ambulances to maintain three transporting units and still allow for upstaffing of an additional ambulance during disaster events or periods of high demand; and

WHEREAS, the City desires to purchase one (1) new 2025 Braun North Star 171-3 ambulance on a 2025 Ford E450 chassis, and

WHEREAS, selected add-on items are recommended for purchase separately from other vendors for graphics, radios, radio chargers, hand lights, tablet mount, extended warranty, etc., and

WHEREAS, the City of Santee FY 2023-24 Vehicle Replacement fund budget includes an appropriation of \$339,240 to purchase this ambulance module; and

WHEREAS, Santee Municipal Code section 3.24.130 authorizes the City to purchase equipment and supplies by joining with other public jurisdictions in cooperative purchasing plans or programs as determined by the purchasing agent to be in the City's best interest; and

WHEREAS, on October 1, 2023, HGACBuy, a cooperative purchasing program of the Houston-Galveston Area Council of Governments, of which the City is a member, completed a competitive request for proposals process for the purchase of Ambulances, EMS, and Other Special Service Vehicles; and

WHEREAS, Braun Northwest, Inc., of Chehalis, Washington, was awarded HCAGBuy Contract AM 10-23; and

WHEREAS, Braun Northwest, Inc.'s, quote reflects pricing pursuant to HGACBuy Contract AM 10-23, which was publicly bid and substantially complies with the City's formal bidding procedures; and

WHEREAS, Santee Municipal Code section 3.24.120 authorizes the purchasing agent to purchase equipment on the open market when the City Council determines that due to special circumstances, it is in the City's best interest to purchase a commodity or enter into a contract without compliance with the formal or informal bidding procedure; and

RESOLUTION NO. _____

WHEREAS, the purchase of the selected add-on items from other vendors on the open market is in the City's best interest because the add-ons must be purchased from other vendors, separate from the ambulance purchase, and must be compatible with the ambulance; and

WHEREAS, the FY 2023-24 Decision Packet for the purchase of this ambulance approved the purchase of a 2024 North Star Ambulance for \$339,240. Due to continued supply chain delays, the anticipated build-out date has been pushed to approximately 515 days. As a result of this delay, the 2024 model will not be available and instead has been replaced by a 2025 model in this purchase request. As a result of the cost increase associated with the change from the 2024 to the 2025 model, plus the optional addition of a liquid spring front suspension for improved patient and crew comfort, staff recommends the utilization of reserve funds from the Emergency Medical Services Fund to cover the \$34,724.99 gap between the Decision Package and the new Braun quote, add-ons, and the \$16,785.11 contingency; and

WHEREAS, staff therefore requests that Council appropriate \$34,730.00 from the Emergency Medical Services Fund Reserve to the FY 2023-24 Vehicle Replacement Fund budget; and

WHEREAS, this action is not subject to the California Environmental Quality Act ("CEQA") pursuant to Section 15060(c)(3) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because the activity is not a project as defined in Section 15378 of the CEQA Guidelines, as it has no potential for resulting in a physical change to the environment, directly or indirectly; and

WHEREAS, the City Council desires to approve utilizing HGACBuy Contract AM 10-23 to purchase one new 2025 Braun North Star 171-3 ambulance on a 2025 Ford E450 chassis, add-ons, and a 5% contingency.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Santee, California, as follows:

SECTION 1: The Recitals provided above are true and correct and are hereby incorporated into this Resolution.

SECTION 2: The City Council of the City of Santee hereby:

1. Authorizes the purchase of one (1) new 2025 Braun North Star 171-3 Ambulance on a 2025 Ford E450 chassis from Braun Northwest, Incorporated per HGACBuy Contract AM 10-23 in the amount of \$335,702.23; and
2. Authorizes the City Manager to approve additional expenditures for unforeseen changes in an amount not to exceed \$16,785.11 (5%) contingency; and

RESOLUTION NO. _____

3. Authorizes the open market purchase of select add-ons, such as graphics, radios, radio chargers, hand lights, tablet mount, extended warranty, etc., in the amount not to exceed \$21,477.65; and
4. Authorizes the appropriation of \$34,730.00 from the Emergency Medical Services Fund Reserve to the FY 2023-24 Vehicle Replacement Fund budget; and
5. Authorizes the City Manager to execute all necessary documents to accomplish the purchase with Braun Northwest, Inc.

SECTION 3: The proposed action is not subject to the California Environmental Quality Act ("CEQA") pursuant to Section 15060 (c)(3) of the CEQA Guidelines, California Code of Regulations, Title 14, Chapter 3, because the activity is not a project as defined in Section 15378 of the CEQA Guidelines, as it has no potential for resulting in a physical change to the environment, directly or indirectly.

SECTION 4: If any provision of this Resolution or the application thereof to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications of the Resolution which can be given effect without the invalid provision or application, and to this end the provisions of this Resolution are severable. The City Council hereby declares that it would have adopted this Resolution irrespective of the validity of any particular portion thereof.

SECTION 5: This Resolution shall take effect immediately upon its passage.

ADOPTED by the City Council of the City of Santee, California, at a Regular Meeting thereof held this 8th day of November 2023, by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

ANNETTE FAGAN ORTIZ, CMC, CITY CLERK

MEETING DATE November 8, 2023

ITEM TITLE RESOLUTION AUTHORIZING THE APPROPRIATION AND EXPENDITURE OF FY2021 STATE HOMELAND SECURITY PROGRAM GRANT REALLOCATION FUNDS IN ACCORDANCE WITH ALL PROGRAM REQUIREMENTS AND APPROVING PURCHASE OF EQUIPMENT TO CREATE A COMMAND TRAINING CENTER FOR ALL CENTRAL ZONE AGENCIES TO UTILIZE AT THE JOINT TRAINING FACILITY, HEARTLAND TRAINING FACILITY

DIRECTOR/DEPARTMENT Justin Matsushita, Fire Chief *JM*

SUMMARY

On September 1, 2023, San Diego County agencies were notified by the County of San Diego Public Safety Group that approximately \$90,000 in unspent FY21 grant funds were available for reallocation. These State Homeland Security Grant Program (SHSP) funds could be used for projects that support the *“implementation of state Homeland Security Strategies to address the identified planning, organization, equipment, training, and exercise needs to prevent, protect against, mitigate, respond to, and recover from acts of terrorism and other catastrophic events”*.

On behalf of the Central Zone fire agencies and the Heartland Training Facility (HTF), the City of Santee submitted a Reallocation Project Request to purchase the necessary equipment to create a Command Training Center (CTC). The CTC will be located on-site at HTF for use by all Central Zone fire agencies. The CTC will allow for advanced planning and collaboration for managing large-scale emergency incidents where single jurisdictional resources are overwhelmed. A total of eight reallocation projects were submitted with a collective request amount of \$374,586.

On October 24, 2023, the San Diego County Office of Emergency Services approved Santee’s 2021 SHSP reallocation request in the amount not to exceed \$23,500.00 for the purchase of audiovisual and other equipment needed to create a CTC at HTF. The approved items to be purchased include: Two large screen television (TV) monitors; Two motorized adjustable TV stands; Tactical communication system; and Emergency incident simulation software.

FINANCIAL STATEMENT *JM*

FY 2021 State Homeland Security Grant funds will reimburse the City \$23,500.00 toward the cost of equipment to create a CTC at HTF. The performance period for the grant ends on January 21, 2024.

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION *MAB*

Adopt Resolution:

1. Authorizing the appropriation and expenditure of 2021 State SHSG Funds reallocation in accordance with all program requirements to purchase necessary equipment for a CTC.
2. Authorizing the Director of Fire and Life Safety (Fire Chief) to execute all necessary grant documents by January 1 ,2024 for the purposes of obtaining reimbursement and complying with the grant; and
3. Authorizing the City Manager to execute all necessary documents to accomplish the purchase of the CTC equipment.

ATTACHMENT

Resolution
Notification of Federal Funding Award



RESOLUTION NO. _____

RESOLUTION AUTHORIZING THE APPROPRIATION AND EXPENDITURE OF FY2021 STATE HOMELAND SECURITY PROGRAM GRANT FUNDS IN ACCORDANCE WITH ALL PROGRAM REQUIREMENTS AND APPROVE PURCHASE OF EQUIPMENT TO CREATE A COMMAND TRAINING CENTER FOR ALL CENTRAL ZONE AGENCIES TO UTILIZE AT THE JOINT TRAINING FACILITY, HEARTLAND TRAINING FACILITY

WHEREAS, on September 1, 2023, San Diego County agencies were notified of the opportunity to submit a reallocation project request due to \$90,000 in unspent funds from the State Homeland Security Program (SHSP) grant for fiscal year 2021; and

WHEREAS, on October 24, 2023, the San Diego County Office of Emergency Services approved Santee's 2021 SHSP reallocation request in the amount not to exceed \$23,500.00; and

WHEREAS, the funds will be utilized to purchase audio visual (A/V) and other equipment needed to create a Command Training Center (CTC) for all Central Zone agencies to utilize at Heartland Training Facility (HTF); and

WEAREAS, the CTC will be utilized for exercises to practice command, control, tactics, and strategies on simulated emergencies.

WHEREAS, any liability arising out of the performance of the SHSP agreement shall be the responsibility of the City of Santee and the City Council; and

WHEREAS, SHSP grant funds shall not be used to supplant expenditures controlled by the City Council; and

WHEREAS, FY 2021 SHSP grant funds will reimburse the City \$23,500.00 toward the total cost of the CTC; and

WHEREAS, the total purchase amount will not exceed the grant amount and city funds will not be needed; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Santee, California as follows:

1. Authorizes the appropriation and expenditure of FY 2021 State Homeland Security Program grant funds in accordance with all program requirements for the purchase of equipment to create a CTC at HTF.
2. Authorizes the Director of Fire and Life Safety (Fire Chief) to execute all necessary grant documents.
3. Authorizes the City Manager to execute all necessary documents to accomplish the purchase of equipment necessary to create a CTC at HTF.

RESOLUTION NO. _____

ADOPTED by the City Council of the City of Santee, California, at a Regular Meeting thereof held this 8th day of November 2023, by the following roll call vote, to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

ANNETTE ORTIZ, CMC, CITY CLERK



County of San Diego Office of Emergency Services
5580 Overland Ave., Suite 100
San Diego, CA 92123 -1251
Phone: (858) 565-3490 Fax: (858) 565-3499
Email: OES_Finance@sdcounty.ca.gov



10/24/2023

City of Santee
10601 Magnolia Avenue
Santee, CA 92071

SUBJECT: NOTIFICATION OF FEDERAL FUNDING AWARD
FY 2021 Homeland Security Grant Program (HSGP)
Subaward #2021-0081, Cal OES ID #073-00000

The purpose of this letter is to notify you that the County of San Diego Office of Emergency Services has approved your **FY2021 SHSP Reallocation Award** in the amount of **\$23,500** as listed below:

Subrecipient Name:	City of Santee
Subrecipient UEI:	K2JDHACCELC7
Federal Award ID (FAIN)	EMW-2021-SS-00081
Subaward Period of Performance:	10/21/23 to 01/21/24
Subrecipient Award Amount:	\$23,500
Federal Award Project Description:	Implementation of homeland security management grant to support state, local, tribal and territorial efforts to prevent terrorism and other catastrophic events.
Federal Awarding Agency:	US Department of Homeland Security
CFDA Number:	97.067/Homeland Security Grant Program
Research & Development Award (Y/N):	No
Indirect Cost Rate:	N/A
Match Requirement:	N/A

This grant award is subject to all provisions of Uniform Guidance (2 CFR Part 200), which can be accessed at www.ecfr.gov. Non-federal entities that expend \$750,000 or more annually in Federal Awards must have a Single Audit performed each year. Please forward a copy of your most current Single Audit report to the contact below.

Your performance period ends January 21, 2024. Please submit your reimbursement requests in a timely manner.

For further assistance, please contact Val Dama at (858) 289-2883 or Valentine.Dama@sdcounty.ca.gov

Sincerely,

Martin Kurian, Departmental Budget Manager
County of San Diego, Office of Emergency Services

MEETING DATE November 8, 2023


ITEM TITLE A PUBLIC HEARING FOR AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA AMENDING TITLE 13 (“ZONING ORDINANCE”) OF THE CITY OF SANTEE MUNICIPAL CODE MODIFYING “VEHICLE STORAGE YARD” FROM A USE THAT IS CURRENTLY PROHIBITED TO A USE THAT IS PERMITTED WITH A MINOR CONDITIONAL USE PERMIT IN THE LIGHT INDUSTRIAL (IL) ZONE AND APPROVING AN EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) IN ACCORDANCE WITH SECTION 15305 OF THE CEQA GUIDELINES

DIRECTOR/DEPARTMENT Sandi Sawa / Planning & Building Department 

SUMMARY Currently, vehicle storage yards are prohibited in the Light Industrial (IL) Zone pursuant to Chapter 13 of the Santee Municipal Code (SMC). Vehicle storage yards or impound facilities are defined by the Zoning Ordinance as “any lot, lot area, or parcel of land used, designed, or maintained for the specific purpose of storing, impounding, or keeping motor vehicles, but not including dismantling or wrecking activities.” (SMC § 13.04.140.) Vehicle storage yards expressly exclude dismantling/wrecking activities and are currently only permitted with a minor conditional use permit in the General Industrial (IG) Zone. Fleet storage and recreational vehicle storage yards are similar uses allowed with a minor conditional use permit in the IL Zone.

Upon enactment of the requested Zoning Ordinance Amendment, a minor conditional use permit may be applied for through a separate administrative review process to establish a vehicle storage yard in the IL Zone. A minor conditional use permit would authorize the Planning & Building Director to administratively review and issue a permit to operate a vehicle storage yard in the IL zone with conditions of approval that would include performance standards and requirements from the Fire Department, Engineering Department and other disciplines.

ENVIRONMENTAL REVIEW The proposed ordinance, which would amend Title 13 of the Santee Municipal Code, is exempt from the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines Section 15305. The proposed ordinance modifying a land use category constitutes a minor change in land use limitations and is consistent with Section 15305 of the CEQA Guidelines.

FINANCIAL STATEMENT  Staff costs for application processing are paid on an actual cost recovery basis.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *MSB*

1. Conduct and close the public hearing; and
2. Find that the Ordinance is exempt from the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines Section 15305; and
3. Introduce the Ordinance for first reading and schedule the Ordinance for a second reading on December 13, 2023.

ATTACHMENTS

Staff Report
Draft Ordinance

STAFF REPORT

A PUBLIC HEARING FOR AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA AMENDING TITLE 13 (“ZONING ORDINANCE”) OF THE CITY OF SANTEE MUNICIPAL CODE MODIFYING “VEHICLE STORAGE YARD” FROM A USE THAT IS CURRENTLY PROHIBITED TO A USE THAT IS PERMITTED WITH A MINOR CONDITIONAL USE PERMIT IN THE LIGHT INDUSTRIAL (IL) ZONE AND APPROVING AN EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) IN ACCORDANCE WITH SECTION 15305 OF THE CEQA GUIDELINES

(CASE FILE: ZOA-2023-0001)

CITY COUNCIL MEETING NOVEMBER 8, 2023

A Notice of Public Hearing was published in East County Californian on October 27, 2023. The Notice was also posted at City Hall, on the City’s website, and e-mailed to the Santee Chamber of Commerce, the Building Industry Association, and the East County Economic Development Council.

A. BACKGROUND

Currently, vehicle storage yards are prohibited in the Light Industrial (IL) Zone pursuant to Chapter 13 of the Santee Municipal Code (SMC). Vehicle storage yards or impound facilities are defined by the Zoning Ordinance as “any lot, lot area, or parcel of land used, designed, or maintained for the specific purpose of storing, impounding, or keeping motor vehicles, but not including dismantling or wrecking activities.” (SMC § 13.04.140.) Vehicle storage yards expressly exclude dismantling/wrecking activities and are currently only permitted with a minor conditional use permit in the General Industrial (IG) Zone. Fleet storage and recreational vehicle storage yards are similar uses allowed with a minor conditional use permit in the IL Zone.

Upon enactment of the requested Zoning Ordinance Amendment, a minor conditional use permit may be applied for through a separate administrative review process to establish a vehicle storage yard in the IL Zone. A minor conditional use permit would authorize the Planning & Building Director to administratively review and issue a permit to operate a vehicle storage yard in the IL zone with conditions of approval that would include performance standards and requirements from the Fire Department, Engineering Department and other disciplines.

B. PROPOSED CHANGES

SMC Section 13.14.030 (“Industrial use regulations”), Section B (“Storage Trades”) would be amended to allow “Vehicle storage yards” in the Light Industrial (IL) Zone as a use permitted with a minor conditional use permit, as follows:

TABLE 13.14.030A USE REGULATIONS FOR INDUSTRIAL DISTRICTS		
USES	IL	IG
B. Storage Trades		
1. Contractors yards, subject to the provisions of Section 13.14.030 (G)	—	MC
2. Contractor (all storage of material, equipment within an enclosed building)	P	P
3. Equipment sales/rental yards	P	P
4. Fleet storage	MC	MC
5. General warehousing/wholesale and distribution	P	P
6. Self-storage, public storage	C	C
7. Trailer, truck or bus terminal	—	C
8. Vehicle storage yard	MC	MC
9. Recreational vehicle storage facility	MC	MC

C. ANALYSIS

The IL Zone is intended primarily for light industrial uses such as manufacturing, assembly, research and development and similar industrial uses, as well as limited commercial and office uses which are compatible and appropriate in this district. Site development regulations and performance standards are intended to make this district appropriate as a buffer between general industrial uses and nonindustrial uses and where the site is visible from residential areas or major transportation routes.

Fleet storage and recreational vehicle storage are currently allowed with a minor conditional use permit in the IL Zone. These storage uses would be similar in nature to vehicle storage yards and have similar considerations, including screening, lighting and surface improvements. As recreational vehicles are higher profile vehicles than the passenger vehicles in a vehicle storage yard, it can be argued that recreational vehicle storage use is more intensive in nature than that of a vehicle storage yard. Vehicle storage yards do not involve intensive processes such as wrecking or dismantling of vehicles. Impacts normally associated with intensive industrial uses such as noise, odors, or dust would be minimal or nonexistent with the proposed use. Furthermore, the requirement for a minor conditional use permit would ensure that the proposed use does not have a detrimental impact to surrounding properties or to the environment. Considerations for vehicle storage yards would include proper screening, storm water, and surface improvements. As such, the proposed Zoning Ordinance Amendment would be consistent with the intent of the IL Zone where vehicle storage yards would serve as a light industrial use providing a buffer between more intensive general industrial uses and nonindustrial uses.

D. ENVIRONMENTAL DETERMINATION

The proposed ordinance, which would amend Title 13 of the Santee Municipal Code, is exempt from the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines Section 15305. The proposed ordinance modifying a land use category constitutes a minor change in land use limitations and is consistent with Section 15305 of the CEQA Guidelines. None of the exceptions to use of the exemption found in CEQA Guidelines Section 15300.2 apply to the ordinance.

E. STAFF RECOMMENDATION

1. Conduct and close the public hearing; and
2. Find that the Ordinance is exempt from the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines Section 15305; and
3. Introduce the Ordinance for first reading and schedule the Ordinance for a second reading on December 13, 2023.

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, AMENDING TITLE 13 (“ZONING ORDINANCE”) MODIFYING “VEHICLE STORAGE YARD” FROM A USE THAT IS CURRENTLY PROHIBITED TO A USE THAT IS PERMITTED WITH A MINOR CONDITIONAL USE PERMIT IN THE LIGHT INDUSTRIAL (IL) ZONE AND APPROVING AN EXEMPTION FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) IN ACCORDANCE WITH SECTION 15305 OF THE CEQA GUIDELINES (CASE FILE: ZOA-2023-0001)

WHEREAS, vehicle storage yards are currently prohibited in the Light Industrial (IL) Zone: and

WHEREAS, the proposed Zoning Ordinance Amendment would allow vehicle storage yards in the IL Zone upon issuance of a minor conditional use permit; and

WHEREAS, existing development and performance standards and special conditions imposed as part of a minor conditional use permit would ensure that vehicle storage yards in the IL Zone are not detrimental to surrounding properties and the environment; and

WHEREAS, conditionally permitted vehicle storage yards in the IL Zone would be consistent with the intent of the IL zone and serve as a light industrial use that would provide a buffer between more intensive general industrial uses and nonindustrial uses; and

WHEREAS, conditionally permitted vehicle storage yards in the IL Zone are similar in nature and intensity as fleet storage yards and recreational vehicle storage yards, which are currently permitted with a minor conditional use permit in the IL Zone; and

WHEREAS, conditionally permitted vehicle storage yards in the IL Zone would not result in significant noise, traffic, odor or dust impacts associated with intensive industrial uses and would not be detrimental to the public health, safety, and welfare; and

NOW, THEREFORE, the City Council of the City of Santee, California, does ordain as follows:

SECTION 1. The City Council finds that this Ordinance is exempt from the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines Section 15305.

State CEQA Guidelines Section 15305 exempts minor alterations in land use limitations. Here, the Ordinance modifying a land use category of similar intensity to currently listed conditionally permitted uses in the same zoning district constitutes a minor change in land use limitations and is consistent with Section 15305 of the CEQA Guidelines. None of the exceptions to the exemption found in State CEQA Guidelines Section 15300.2 apply to the Ordinance.

ORDINANCE NO. _____

SECTION 2. The City Council hereby finds that all of the foregoing recitals and the staff report presented herewith are true and correct and are hereby incorporated and adopted as findings of the City Council as if fully set forth herein.

SECTION 3. Title 13 (“Zoning Ordinance”) of the Santee Municipal Code is hereby amended with the following modifications to Section 13.14.030 (“Industrial use regulations”):

Section 13.14.030 (“Industrial use regulations”)

TABLE 13.14.030A USE REGULATIONS FOR INDUSTRIAL DISTRICTS is hereby amended to modify subsection B.8 to allow vehicle storage yards in the Light Industrial (IL) District as a use permitted with a minor conditional use permit, to read as follows:

USES	IL	IG
8. Vehicle storage yard	MC	MC

SECTION 4. Severability. If any section, subsection, subdivision, sentence, clause, phrase, or portion of this Ordinance for any reason is held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance. The City Council hereby declares that it would have adopted this Ordinance, and each section, subsection, subdivision, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, subdivisions, sentences, clauses, phrases, or portions thereof be declared invalid or unconstitutional.

SECTION 5. Upon adoption of the Ordinance, the modified text shown shall be incorporated into the Zoning Ordinance.

SECTION 6. This Ordinance shall become effective thirty (30) days after its passage.

SECTION 7. The City Clerk is hereby directed to certify the adoption of this ordinance, to file a Notice of Exemption, and cause the same to be published as required by law.

ORDINANCE NO. _____

INTRODUCED AND FIRST READ at a Regular Meeting of the City Council of the City of Santee, California, on the 8th day of November, 2023 and thereafter **ADOPTED** at a Regular Meeting of said City Council held on the 13th day of December, 2023, by the following vote to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

ANNETTE ORTIZ, CMC, CITY CLERK

MEETING DATE November 8, 2023


ITEM TITLE PUBLIC HEARING FOR CONDITIONAL USE PERMIT P2022-5 FOR A 4,307-SQUARE-FOOT CHURCH FACILITY AND RELATED SITE IMPROVEMENTS ON A 0.61-ACRE VACANT LOT LOCATED AT 9300 PIKE ROAD (APN 380-112-08) IN THE NEIGHBORHOOD COMMERCIAL ZONE (NC) AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO THE CLASS 32 INFILL EXEMPTION. (APPLICANT: ST. NICHOLAS DIOCESE IN CHICAGO FOR THE UKRAINIANS).

DIRECTOR/DEPARTMENT Sandi Sawa / Planning & Building Department 

SUMMARY The proposed project is a request by St. Nicholas Diocese in Chicago for the Ukrainians for a Conditional Use Permit for a church facility on a 0.61-acre vacant lot located at 9300 Pike Road (northwest corner of Carlton Oaks Drive and Pike Road) within the Neighborhood Commercial (NC) zone. The 4,307-square-foot church facility would consist of a main 2,021-square-foot sanctuary building with a height of 51 feet, 11 inches, a 2,091-square-foot social hall with a height of 18 feet, 9 inches and a 195-square-foot connecting breezeway. The main sanctuary building would include 76 fixed seats. The social hall would include a kitchen, an administrative office, and restrooms. Site development includes a 19-space parking lot, retaining walls, a biofiltration basin, landscaping and a 6-foot high decorative masonry wall to provide screening from adjoining homes. Access to the site would be from a new driveway on Carlton Oaks Drive and one on Pike Road.

The proposed church would introduce the Ukrainian Baroque architectural style, with gold painted aluminum domes and crosses, asphalt shingle roofs, gold painted fascia, and white exterior walls. The existing surrounding land uses include single-family homes, apartments, an office building and a shopping center. Issues analyzed in the Staff Report focus on neighborhood compatibility through architectural design and building orientation, traffic management, noise reduction measures and drainage.

ENVIRONMENTAL REVIEW The project is exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Section 15332; Class 32 of the CEQA Guidelines (In-fill Development), because the project is consistent with the General Plan and Zoning Ordinance, is located in an urbanized area on property less than five acres, has no habitat value, would not result in any significant effects on traffic, noise, air quality or water quality, and can be served by all required utilities and public services. None of the exceptions to the Class 32 exemption found in State CEQA Guidelines Section 15300.2 apply to the project.

FINANCIAL STATEMENT  Staff costs for application processing are paid on an actual cost recovery basis. Development Impact Fees are estimated to total \$84,565.23.



CITY ATTORNEY REVIEW

N/A Completed

RECOMMENDATION

MSB

- 1) Conduct and close the public hearing.
- 2) Find Conditional Use Permit P2022-5 Categorically Exempt from the provisions of CEQA pursuant to Section 15332 of the CEQA Guidelines and authorize the filing of a Notice of Exemption; and
- 3) Approve Conditional Use Permit P2022-5 per the attached Resolution.

ATTACHMENTS

Staff Report
Aerial Vicinity Map
Project Plans
Class 32 CEQA Exemption Analysis
Resolution

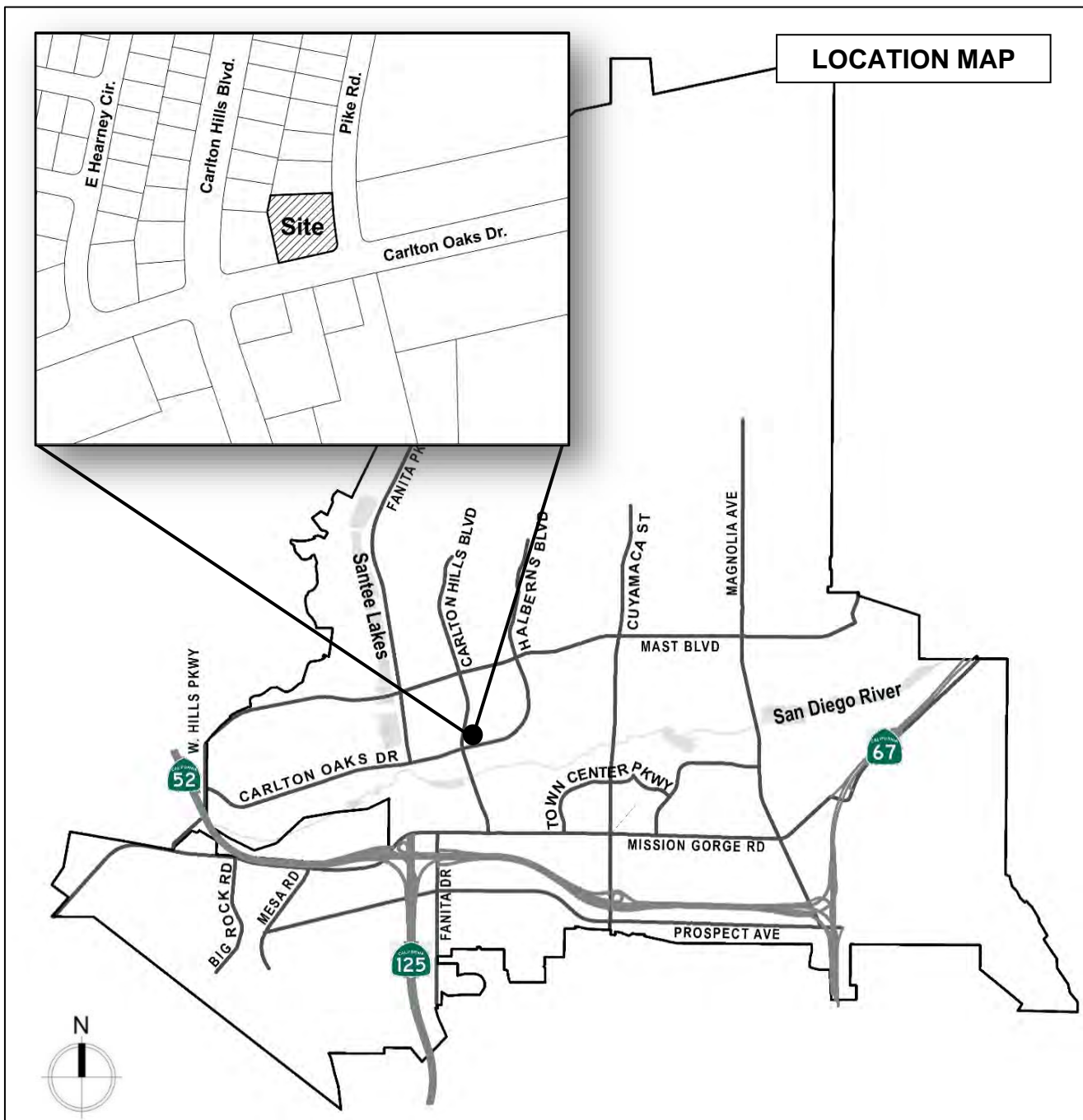
STAFF REPORT

PUBLIC HEARING FOR A CONDITIONAL USE PERMIT P2022-5 FOR 4,307 SQUARE FOOT CHURCH FACILITY AND RELATED SITE IMPROVEMENTS ON A 0.61 ACRE VACANT LOT LOCATED AT 9300 PIKE ROAD (APN 380-112-08) IN THE NEIGHBORHOOD COMMERCIAL ZONE (NC) AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO THE CLASS 32 INFILL EXEMPTION.

APPLICANT: ST. NICHOLAS DIOCESE IN CHICAGO FOR THE UKRAINIANS

**CITY COUNCIL MEETING
NOVEMBER 8, 2023**

Notice of the Public Hearing was published in the East County Californian on October 27, 2023, and 24 adjacent owners or residents of property within 300 feet of the request and other interested parties were notified by U.S. Mail on October 26, 2023.



A. SITUATION AND FACTS

1. Requested by Saint Nicholas Diocese in Chicago for the Ukrainians
2. Land Owner..... Saint Nicholas Diocese in Chicago for the Ukrainians
3. Type and Purpose of Request Conditional Use Permit for a 4,307 square feet church facility.
4. Location 9300 Pike Road
5. Site Area 0.61 acre
6. Number of lots One
7. Hillside Overlay No
8. Existing Zoning..... Neighborhood Commercial (NC)
9. Surrounding Zoning North: Low-Medium Density Residential (R-2)
South: Neighborhood Commercial (NC)
East: Medium Density Residential (R-7)
West: Neighborhood Commercial (NC)
10. General Plan Designation Neighborhood Commercial (NC)
11. Existing Land Use..... Vacant
12. Surrounding Land Use..... North: Single-family homes
South: Carlton Oaks Plaza Shopping Center
East: Apartment complex and Carlton Hills Elementary School
West: Office building and single-family homes
13. Terrain Gradual downward slope from north to south
14. Environmental Status The project is exempt from the California Environmental Quality Act (“CEQA”) pursuant to the State CEQA Guidelines Section 15332, In-Fill Development
15. APN..... 380-112-08-00
16. Within Airport Safety Zone..... Not within an Airport Safety Zone.

B. BACKGROUND

Existing Conditions:

The 0.61 acre project site is located at 9300 Pike Road, at the northwest corner of Carlton Oaks Drive and Pike Road, and approximately 200 feet east of Carlton Hills Boulevard. The site is vacant and surrounded by development. The project site is adjacent to single-family homes to the north, an apartment complex (Carlton Country Club Villas) to the east, the Carlton Oaks Plaza Shopping Center across the street to the south, and an office building to the west.

C. PROJECT DESCRIPTION

Overview:

The project is a request for a Conditional Use Permit for a 4,307 square-foot church facility. The church facility would consist of a main 2,021 square-foot sanctuary building, a 2,091 square-foot social hall, and a connecting breezeway. The main sanctuary building would include 76 fixed seats. The social hall would include a kitchen, an administrative office, and restrooms. The church would serve a small congregation of about 100 members. One main church liturgy service (mass) would be conducted at 10 a.m. each Sunday, with an evening prayer service offered each Saturday at 7 p.m. The church service would be without amplified sound or music. The social hall would primarily be used for prayer groups and gatherings for coffee after Sunday mass.

The proposed church would introduce the Ukrainian Baroque architectural style, with gold painted aluminum domes and crosses, asphalt shingle roofs, gold painted fascia, and white exterior walls. The main church building would be crowned with gold-colored aluminum domes and crosses. The architectural design is consistent with the traditions of the Ukrainian Catholic Church.



West elevation (looking from parking lot)

The project would include a surface parking lot with one two-way driveway along Carlton Oaks Drive for ingress/egress and one one-way driveway along Pike Road for ingress. The surface parking lot includes 19 parking spaces, including two electric vehicle spaces, one clean air space, and one accessible space. Proposed public improvements include fully landscaped parkways on the project frontage along Carlton Oaks Drive and Pike Road. A six-foot-high wall with a landscape buffer would be provided on the northern

project boundary that is adjacent to a single-family home.

D. ANALYSIS

Consistency with Development Standards

This proposed church facility would be consistent with the development standards of the Neighborhood Commercial (NC) Zone. The main church sanctuary building would have a maximum height of 51 feet 11 inches, which includes the dome and cross. The base height for the NC Zone is 40 feet and 25 feet when located within 50 feet of a residential zone. The footprint of the main church sanctuary building would be placed approximately 95 feet from a residential zone and would be subject to the 40 foot building height allowance. However, architectural appurtenances to churches and other religious institutions involving a steeple, or cross, or similar design elements, may exceed the maximum height of the base district if it is determined through the conditional use permit process that architectural compatibility and appropriate building scale are achieved and maintained. For similar projects situated near residential neighborhoods, architectural projections of up to 15 feet above the base height allowance have been considered acceptable in terms of neighborhood architectural compatibility and appropriateness of building scale. The proposed church would have projections exceeding the base height allowance by a maximum 11 feet, 11 inches and therefore would be considered acceptable in terms of neighborhood architectural compatibility and appropriate building scale. The proposed social hall, which is partially within the 50 foot setback near a residential zone, would have a height of 18 feet, 9 inches, which is under the maximum height allowance of 25 feet. The church buildings would also meet the minimum front, side, and rear yard setbacks as summarized in the table below.

Table 1: Development Standards Summary for the Neighborhood Commercial Zone

	Required	Proposed Project
Maximum Height	40 feet (25 feet within 50 feet of residential zone)	51 feet 11 inches
Total Parking	19 parking spaces (one per four fixed seats)	19 parking spaces
EV Parking	1 space (5%)	2 spaces
Setbacks (Main Buildings)		
Streets	10 feet along Carlton Oaks Drive and Pike Road	Carlton Oaks Drive: 17 feet Pike Road: 10 feet
Interior side	20 feet (adjacent to residential zone)	47 feet
Rear	5 feet	85 feet

Parking & Access

Section 13.24.040.B.7.g of the Santee Municipal Code requires churches to provide parking at a ratio of one parking space for every four fixed seats for the main auditorium or sanctuary. The project would provide 19 parking spaces for the 76 fixed seats that are proposed within the main sanctuary. The site plan shows 19 parking spaces, including two electric vehicle spaces, one clean air space, and one accessible space. In addition, parking lot screening would be provided with landscaping in accordance with Santee Municipal Code Section 13.24.030.A.8. Access to the site from Carlton Oaks Drive is via a two-way, 26-foot wide driveway, and access from Pike Road is via an ingress-only, 16-foot-wide driveway.

Landscaping:

Landscaping is required within all setback areas and must also be incorporated into the parking lot. The design includes landscaping strips around the perimeter of the site and a landscape buffer of approximately 20 feet on the northern end of the site adjoining the residential homes. Additionally, the site will include landscaped parkways along Carlton Oaks Drive and Pike Road. The development would include approximately 8,223 square feet (30.9% of the site) of landscaping throughout the project site, including 12 shade and accent trees, a variety of shrubs and groundcover, a bio-filtration basin, and sidewalk landscape buffer.

Noise

Construction noise: Construction noise levels are anticipated to range from 58 to 73 decibels at the adjacent properties in accordance with a Noise Analysis completed for the project by RECON Environmental (dated October 30, 2023). Although the existing adjacent uses would be exposed to construction noise levels that could be heard above ambient conditions, the exposure would be temporary. The project would not require construction equipment that has a manufacturer's noise rating of 85 decibels or higher. In accordance with Section 5.04.090 of the Santee Municipal Code, the project has been conditioned to avoid construction activities before 7:00 a.m. or after 7:00 p.m. on Mondays through Saturdays and at any time on Sundays and holidays.

Operational noise: Operational noise sources after construction would include vehicles arriving and leaving associated with church activities, landscape maintenance machinery and other noise sources that would be similar to noise sources from adjacent land uses. The social hall would be used for small church gatherings and events such as weddings, funerals, and baptisms. Gatherings and events would be contained within the building and would not use the parking lot for event space. The project would not have amplified music or musical instruments. However, an acapella choir would perform in the sanctuary. In addition, the proposed church does not include outdoor bells, and the sanctuary windows would be fixed to minimize noise effects. In additional, a condition of approval requires any church services to be conducted between 7:00 a.m. and 10 p.m. As such, operational noise impacts to surrounding properties would be consistent with residential noise standards.

Traffic

The City of Santee Vehicle Miles Travelled (VMT) Analysis Guidelines (2022) determines if a proposed project is required to conduct a VMT analysis. The Guidelines state that houses of worship are considered locally serving development projects, which are considered to have less-than-significant impacts to the transportation system, and therefore would not be required to conduct a Vehicle Miles Travelled (VMT) analysis. Churches generate 9 trips per 1,000 square feet (SANDAG 2002) for a total of 40 average daily trips for the proposed church. The proposed church would be placed along Carlton Oaks Drive, which is classified as a collector street in the Mobility Element of the General Plan and designed to adequately handle traffic from neighborhood commercial uses such as the proposed church.

Soils and Grading:

A Geotechnical Evaluation was prepared for the project by GeoTek, Inc. (dated September 17, 2023) which determined that given appropriate building code requirements and implementation of the recommendations of the geotechnical engineer, there are no significant impacts associated with grading and construction of the project.

Drainage and Water Quality

Proposed site drainage would convey on-site runoff from roofs, walkways, landscaping, and driveways through the parking lots and concentrate at the proposed gutter on the western side of the parking lot. Runoff would be collected and discharged into the best management practice (BMP) facility for treatment/flow control. Overflow discharge capacity from the BMP device would be discharged into the dry seasonal creek (existing riprap) and transfer into the existing 36-inch corrugated metal pipes public storm drain at the southwest corner of the site.

General Plan and Zoning Ordinance Consistency:

This site has a General Plan land use designation and zoning classification of Neighborhood Commercial (NC). The NC designation is intended to provide areas for day-to-day convenience shopping and services for the residents of the immediate neighborhood. Site development regulations and performance standards are intended to make such uses compatible to and harmonious with the character of surrounding residential. A church is a conditional use in the Neighborhood Commercial Zone. Development standards are set forth by the Zoning Ordinance and as a conditional use, additional operational and performance standards have been placed on the proposed church use to ensure that it is compatible with the surrounding neighborhood. Civic uses such as schools and churches, are considered compatible with neighborhood commercial and immediately surrounding residential uses.

The existing surrounding land uses are single-family residences, multi-family residences, and commercial uses. The nearest residence to the north is located 53 feet from the church building and is eight feet higher in elevation than the church pad. To the east, approximately 90 feet away from the church, there is a multifamily apartment complex across Pike Road. To the west is an adjoining office building fronting Carlton Oaks Drive.

As a church with 76 fixed seats and limited weekend services, the church would be

characterized as a small church with minimal traffic and noise impacts, and as such would not be detrimental to the surrounding neighborhood. Furthermore, the project is compatible with surrounding land uses because the project is designed or conditioned as follows: 1) the project site elevation is generally below that of nearby homes, lessening the potential for visual impacts; 2) the main church building is separated as far as possible from existing residential uses and buffered from the nearest residential home with perimeter landscaping; 3) the church facility is situated along Carlton Oaks Drive, a street classified as a collector street in the Mobility Element of the General Plan, and suitable to accommodate traffic from the proposed church; 4) conditions of approval require downshielded lighting away from adjoining properties; 5) conditions of approval require construction activities to not be conducted before 7:00 a.m. or after 7:00 p.m. on Mondays through Saturdays and at any time on Sundays and holidays; and 6) conditions of approval require church services to be conducted between 7:00 a.m. and 10 p.m.

Environmental Status

The proposed project is exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to Section 15332; Class 32 of the CEQA Guidelines (In-fill Development), because the project is consistent with the General Plan and Zoning Ordinance, is located in an urbanized area on property less than five acres, has no habitat value, would not result in any significant effects on traffic, noise, air quality or water quality, and can be served by all required utilities and public services.

Development Impact Fees

The proposed development would trigger development impact fees as listed below:

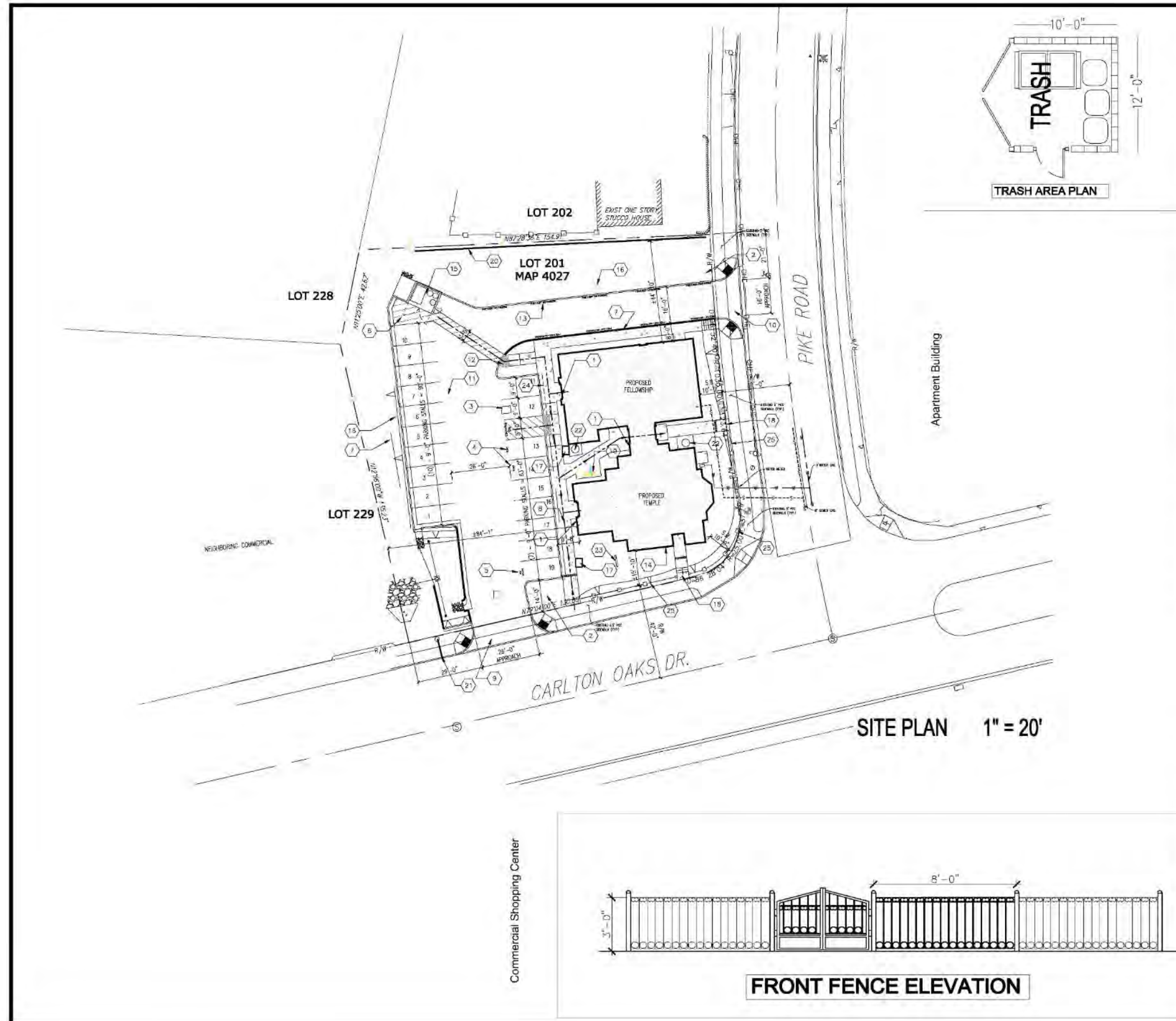
Drainage	\$34,724.29
Traffic.....	\$42,918.22
<u>Traffic Signal.....</u>	<u>\$6,922.72</u>
Total	\$84,565.23

E. STAFF RECOMMENDATION

- 1) Conduct and close the public hearing; and
- 2) Find Conditional Use Permit P2022-5 Categorically Exempt from the provisions of CEQA pursuant to Section 15332 of the CEQA Guidelines and authorize the filing of a Notice of Exemption; and
- 3) Approve Conditional Use Permit P2022-5 per the attached Resolution.

AERIAL VICINITY MAP
Ukrainian Catholic Church – 9300 Pike Road
Conditional Use Permit P2022-5





KEYNOTES:

1. ACCESSIBLE ENTRANCE SIGN LOCATION
2. ACCESSIBLE VEHICLE ENTRANCE SIGN LOCATION
3. ACCESSIBLE PARKING LOCATION
4. EVCS PARKING STALLS
5. CLEAN AIR PARKING STALL
6. MOTORCYCLE PARKING
7. RETAINING WALL PER CIVIL PLANS
8. 5'-0" WIDE TYPICAL 4" THICK CONCRETE WALK W/ BROOM FINISH
9. 28'-0" WIDE CONCRETE APPROACH AND SIDEWALK W/ 2' VEHICLE O.H
10. 16'-0" WIDE CONCRETE APPROACH AND SIDEWALK
11. ASPHALT CONCRETE PAVE- TYP.
12. 36 INCHES WIDE TRUNCATED DOME AT DISABLED PATH CROSSING INTO TRAFFIC (TYP.)
13. "FIRE LANE NO PARKING" DESIGNATED ZONE WITH 8" WIDE RED STRIP AND LETTERS TO BE WHITE 6"X6"
14. ADDRESS NUMERALS LOCATION - 12" TALL NUMERALS SHALL CONTRAST WITH THE COLOR BACKGROUND
15. 10'-0" X 12'-0" TRASH ENCLOSURE W/ 2YD BULK TRASH & RECYCLE CANS
16. 15' HIGH AREA LIGHTING - ALL LIGHTS SHALL BE DIRECTED AND / OR SHIELDED TO PREVENT THE LIGHT FROM ADVERSELY AFFECTING ADJACENT PROPERTIES.
17. DECORATIVE EXTERIOR LED LIGHT FIXTURE - ALL LIGHTS SHALL BE DIRECTED AND / OR SHIELDED TO PREVENT THE LIGHT FROM ADVERSELY AFFECTING ADJACENT PROPERTIES.
18. 3'-0" HIGH W.I. GATE
19. BICYCLE RACK LOCATION (2) SPACE MINIMUM
20. PROPOSED 5' HIGH MASONRY WALL
21. NEW STREET LIGHT, VERIFY LOCATION
22. PROPOSED HVAC CONDENSER WITH LANDSCAPE SCREEN
23. SIGNAGE LOCATION (REQUIRES SEPARATE PERMIT)
24. LINE OF 2' VEHICLE O.H.
25. 3'-0" HIGH W.I. FENCE

PROJECT DESCRIPTION
 OCCUPANCY: A-3
 CONSTRUCTION TYPE: V-B
 ONE STORY
 SPRINKLERS: YES
 BUILDING AREA: 4,415.00 SQ. FT.
PARKING SHOWN
 (15) - 9'-0" X 19'-0" TYP. PARKING STALLS
 (2) - 9'-0" X 19'-0" EVCS PARKING STALLS
 (1) - 9'-0" X 19'-0" CLEAN AIR PARKING STALL
 (1) - 9'-0" X 19'-0" ACCESSIBLE PARKING STALL
 TOTAL PARKING SHOWN = 19 PARKING SPACES SHOWN

LOT COVERAGE
 4,415.00 SQ. FT. / 26,577.00 SQ. FT. = (16.60%)

- NOTES:**
1. HOURS OF OPERATION PROPOSED: SATURDAY 5PM TO 7PM, SUNDAYS 8AM TO 2PM
 2. PROVIDE 6" CURB OR 6" CURB AND GUTTER AT ALL LANDSCAPE PLANTER TO VEHICLE AREAS PER GRADING / SITE IMPROVEMENT PLAN.
 3. PROVIDE FIRE SPRINKLERS IN BUILDING PER FIRE DEPARTMENT.
 4. COMMERCIAL AND INDUSTRIAL STREET ADDRESSES SHALL BE POSTED WITH A MINIMUM 12" NUMBERS VISIBLE FROM THE STREET. DURING THE HOURS OF DARKNESS THEY SHALL BE INTERNALLY OR EXTERNALLY, ELECTRICALLY ILLUMINATED. POSTED NUMBERS SHALL CONTRAST WITH THE BACKGROUND USED AND BE LEGIBLE FROM THE STREET.
 5. CROSS SLOPE AT ANY LOCATION ON PATH OF TRAVEL TO BE LESS THAN 2.0%
 6. ALL NEW RAMPS SHALL BE LESS THAN 8.3%
 7. PROJECT SHALL COMPLY WITH CITY STANDARDS.
- INDICATES ACCESSIBLE PATH OF TRAVEL SHALL HAVE MAXIMUM SLOPE OF 5.0%; AND CROSS SLOPE OF 2.0% WITH MINIMUM 36" CLEAR WIDTH.

REVISIONS	DATE

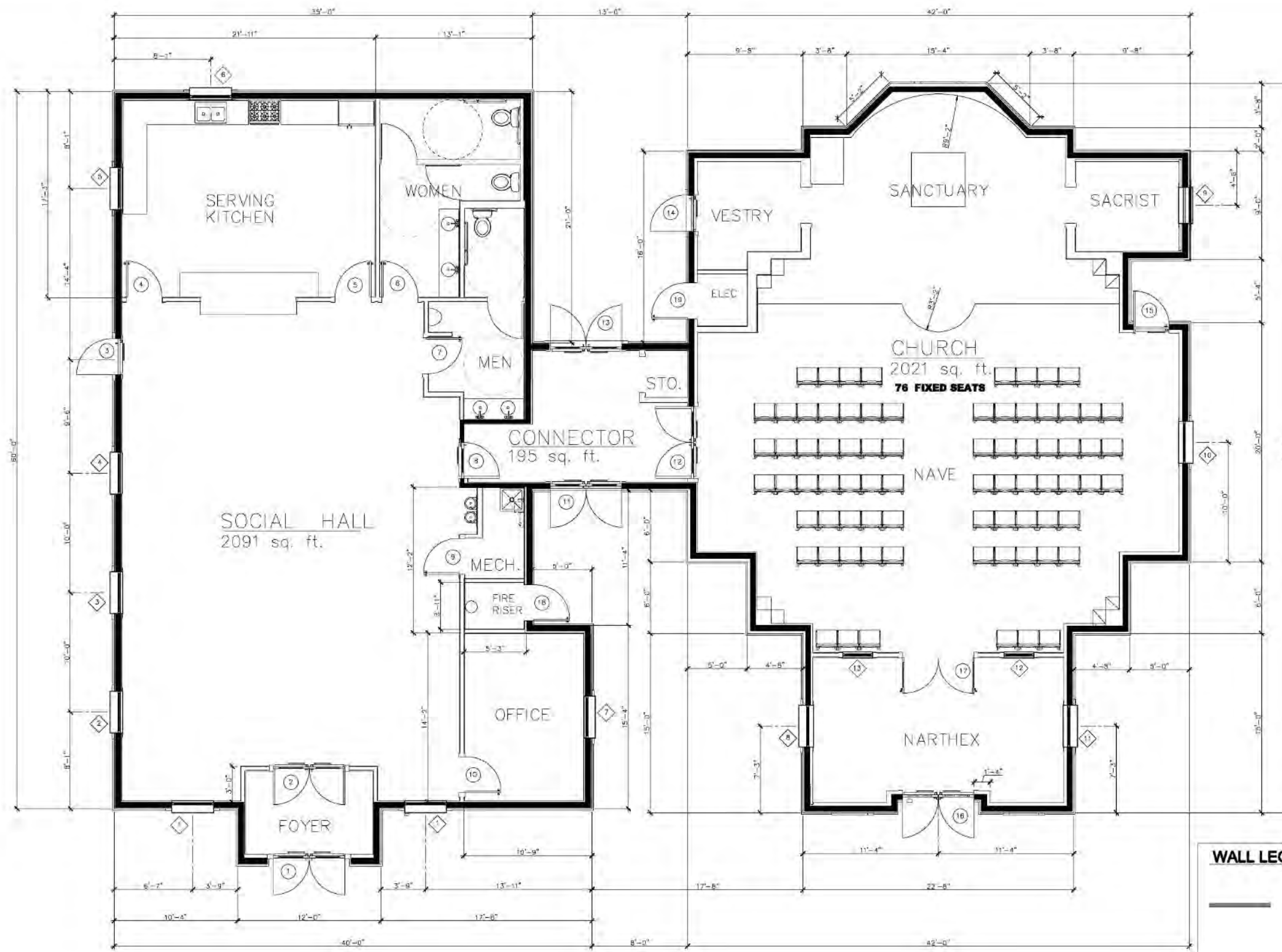
NEW CHURCH & SOCIAL HALL:
ST JOHN THE REDEMER
 9308 Carlton Oaks Drive
 Santee, CA

DESIGNER:
ROBERT LATSKO
 94552 Hazelton
 Redford, MI 48239
 734-396-3226

SPM **STEVEN PAUL MURRAY**
ARCHITECT & ASSOCIATES
A R C H I T E C T
 1177 Idaho St., Suite 200A, Redlands, Ca 92374 (909) 884-7660

DATE: 3/13/2023
 DRAWN BY: T. BARKER
 JOB NO.: 23-01

SHEET: AS-101



WALL LEGEND:

FLOOR PLAN

FLOOR PLAN

REVISIONS	DATE

NEW CHURCH & SOCIAL HALL:
ST JOHN THE REDEMER
 9308 Carlton Oaks Drive
 Santee, CA

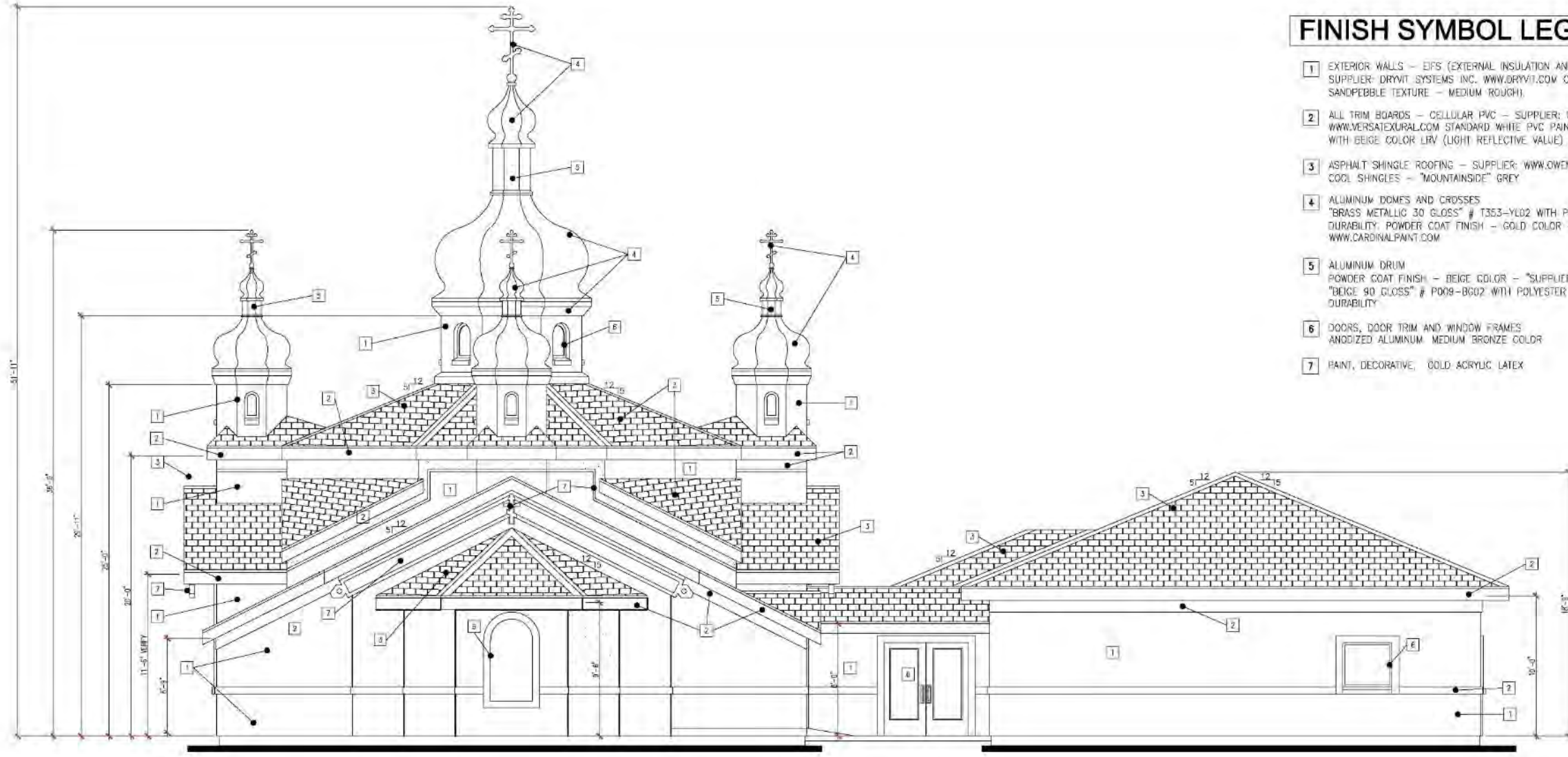
DESIGNER:
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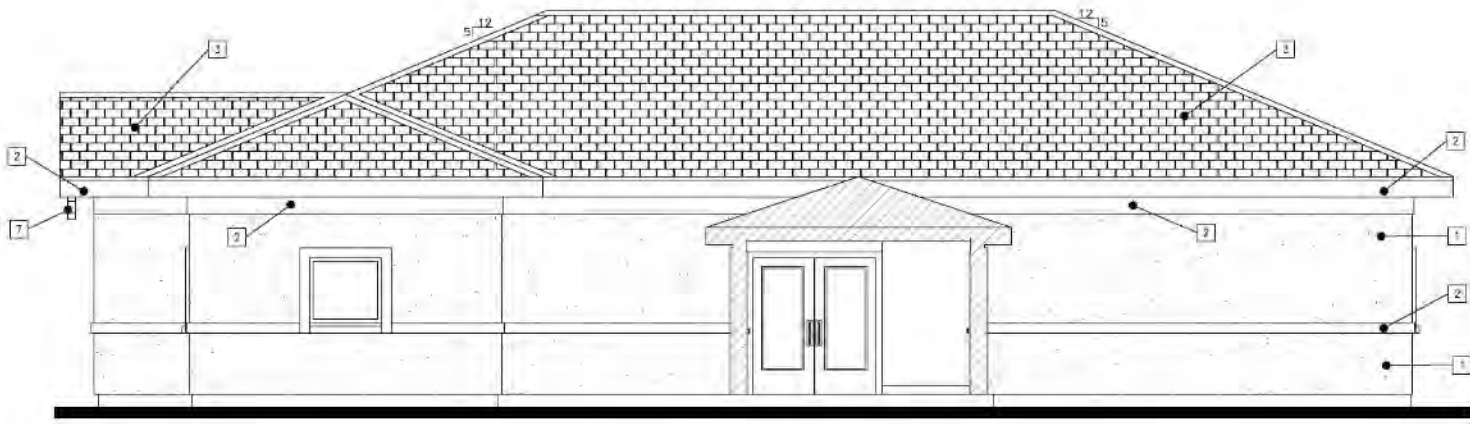


DATE: 3/13/2023
 DRAWN BY: T. BARKER
 JOB NO.: 23-01

SHEET
A-101



1 EAST ELEVATION
1/4" = 1'-0"



2 SOCIAL HALL SOUTH ELEVATION
1/4" = 1'-0"

FINISH SYMBOL LEGEND

- 1 EXTERIOR WALLS - EIFS (EXTERNAL INSULATION AND FINISH SYSTEM)
SUPPLIER: DRYVIT SYSTEMS INC. WWW.DRYVIT.COM COLOR #310 (CHINA WHITE - SANDPEBBLE TEXTURE - MEDIUM ROUGH)
- 2 ALL TRIM BOARDS - CELLULAR PVC - SUPPLIER: WWW.VERSATEX.COM & WWW.VERSATEXURAL.COM STANDARD WHITE PVC PAINTED WITH 100% ACRYLIC LATEX WITH BEIGE COLOR LRV (LIGHT REFLECTIVE VALUE) 53
- 3 ASPHALT SHINGLE ROOFING - SUPPLIER: WWW.OWENSCORNING.COM TYPE: DURATION COOL SHINGLES - "MOUNTAINSIDE" GREY
- 4 ALUMINUM Domes AND CROSSES
"BRASS METALLIC 30 GLOSS" # T353-YL02 WITH POLYESTER CLEAR TOP-COAT FOR DURABILITY. POWDER COAT FINISH - GOLD COLOR - SUPPLIER: CARDINAL PAINT, WWW.CARDINALPAINT.COM
- 5 ALUMINUM DRUM
POWDER COAT FINISH - BEIGE COLOR - SUPPLIER: CARDINAL PAINT, "BEIGE 90 GLOSS" # P009-BG02 WITH POLYESTER CLEAR TOP-COAT FOR DURABILITY
- 6 DOORS, DOOR TRIM AND WINDOW FRAMES
ANODIZED ALUMINUM MEDIUM BRONZE COLOR
- 7 PAINT, DECORATIVE, GOLD ACRYLIC LATEX

REVISIONS	DATE

NEW CHURCH & SOCIAL HALL:
ST JOHN THE REDEMER
 9308 Carlton Oaks Drive
 Santee, CA

DESIGNER:
ROBERT LATSKO
 94562 Hazelton
 Redford, MI 48239
 734-396-3226

SPM
STEVEN PAUL MURRAY
ARCHITECT & ASSOCIATES
A R C H I T E C T
 1177 Idaho St., Suite 200A, Redlands, Ca 92374 (909) 864-7660

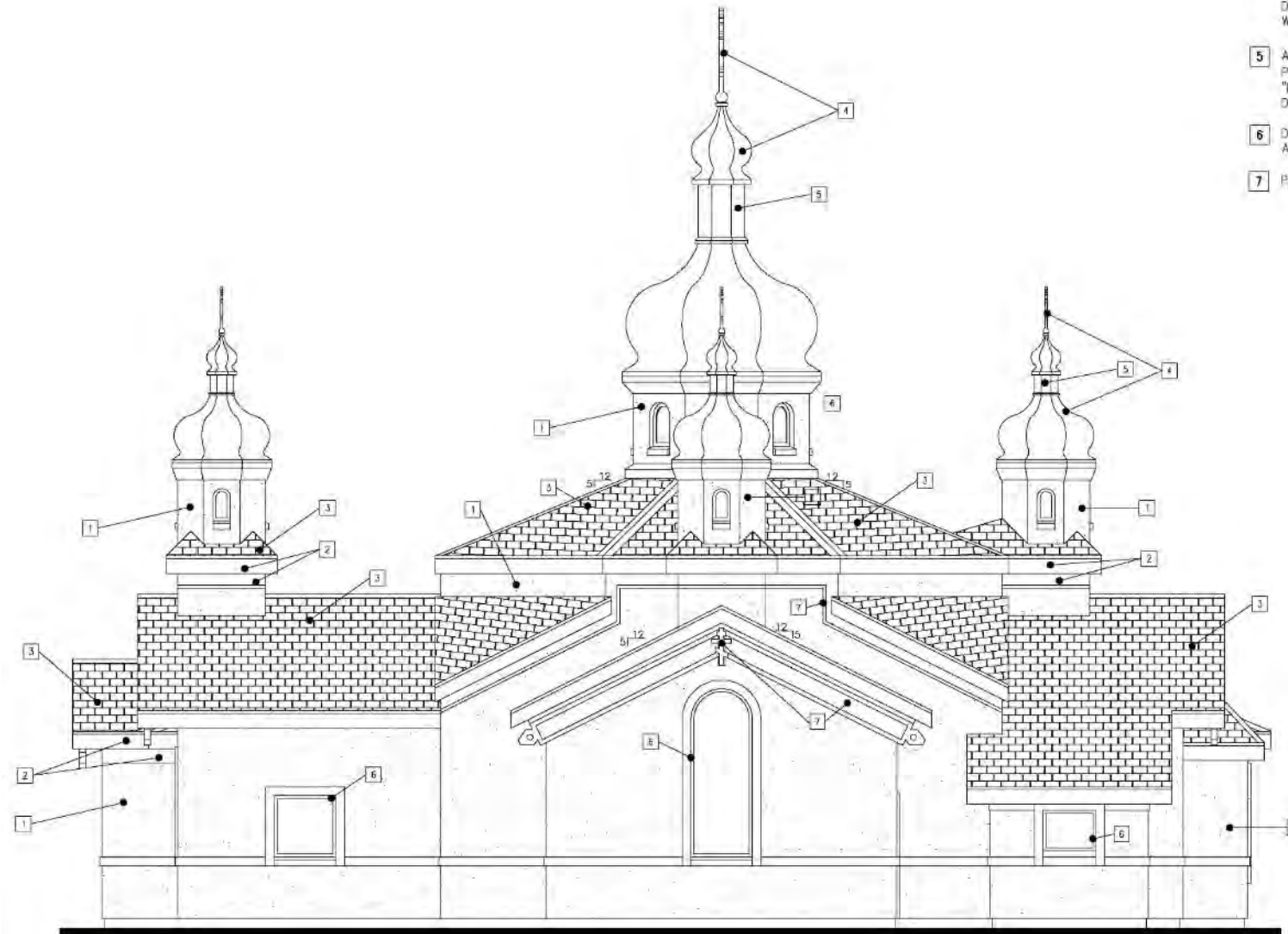


DATE: 3/13/2023
 DRAWN BY: T. BARKER
 JOB NO.: 23-01

SHEET
A-201

FINISH SYMBOL LEGEND

- 1 EXTERIOR WALLS - EIFS (EXTERNAL INSULATION AND FINISH SYSTEM)
SUPPLIER: DRYVIT SYSTEMS INC. WWW.DRYVIT.COM COLOR #310 (CHINA WHITE - SANDPEBBLE TEXTURE - MEDIUM ROUGH).
- 2 ALL TRIM BOARDS - CELLULAR PVC - SUPPLIER: WWW.VERSATEX.COM & WWW.VERSATEXURAL.COM STANDARD WHITE PVC PAINTED WITH 100% ACRYLIC LATEX WITH BEIGE COLOR LRV (LIGHT REFLECTIVE VALUE) 53
- 3 ASPHALT SHINGLE ROOFING - SUPPLIER: WWW.OWENSCORNING.COM TYPE: DURATION COOL SHINGLES - "MOUNTAINSIDE" GREY
- 4 ALUMINUM DOMES AND CROSSES
"BRASS METALLIC 30 GLOSS" # T353-YLD2 WITH POLYESTER CLEAR TOP-COAT FOR DURABILITY. POWDER COAT FINISH - GOLD COLOR - "SUPPLIER: CARDINAL PAINT, WWW.CARDINALPAINT.COM
- 5 ALUMINUM DRUM
POWDER COAT FINISH - BEIGE COLOR - "SUPPLIER: CARDINAL PAINT, "BEIGE 90 GLOSS" # P009-BG02 WITH POLYESTER CLEAR TOP-COAT FOR DURABILITY
- 6 DOORS, DOOR TRIM AND WINDOW FRAMES
ANODIZED ALUMINUM MEDIUM BRONZE COLOR
- 7 PAINT, DECORATIVE, GOLD ACRYLIC LATEX



7 SOUTH ELEVATION
1/17 - 1/18

REVISIONS	DATE

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 Santee, CA

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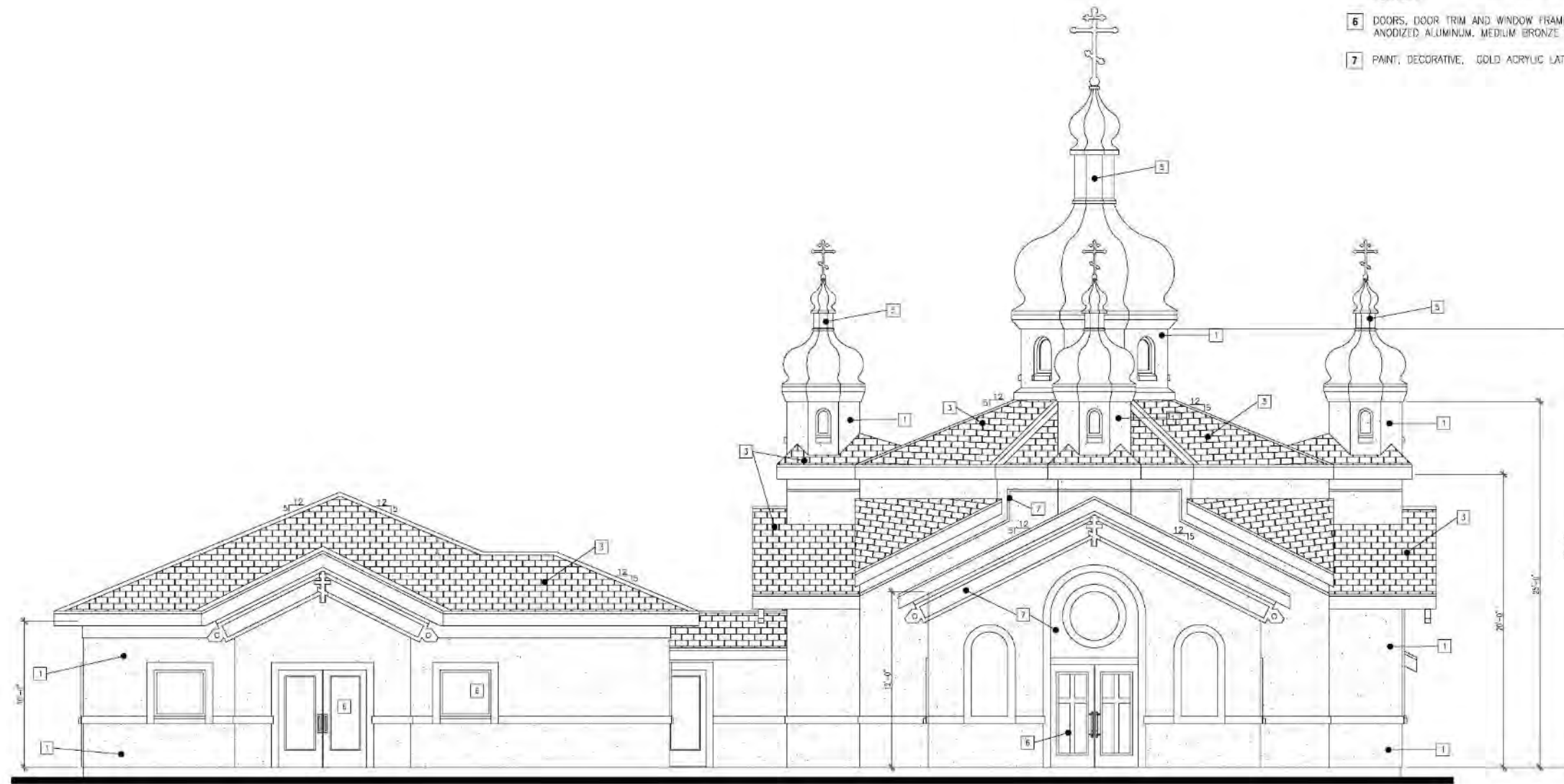


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 DRAWN BY: T. BARKER
 JOB NO.: 23-01

SHEET
A-202

FINISH SYMBOL LEGEND

- 1 EXTERIOR WALLS - EIFS (EXTERNAL INSULATION AND FINISH SYSTEM)
SUPPLIER: DRYVIT SYSTEMS INC. WWW.DRYVIT.COM. COLOR #310 (CHINA WHITE - SANDPEBBLE TEXTURE - MEDIUM ROUGH).
- 2 ALL TRIM BOARDS - CELLULAR PVC - SUPPLIER: WWW.VERSATEX.COM & WWW.VERSATEXURAL.COM STANDARD WHITE PVC PAINTED WITH 100% ACRYLIC LATEX WITH BEIGE COLOR LRV (LIGHT REFLECTIVE VALUE) 53
- 3 ASPHALT SHINGLE ROOFING - SUPPLIER: WWW.OWENSCORNING.COM TYPE: DURATION COOL SHINGLES - "MOUNTAINSIDE" GREY
- 4 ALUMINUM DOMES AND CROSSES
"BRASS METALLIC 30 GLOSS" # T353-YL02 WITH POLYESTER CLEAR TOP-COAT FOR DURABILITY. POWDER COAT FINISH - GOLD COLOR - "SUPPLIER: CARDINAL PAINT, WWW.CARDINALPAINT.COM
- 5 ALUMINUM DRUM
POWDER COAT FINISH - BEIGE COLOR - "SUPPLIER: CARDINAL PAINT, "BEIGE 90 GLOSS" # P009-BG02 WITH POLYESTER CLEAR TOP-COAT FOR DURABILITY
- 6 DOORS, DOOR TRIM AND WINDOW FRAMES
ANODIZED ALUMINUM, MEDIUM BRONZE COLOR
- 7 PAINT, DECORATIVE, GOLD ACRYLIC LATEX



7 WEST ELEVATION
1/11/23

REVISIONS	DATE

NEW CHURCH & SOCIAL HALL:
ST JOHN THE REDEMER
 9308 Carlton Oaks Drive
 Santee, CA

DESIGNER:
ROBERT LATSKO
 94552 Hazelton
 Redford, MI 48239
 734-396-3226

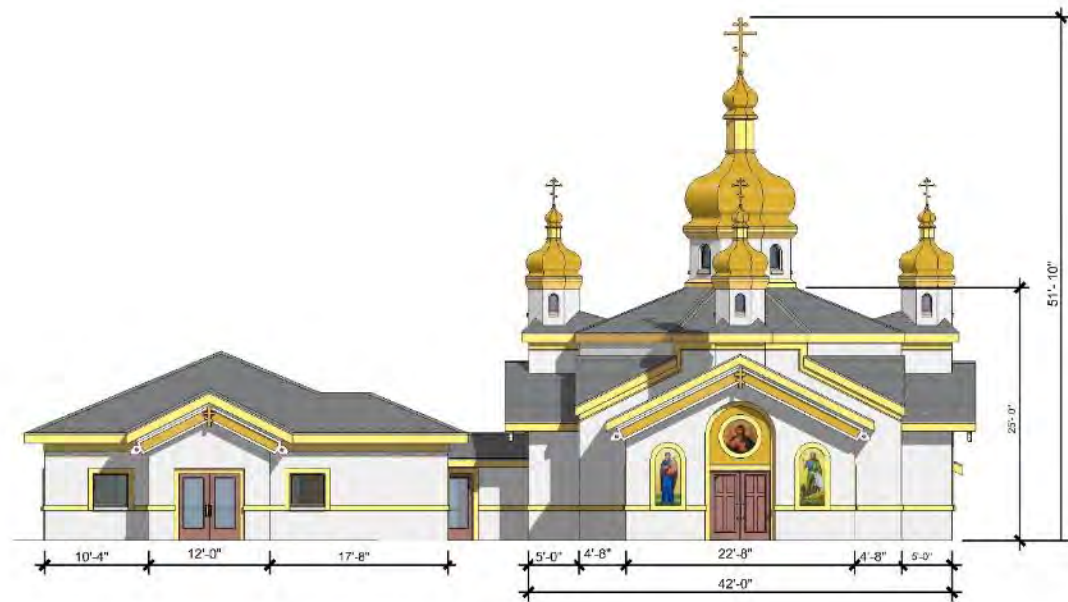
SPM STEVEN PAUL MURRAY
 ARCHITECT & ASSOCIATES
A R C H I T E C T
 1177 Idaho St., Suite 200A, Redlands, Ca 92374 (909) 984-7660



DATE: 5/13/2023
 DRAWN BY: T. BARKER
 JOB NO.: 23-01

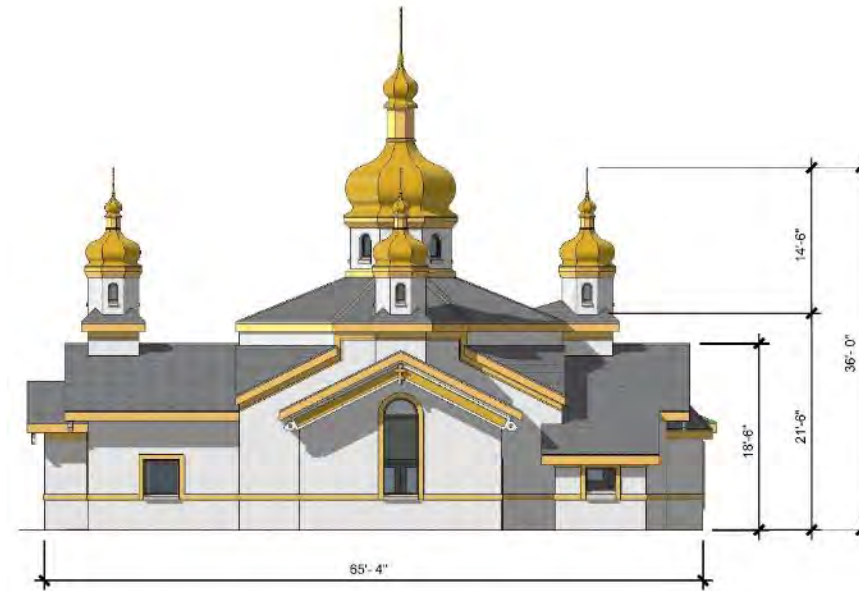
SHEET
A-203

ST. JOHN THE BAPTIZER UKRAINIAN CATHOLIC CHURCH
Santee, California



WEST ELEVATION

SCALE: 1/8" = 1'



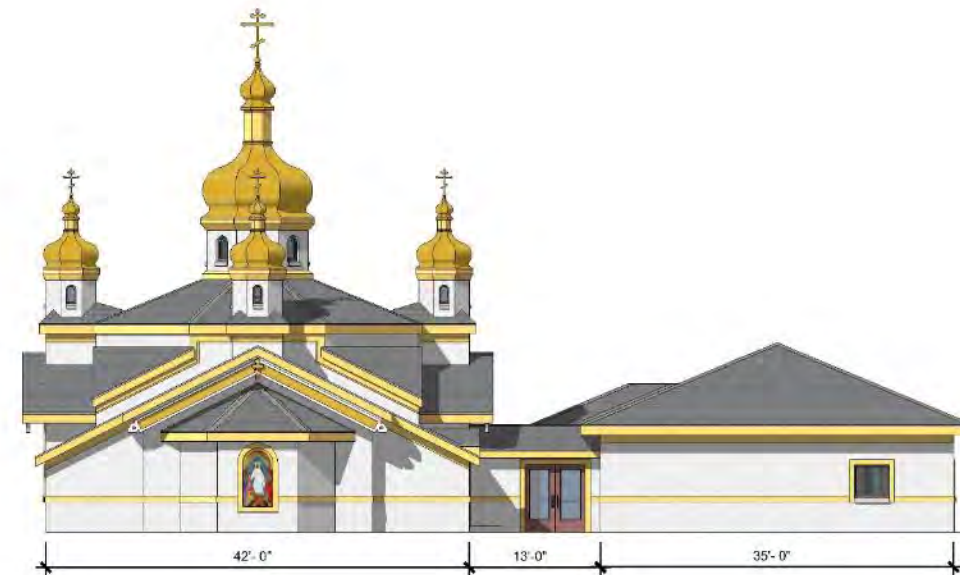
SOUTH ELEVATION

SCALE: 1/8" = 1'



NORTH ELEVATION

SCALE: 1/8" = 1'



EAST ELEVATION

SCALE: 1/8" = 1'

Date:
May 23, 2023

Elevations

Steve Murray
CA Architect

Robert Latsko
Architectural Designer

ST. JOHN THE BAPTIZER UKRAINIAN CATHOLIC CHURCH
Santee, California

Date:
May 23, 2023

Perspectives

3 of 3



SOUTHEAST PERSPECTIVE
NO SCALE



SOUTHWEST PERSPECTIVE
NO SCALE



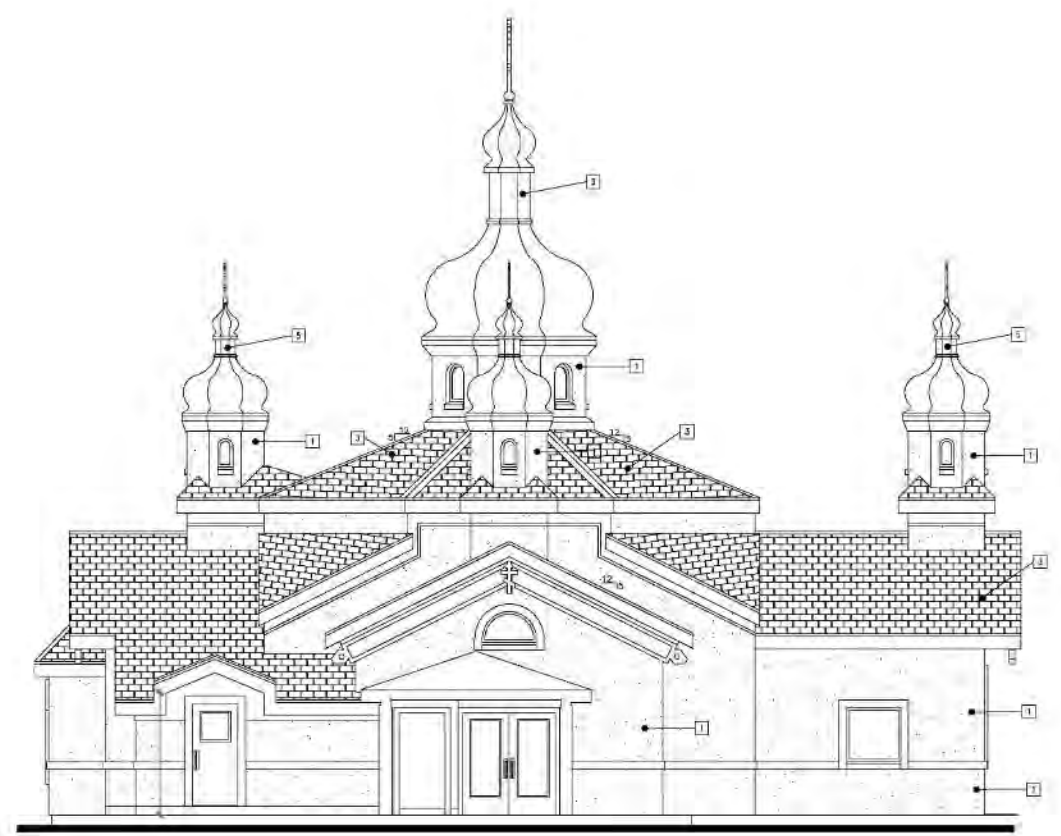
NORTHWEST PERSPECTIVE
NO SCALE



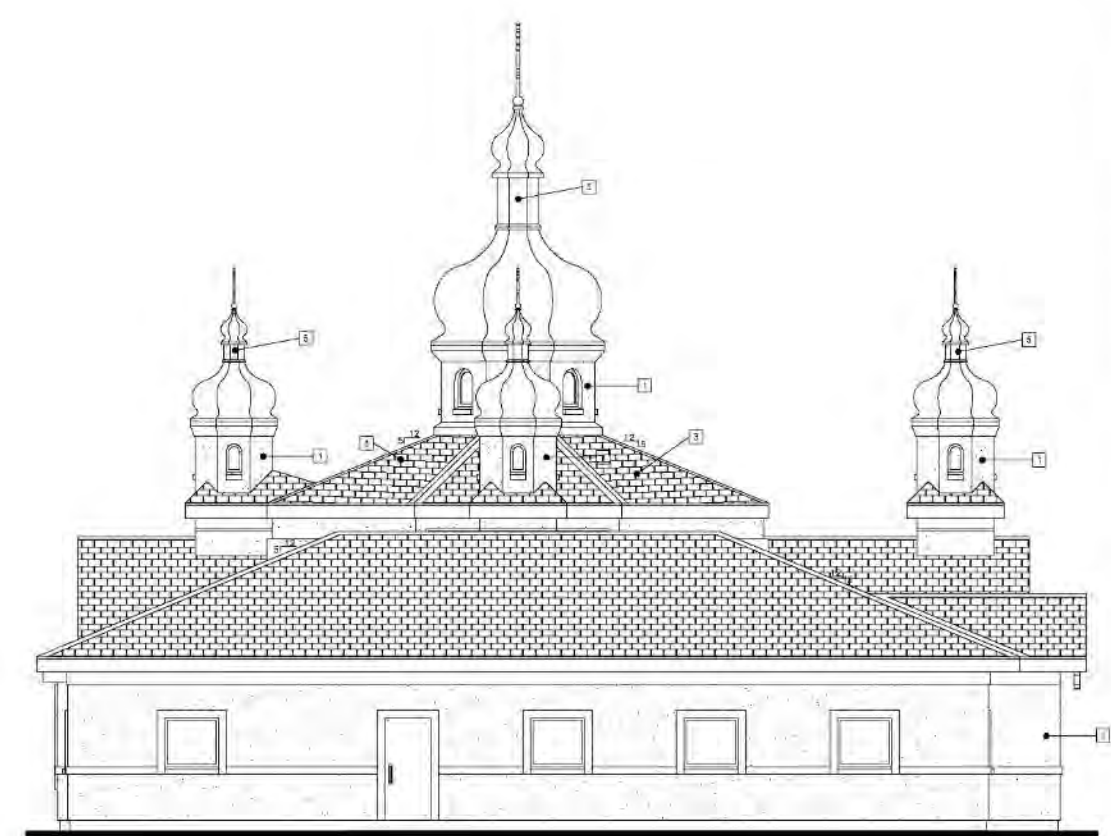
NORTHEAST PERSPECTIVE
NO SCALE

FINISH SYMBOL LEGEND

- 1 EXTERIOR WALLS - EIFS (EXTERNAL INSULATION AND FINISH SYSTEM)
SUPPLIER: DRYVIT SYSTEMS INC. WWW.DRYVIT.COM COLOR #310 (CHINA WHITE - SANDPEBBLE TEXTURE - MEDIUM ROUGH).
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- 4 ALUMINUM DOWNS AND CROSSES
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- 5 ALUMINUM DRUM
POWDER COAT FINISH - BEIGE COLOR - "SUPPLIER: CARDINAL PAINT, "BEIGE 90 GLOSS" # P009-BG02 WITH POLYESTER CLEAR TOP-COAT FOR DURABILITY
- 6 DOORS, DOOR TRIM AND WINDOW FRAMES
ANODIZED ALUMINUM, MEDIUM BRONZE COLOR
- 7 PAINT, DECORATIVE, GOLD ACRYLIC LATEX



1 NORTH ELEVATION



4 WEST ELEVATION

REVISIONS	DATE

NEW CHURCH & SOCIAL HALL:
ST JOHN THE REDEMER
 9308 Carlton Oaks Drive
 Santee, CA

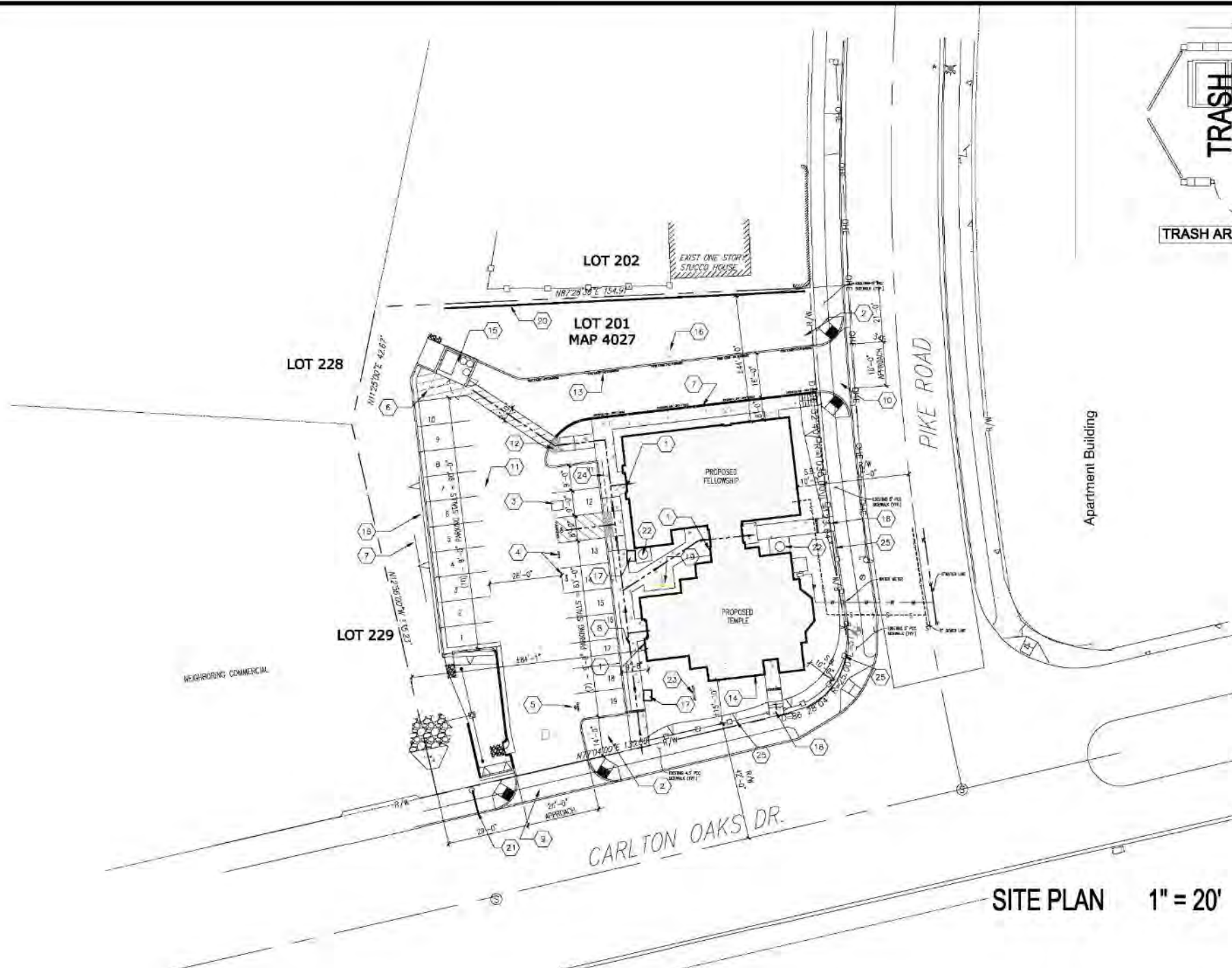
DESIGNER:
ROBERT LATSKO
 94552 Hazelton
 Redford, MI 48239
 734-396-3226

SFM STEVEN PAUL MURRAY
ARCHITECT & ASSOCIATES
A R C H I T E C T
 1177 Idaho St., Suite 200A, Redlands, Ca 92374 (909) 884-7660



DATE: 3/13/2023
 DRAWN BY: T. BARKER
 JOB NO.: 23-01

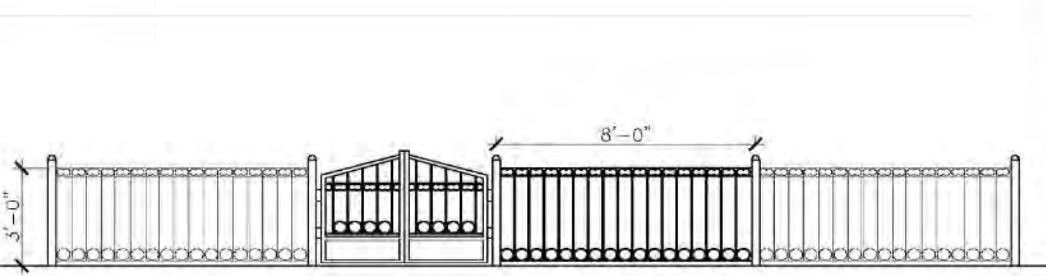
SHEET
A-204



SITE PLAN 1" = 20'



TRASH AREA PLAN



FRONT FENCE ELEVATION

KEYNOTES:

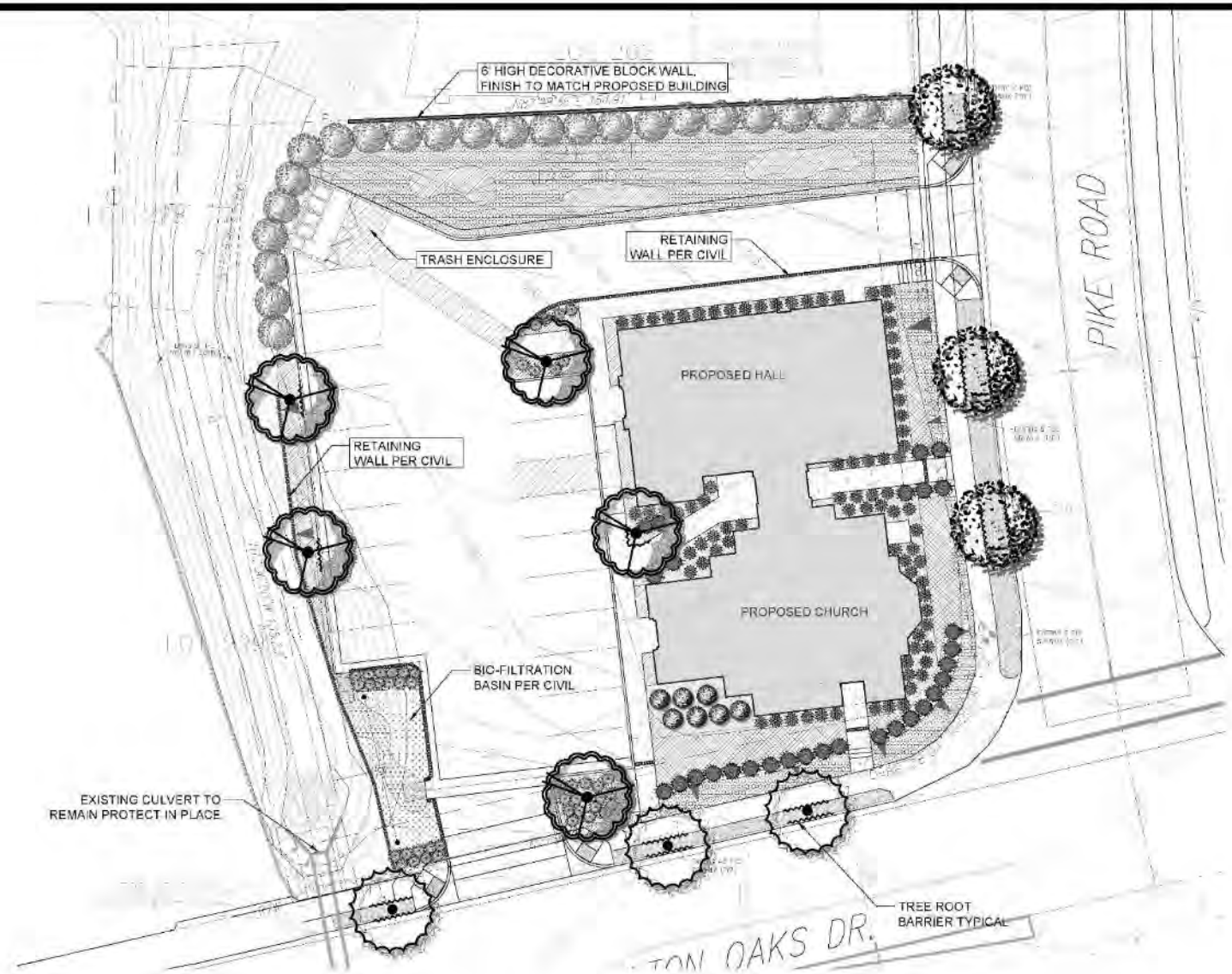
1. ACCESSIBLE ENTRANCE SIGN LOCATION
2. ACCESSIBLE VEHICLE ENTRANCE SIGN LOCATION
3. ACCESSIBLE PARKING LOCATION
4. EVCS PARKING STALLS
5. CLEAN AIR PARKING STALL
6. MOTORCYCLE PARKING
7. RETAINING WALL PER CIVIL PLANS
8. 6'-0" WIDE TYPICAL 4" THICK CONCRETE WALK W/ BROOM FINISH
9. 26'-0" WIDE CONCRETE APPROACH AND SIDEWALK W/ 2' VEHICLE O.H.
10. 16'-0" WIDE CONCRETE APPROACH AND SIDEWALK
11. ASPHALT CONCRETE PAVE- TYP.
12. 36 INCHES WIDE TRUNCATED DOME AT DISABLED PATH CROSSING INTO TRAFFIC (TYP.)
13. "FIRE LANE NO PARKING" DESIGNATED ZONE WITH 8" WIDE RED STRIP AND LETTERS TO BE WHITE 6"X6"
14. ADDRESS NUMERALS LOCATION - 12" TALL NUMERALS SHALL CONTRAST WITH THE COLOR BACKGROUND
15. 10'-0" X 12'-0" TRASH ENCLOSURE W/ 2YD BULK TRASH & RECYCLE CANS
16. 15' HIGH AREA LIGHTING - ALL LIGHTS SHALL BE DIRECTED AND / OR SHIELDED TO PREVENT THE LIGHT FROM ADVERSELY AFFECTING ADJACENT PROPERTIES.
17. DECORATIVE EXTERIOR LED LIGHT FIXTURE - ALL LIGHTS SHALL BE DIRECTED AND / OR SHIELDED TO PREVENT THE LIGHT FROM ADVERSELY AFFECTING ADJACENT PROPERTIES.
18. 3'-0" HIGH W.I. GATE
19. BICYCLE RACK LOCATION (2) SPACE MINIMUM
20. PROPOSED 6" HIGH MASONRY WALL
21. NEW STREET LIGHT, VERIFY LOCATION
22. PROPOSED HVAC CONDENSER WITH LANDSCAPE SCREEN
23. SIGNAGE LOCATION (REQUIRES SEPARATE PERMIT)
24. LINE OF 2' VEHICLE O.H.
25. 3'-0" HIGH W.I. FENCE

PROJECT DESCRIPTION
 OCCUPANCY: A-3
 CONSTRUCTION TYPE: V-B
 ONE STORY
 SPRINKLERS: YES
 BUILDING AREA: 4,415.00 SQ. FT.
 PARKING SHOWN
 (15) - 9'-0" X 19'-0" TYP. PARKING STALLS
 (2) - 9'-0" X 19'-0" EVCS PARKING STALLS
 (1) - 9'-0" X 19'-0" CLEAN AIR PARKING STALL
 (1) - 9'-0" X 19'-0" ACCESSIBLE PARKING STALL
 TOTAL PARKING SHOWN = 19 PARKING SPACES SHOWN
 LOT COVERAGE
 4,415.00 SQ. FT. / 26,577.00 SQ. FT. = (16.60%)

- NOTES:**
1. HOURS OF OPERATION PROPOSED: SATURDAY 5PM TO 7PM. SUNDAYS 8AM TO 2PM.
 2. PROVIDE 6" CURB OR 6" CURB AND GUTTER AT ALL LANDSCAPE PLANTER TO VEHICLE AREAS PER GRADING / SITE IMPROVEMENT PLAN.
 3. PROVIDE FIRE SPRINKLERS IN BUILDING PER FIRE DEPARTMENT.
 4. COMMERCIAL AND INDUSTRIAL STREET ADDRESSES SHALL BE POSTED WITH A MINIMUM 12" NUMBERS VISIBLE FROM THE STREET. DURING THE HOURS OF DARKNESS THEY SHALL BE INTERNALLY OR EXTERNALLY, ELECTRICALLY ILLUMINATED, POSTED NUMBERS SHALL CONTRAST WITH THE BACKGROUND USED AND BE LEGIBLE FROM THE STREET.
 5. CROSS SLOPE AT ANY LOCATION ON PATH OF TRAVEL TO BE LESS THAN 2.0%.
 6. ALL NEW RAMPS SHALL BE LESS THAN 8.3%.
 7. PROJECT SHALL COMPLY WITH CITY STANDARDS.

INDICATES ACCESSIBLE PATH OF TRAVEL SHALL HAVE MAXIMUM SLOPE OF 5.0% AND CROSS SLOPE OF 2.0% WITH MINIMUM 36" CLEAR WIDTH.

REVISIONS	DATE
NEW CHURCH & SOCIAL HALL: ST JOHN THE REDEMER 9308 Carlton Oaks Drive San Jose, CA	
DESIGNER: ROBERT LATSKO 94552 Hazelton Redford, MI 48239 734-396-3226	
SPM STEVEN PAUL MURRAY ARCHITECT & ASSOCIATES A R C H I T E C T 1177 Idaho St., Suite 200A, Redlands, Ca 92374 (909) 844-7460	
DATE	3/13/2023
DRAWN BY	T. BARKER
JOB NO.	23-01
SHEET	
AS-101	



CONCEPT LEGEND

TREES

SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	WU - COLS
	OLEA WILSONII	WILSON OLIVE	5	15 GAL	LOW
	GEIJERA PARVIFOLIA	AUSTRALIAN WILLOW	3	24" BOX	LOW
	CERCIS OCCIDENTALIS	WESTERN REDBUD	3	24" BOX	LOW

SHRUBS

SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	WU - COLS
	TECOMA STANS	YELLOW BELLS	24	15 GAL	LOW
	TECOMA LYDIA	LYDIA TECOMA	7	15 GAL	LOW
	ROSA ICEBERG	ICEBERG ROSE	29	5 GAL	MOD.
	MUHLENBERGIA RIGENS	DEER GRASS	50	5 GAL	LOW
	IRIS DOUGLASIANI	DOUGLAS IRIS	65	5 GAL	LOW

GROUNDCOVER

SYM	BOTANICAL NAME	COMMON NAME	SQ. FT	SIZE	WU - COLS
	LANTANA 'GOLD RUSH'	GOLD RUSH LANTANA	1,150	1 GAL 24" O.C.	LOW
	JUNCUS PATENS	CALIFORNIA GRAY RUSH	137	1 GAL 24" O.C.	LOW
	CAREX SUBFUSCA	RUSTY SEDGE	319	FLATS 6" O.C.	LOW
	MYOPORUM P. 'PINK'	PINK AUSTRALIAN RACER	2,842	1 GAL 8" O.C.	LOW
	ROSMARINUS PROSTRATUS	PROSTRATE ROSEMARY	670	1 GAL 38" O.C.	LOW
	1-3" RIVER ROCK		967		
	WOOD BARK MULCH, 3" DEPTH		650		

LANDSCAPE GENERAL NOTES:

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SANTEE WATER EFFICIENT LANDSCAPE ORDINANCE GUIDE LINES.
- MAINTENANCE:** ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- IRRIGATION:** A WATER EFFICIENT, AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE PROPOSED IRRIGATION SYSTEM SHALL BE A COMBINATION OF POP-UP SPRAY HEAD AND DRIP LINE. THE CITY MAY REQUIRE COMMERCIAL PROJECTS TO EXTEND EXISTING RECYCLED WATER SYSTEMS TO THE PROPERTY, PER SBMC 17.56.20
- ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY RE-VEGETATED AND IRRIGATED.
- LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE SITE.
- A SOIL TEST BY A QUALIFIED AGRONOMIST SHALL FURTHER INFLUENCE PLANT MATERIALS AND INSTALLATION TECHNIQUES.
- ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
- ALL PROPOSED PLANTING AREAS SHALL BE TREATED WITH SOIL CONDITIONERS TO INCREASE AND RETAIN SOIL MOISTURE.
- ALL PLANTING AREAS SHALL RECEIVE A 3" DEPTH OF SHREDDED BARK MUGH.
- ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
- NON-BIODIGRADABLE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5' OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WILL NOT BE WRAPPED AROUND THE ROOT BALL.

COMPLIANCE STATEMENT

I, AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE DESIGN PLANS CONTAINED IN THE SANTEE MUNICIPAL CODE SECTION AND THE CITY OF SANTEE WATER EFFICIENT LANDSCAPE ORDINANCE. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

Sam Clarke
 SIGNATURE DATE 08-17-25

Appendix B - WATER EFFICIENT LANDSCAPE WORKSHEET

WATER EFFICIENT LANDSCAPE WORKSHEET

DEPARTMENT OF DEVELOPMENT SERVICES
 10601 Magnolia Avenue, SanTEE, CA 92071-1265, (619) 258-4100 ext. 168

This worksheet is filled out by the project applicant for each Year of Construction/Water Meter. Please complete all sections of the worksheet and the additional worksheets if necessary.

1. Project Information

Applicant: _____ Phone: _____
 Address: _____ Fax: _____
 Email: _____

Property Owner: _____ Phone: _____
 Address: _____ Fax: _____
 Email: _____

Project Address: _____ Project Type: _____
 Assessor's Parcel Number: _____ Water Supply Type: _____
 (Private, recycled, well) _____
 Total Landscape Area: _____ Water Purveyor: _____

2. Applicant's/Property Owner's Certification

The design of this project complies with the requirements of the City of SanTEE Water Efficient Landscape Ordinance.

Applicant's/Property Owner's Signature: _____ Date: _____

3. Landscape Documentation Package Checklist:

Water Efficient Landscape Worksheet
 Soil Management Report
 Landscape Design Plan
 Irrigation Design Plan
 Grading Design Plan

4. Maximum Applied Water Allowance (MAWA)

Hydrozone & Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (%)	ETAP (PHI)	Landscape Area (sq. ft.)	ETAP x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
1-SHRUBS	0.5	DRIP	0.81	62	619	383.8	12,183.4
2-SLOPE	0.3	MPRTTR	0.75	40	4420	1,768	56,123.4
3-TREES	0.3	DRIP	0.81	37	336	124.4	3,949
4-BIO/SHB	0.3	DRIP	0.81	37	2848	1,053.8	33,451.9
Special Landscape Areas						8,223	3,330
Totals						(5)	(5)
						ETWU Total	105,707.7
						Maximum Allowed Water Allowance (MAWA)	117,463.9

ETAP Calculations

Regular Landscape Areas:

Total ETAP x Area	(B)	3,330
Total Area	(A)	8,223
Average ETAP	B ÷ A	.41

All Landscape Areas:

Total ETAP x Area	(B + D)	3,330
Total Area	(A + C)	8,223
Site-wide ETAP	(B + D) ÷ (A + C)	.41



SHEET TITLE: LANDSCAPE CONCEPT PLAN

PROJECT: ST. JOHN THE BAPTIZER UKRAINIAN CATHOLIC CHURCH SANTEE, CA

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWN: JA
 APPROVED: SC

SHEET: 1 OF 2



OLEA 'WILSONII'



GEIJERA PARVIFOLIA



CERCIS OCCIDENTALIS



TECOMA STANS



TECOMA LYDIA



ROSA 'ICEBERG'



MUHLENBERGIA RIGENS



IRIS DOUGLASIANI



JUNCUS PATENS



MYOPORUM PINK



LANTANA 'GOLD RUSH'



CAREX SUBFUSCA



UC VERDE BUFFALO GRASS



RIVER ROCK



WOOD BARK MULCH



S.R. CLARKE LANDSCAPE ARCHITECTURE & DEVELOPMENT
110 COPPERWOOD WAY # P
OCEANSIDE CA 92058
7 6 0 - 7 1 8 - 3 1 0
L A # 5 2 9 9



LANDSCAPE CONCEPT PLAN

ST. JOHN THE BAPTIZER
UKRAINIAN CATHOLIC CHURCH
SANTEE, CA

PROJECT:	
REVISIONS	
DRAWN	JA
APPROVED	SC
JOB NO.	
DATE	06-17-23
SCALE	AS SHOWN
SHEET	L2 OF 2



CITY OF SANTEE
Planning & Building Department

**St. John the Baptizer
Ukrainian Catholic Church Project**

Class 32 CEQA Exemption Analysis

October 2023

I. PROJECT CHARACTERISTICS

1. Project Title:

St. John the Baptizer Ukrainian Catholic Church Project (project)

2. Lead Agency Name and Address:

City of Santee
Planning & Building Department
10601 Magnolia Avenue
Santee, CA 92071

3. Contact Person and Phone Number:

Michael Coyne
Principal Planner
(619) 258-4100 ext. 256
10601 Magnolia Avenue
Santee, CA 92071
mcoyne@cityofsanteeca.gov

4. Project Location:

9308 Carlton Oaks Drive, Santee, CA 92071
Assessor's Parcel Number (APN): 380-112-08-00

5. Project Sponsor's Name and Address:

Catherine George
P.O. Box 3116
La Mesa, CA 91941

6. Property Owner:

St. John the Baptizer Ukrainian Catholic Church

7. Existing General Plan Designation:

Neighborhood Commercial (NC)

8. Existing Zoning:

Neighborhood Commercial (NC)

ST. JOHN THE BAPTIZER UKRAINIAN CATHOLIC CHURCH PROJECT

Class 32 CEQA Exemption Analysis

October 2023

II. EXECUTIVE SUMMARY

The project applicant, St. John the Baptizer Ukrainian Catholic Church, has submitted an application for a Conditional Use Permit (CUP) P2022-5 to construct a 4,415-square-foot church on a vacant 0.60-acre site located at the northwest corner of Carlton Oaks Drive and Pike Road in the city of Santee, California. The project site consists of a single parcel of land identified as County of San Diego Assessor’s Parcel Number 380-112-08-00. Table 1 summarizes the characteristics of the project.

The California Environmental Quality Act (CEQA) Analysis provided herein evaluates the consistency of the project with the exemption requirements for a Class 32 Categorical Exemption for infill development projects as set forth in CEQA Guidelines Section 15332. Based on the information and conclusions set forth on the following pages, this CEQA Analysis demonstrates the project’s consistency with the requirements for a Class 32 Categorical Exemption. No additional environmental documentation or analysis is required.

Table 1 Project Development Summary	
Description	Amount
Total Lot Area	25,729 square feet (0.60 acre)
Lot Coverage	20,736 square feet (80.6 percent)
Total Floor Area	4,233 square feet (20.4 percent of coverage, 16.5 percent of lot)
Landscape Area	6,828 square feet
Building Height	52 feet to top of aluminum dome and cross
Number of Parking Spaces	19 spaces

III. PROJECT DESCRIPTION

Project Location

The project is located on the northwest corner of Carlton Oaks Drive and Pike Road in the city of Santee, California (Assessor’s Parcel Number 380-112-08-00). The project site is accessed via Carlton Oaks Drive and Pike Road. Figures 1 and 2 show the project’s location.

Proposed Project

The St. John the Baptizer Ukrainian Catholic Church Project (project) involves the construction of a 4,415-square-foot church. Grading would consist of excavating 1,038 cubic yards and exporting 873 cubic yards, with the remaining 165 cubic yards to be reused on the project site.

The project would include a sanctuary with 76 fixed seats that connects to a social hall with an office, kitchen, bathrooms, and mechanical room. The social hall would be used for small church gatherings and events such as weddings, funerals, and baptisms. Gatherings and events would be contained within the building and would not use the parking lot for event space. The project would not have amplified music or musical instruments. However, an acapella choir would perform in the sanctuary. In addition, the proposed building does not include outdoor bells, and the sanctuary windows would be fixed to minimize potential noise effects.



 Project Location

FIGURE 1
Regional Location



 Parcel Boundary

FIGURE 2
Project Location on Aerial Photograph

ST. JOHN THE BAPTIZER UKRAINIAN CATHOLIC CHURCH PROJECT

Class 32 CEQA Exemption Analysis

October 2023

The project proposes 19 parking spaces, which meets the required standards specified in Section 13.24.040 of the Santee Municipal Code (churches: 1 space/4 fixed seats within the main auditorium). The main auditorium would contain 76 fixed seats (76 fixed seats/4 fixed seats = 19 spaces). In addition, parking lot screening would be constructed in accordance with Santee Municipal Code Section 13.24.030.A.8. and the project would provide one clean air vehicle space per Table 13.24.040.A. of the Santee Municipal Code. If necessary, the proposed project would secure additional parking at a nearby parking lot. Construction of the proposed project is anticipated to take approximately 12 months. Figure 3 shows the proposed site plan.

Existing Conditions and Surrounding Land Uses

The 0.60-acre project site consists of vacant land. The project site was graded in the past as part of the existing adjacent residential development. A broad earthen stormwater channel was constructed through a portion of the development area to the north and the channel is present along the western boundary of the project site. The project site and the stormwater channel are periodically mowed for fuel management purposes. Surrounding land uses include single-family homes to the north, apartments and Carlton Hills Elementary School to the east, commercial uses to the south, and commercial and single-family homes to the west.

General Plan and Zoning

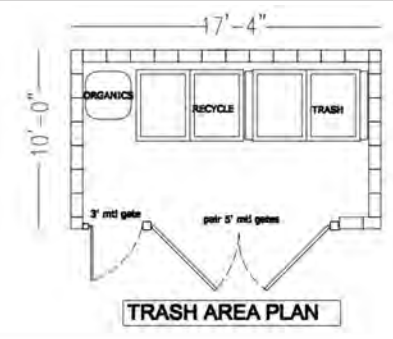
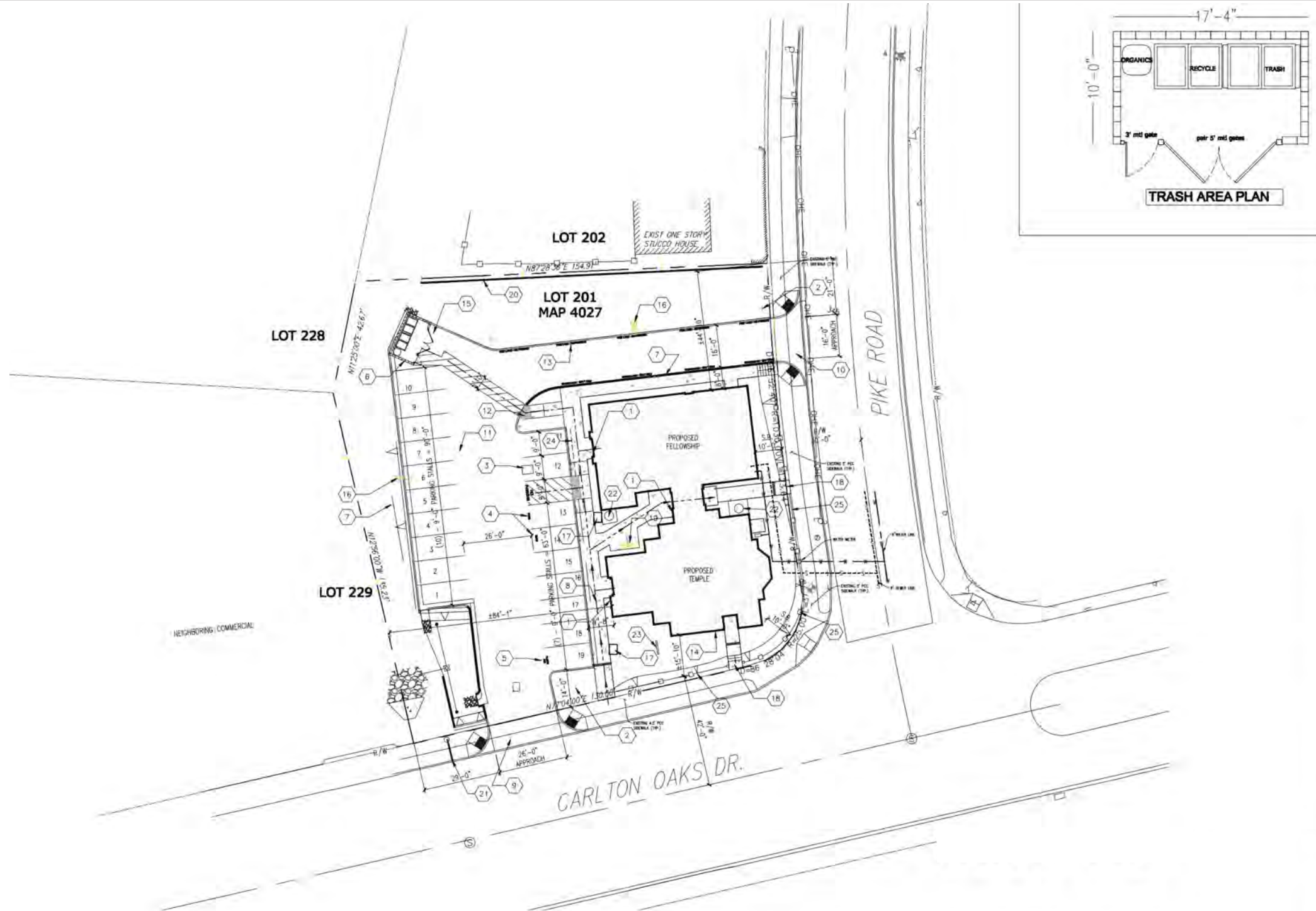
The project site's General Plan designation is Neighborhood Commercial (NC). The Neighborhood Commercial (NC) designation encourages concentrated and consolidated shopping opportunities including, but not limited to, personal services, food and convenience stores, eating and drinking establishments, gas stations, banks and other neighborhood serving uses. The project site's zoning designation is Neighborhood Commercial (NC). The proposed church is permitted in the Neighborhood Commercial (NC) zoning designation with a CUP.

Project Construction

The project would be constructed over approximately 12 months. Construction activities would consist of grading and site preparation, foundation construction, construction of the church, flatwork, and interior finishing. Construction grading of the project would consist of excavating 1,038 cubic yards and exporting 873 cubic yards.

Standard Project Conditions

The following Standard Project Conditions would be required of the project. These measures would be incorporated as Conditions of Approval for the entitlement of the CUP and are typical for projects built on vacant land within the city of Santee. Such measures taken to comply with building codes or to address common and typical concerns for new projects do not preclude CEQA exemptions (*Berkeley Hillside Preservation v. City of Berkeley* (2015) 241 Cal. App. 4th 943, 960-961). The following measures are standard project conditions that are consistent with those required for similar development projects entitled in the past by the City of Santee (City):



KEYNOTES:

1. ACCESSIBLE ENTRANCE SIGN LOCATION
2. ACCESSIBLE VEHICLE ENTRANCE SIGN LOCATION
3. ACCESSIBLE PARKING LOCATION
4. EVCS PARKING STALLS
5. CLEAN AIR PARKING STALL
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14. ADDRESS NUMERALS LOCATION = 12" TALL NUMERALS SHALL CONTRAST WITH THE COLOR BACKGROUND
15. 10'-0" X 17'-4" TRASH ENCLOSURE W/ 2YD BULK TRASH & RECYCLE CANS
16. 15' HIGH AREA LIGHTING - ALL LIGHTS SHALL BE DIRECTED AND / OR SHIELDED TO PREVENT THE LIGHT FROM ADVERSELY AFFECTING ADJACENT PROPERTIES.
17. DECORATIVE EXTERIOR LED LIGHT FIXTURE - ALL LIGHTS SHALL BE DIRECTED AND / OR SHIELDED TO PREVENT THE LIGHT FROM ADVERSELY AFFECTING ADJACENT PROPERTIES.
18. 3'-0" HIGH W.I. GATE
19. BICYCLE RACK LOCATION (2) SPACE MINIMUM
20. PROPOSED 6" HIGH MASONRY WALL
21. NEW STREET LIGHT, VERIFY LOCATION
22. PROPOSED HVAC CONDENSER WITH LANDSCAPE SCREEN
23. SIGNAGE LOCATION (REQUIRES SEPARATE PERMIT)
24. LINE OF 2' VEHICLE O.H.
25. 3'-0" HIGH W.I. FENCE

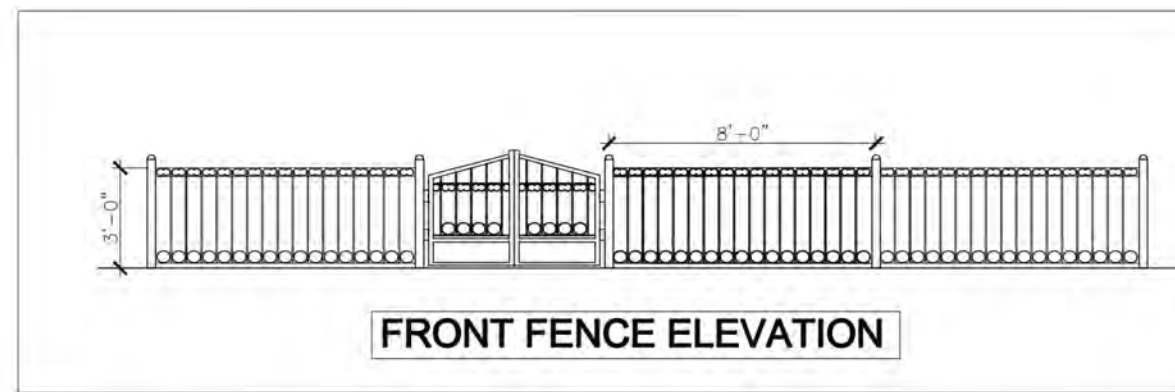
PROJECT DESCRIPTION
 OCCUPANCY: A-3
 CONSTRUCTION TYPE: V-B
 ONE STORY
 SPRINKLERS: YES
 BUILDING AREA: 4,415.00 SQ. FT.

PARKING SHOWN
 (15) - 9'-0" X 19'-0" TYP. PARKING STALLS
 (2) - 9'-0" X 19'-0" EVCS PARKING STALLS
 (1) - 9'-0" X 19'-0" CLEAN AIR PARKING STALL
 (1) - 9'-0" X 19'-0" ACCESSIBLE PARKING STALL
TOTAL PARKING SHOWN = 19 PARKING SPACES SHOWN

LOT COVERAGE
 4,415.00 SQ. FT. / 26,577.00 SQ. FT. = (16.60%)

- NOTES:**
1. HOURS OF OPERATION PROPOSED: SATURDAY 5PM TO 7PM. SUNDAYS 8AM TO 2PM
 2. PROVIDE 6" CURB OR 6" CURB AND GUTTER AT ALL LANDSCAPE PLANTER TO VEHICLE AREAS PER GRADING / SITE IMPROVEMENT PLAN.
 3. PROVIDE FIRE SPRINKLERS IN BUILDING PER FIRE DEPARTMENT.
 4. COMMERCIAL AND INDUSTRIAL STREET ADDRESSES SHALL BE POSTED WITH A MINIMUM 12" NUMBERS VISIBLE FROM THE STREET. DURING THE HOURS OF DARKNESS THEY SHALL BE INTERNALLY OR EXTERNALLY, ELECTRICALLY ILLUMINATED. POSTED NUMBERS SHALL CONTRAST WITH THE BACKGROUND USED AND BE LEGIBLE FROM THE STREET.
 5. CROSS SLOPE AT ANY LOCATION ON PATH OF TRAVEL TO BE LESS THAN 2.0%.
 6. ALL NEW RAMPS SHALL BE LESS THAN 8.3%
 7. PROJECT SHALL COMPLY WITH CITY STANDARDS.

INDICATES ACCESSIBLE PATH OF TRAVEL SHALL HAVE MAXIMUM SLOPE OF 5.0% AND CROSS SLOPE OF 2.0% WITH MINIMUM 36" CLEAR WIDTH.



Standard Project Condition No. 1 – Biological Resources:

The following standard biological resource measures shall be implemented with the project:

1. If construction initiation occurs between January 15 and September 15, a pre-construction nesting bird and raptor survey of the project impact area shall be completed by a qualified biologist prior to vegetation removal. The pre-construction survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). If any active nests are detected, the area will be flagged and mapped along with a buffer as recommended by the qualified biologist. The buffer area(s) established by the qualified biologist will be avoided until the nesting cycle is complete or it is determined that the nest is no longer active. The qualified biologist shall be a person familiar with bird breeding behavior and capable of identifying the bird species of San Diego County by sight and sound and determining alterations of behavior as a result of human interaction. Buffers will be based on species-appropriate buffers and/or local topography and line of sight, species behavior and tolerance to disturbance, and existing disturbance levels, as determined appropriate by the qualified biologist.
2. Prior to any grading, clearing, or construction activities, a qualified biologist will be retained by the project applicant and will provide evidence to the satisfaction of the City Planning & Building Department of submittal of a 1602 Streambed Alteration Agreement to California Department of Fish and Wildlife (CDFW) and, if applicable, compliance with any required conditions. The qualified biologist will also provide periodic biological monitoring during project construction to prevent inadvertent disturbance to potentially federal and state jurisdictional waters. The project biologist shall verify the implementation of the following best management practices during construction:
 - a. Prior to any grading, clearing, or construction activities, the project applicant shall install prominently colored Environmentally Sensitive Area (ESA) fencing or silt fencing wherever the limits of grading are adjacent to jurisdictional waters to be avoided, as identified by the qualified biologist. Fencing shall remain in place during all construction activities.
 - b. During construction, the project shall use silt fences, fiber rolls, gravel bags, and soil stabilization measures such as erosion control mats and hydroseeding as necessary and applicable.
 - c. Staging/storage areas for construction equipment and materials will not be located in or adjacent to jurisdictional waters.
 - d. No spoils, debris, rubbish, cement, or concrete, or washing thereof, oil, or petroleum products will be stored where it may be washed by rainfall or runoff into jurisdictional waters.
 - e. No equipment maintenance or fueling will be performed within or near jurisdictional waters, where petroleum products or other pollutants from the equipment may enter these areas. Any equipment or vehicles driven and/or operated adjacent to a jurisdictional water will be checked and maintained by the operator daily to prevent leaks of oil or other petroleum products.

- f. When construction operations are completed, any excess materials or debris will be removed from the work area.

Standard Project Condition No. 2 – Air Quality:

The following standard air quality measures shall be implemented with the project:

1. The construction contractor shall use construction equipment powered by California Air Resources Board certified Tier 4, or newer, engines and haul trucks that conform to current U.S. Environmental Protection Agency truck standards.
2. During all grading and site preparation activities, the on-site construction superintendent shall ensure implementation of standard best management practices as required by the San Diego Air pollution Control District Rule 55, Fugitive Dust Control.
3. During all grading and site preparation activities, the on-site construction superintendent shall ensure implementation of applicable California Department of Resources Recycling and Recovery Sustainable (Green) Building Program Measures.
4. The project shall utilize high-efficiency equipment and fixtures consistent with the current California Green Building Standards Code and Title 24 of the California Code of Regulations.
5. The project shall include the installation of infrastructure necessary for electric vehicle parking, as well as providing preferential parking for electric vehicles. The project shall provide bike parking on-site.
6. The project shall comply with the Santee Water Efficient Landscape Ordinance. The ordinance promotes water conservation and efficiency by imposing various requirements related to evapotranspiration rates, irrigation efficiency, and plant factors.
7. The project shall comply with Chapters 9.02 and 9.04 of the Santee Municipal Code that pertain to solid waste management and demolition and construction debris recycling.
8. In conformance with San Diego Air Pollution Control District's Rule 67.0.1, Architectural Coatings, the project shall use low volatile organic compound paints.

Standard Project Condition No. 3 – Geology/Soils:

The following standard geology/soils measures shall be implemented with the project:

1. The Construction Contractor shall ensure that construction of the project complies with the recommendations identified in the project-specific geotechnical investigation. Recommendations related to general construction, seismic considerations, earthwork, foundations, building floor slabs, lateral earth pressures, corrosivity, drainage, storm infiltrations, exterior concrete and masonry flatwork and paved areas shall be adhered to during all project design and construction.

Standard Project Condition No. 4 – Noise:

The following standard noise measures shall be implemented with the project:

Construction Best Business Practices:

1. All construction plans shall include the following notes:
 - a. Operations shall conform to the City's Municipal Code Section 5.04.090.
 - b. All equipment shall be equipped with properly maintained mufflers.
 - c. The construction contractor shall place noise-generating construction equipment and locate construction staging areas at the greatest possible distance from sensitive uses whenever feasible during all project construction.
 - d. The construction contractor shall use on-site electrical sources to power equipment rather than diesel generators where feasible.
2. All residential units located within 500 feet of the construction site shall be sent a notice regarding the construction schedule. A sign legible at a distance of 50 feet shall also be posted at the construction site. All notices and the signs shall indicate the dates and durations of construction activities, as well as provide a telephone number for the "noise disturbance coordinator."
3. A "noise disturbance coordinator" shall be established. The disturbance coordinator shall be responsible for responding to any local complaints about construction noise. The disturbance coordinator shall determine the cause of the noise complaint (e.g., starting too early, bad muffler) and shall be required to implement reasonable measures to reduce noise levels.
4. The following shall be incorporated into the project construction plan: "Control of Construction Hours. Construction activities occurring as part of the project shall be subject to the limitations and requirements of Section 5.04.090 of the City Municipal Code which states that construction activities may occur between 7:00 a.m. and 7:00 p.m. Mondays through Saturdays. No construction activities shall be permitted outside of these hours or on Sundays and holidays."

Standard Project Condition No. 5 – Tribal/Archaeological Monitor:

The following standard tribal/archaeological measures shall be implemented with the project:

1. Prior to the start of ground-disturbing activities, the applicant shall retain a qualified archaeologist who meets the Secretary of the Interior's Professional Qualifications Standards for archaeology (U.S. Department of the Interior 2012). The applicant shall also retain a Native American monitor of Kumeyaay decent.
2. Prior to start of ground-disturbing activities, the qualified archaeologist shall conduct cultural resources sensitivity training for all construction personnel. Construction personnel shall be informed of the types of archaeological resources that may be encountered, and of the proper procedures to be enacted in the event of an inadvertent discovery of archaeological resources or human remains. The applicant shall ensure that construction personnel attend the training and sign an attendance acknowledgement form. The applicant shall retain documentation demonstrating attendance.

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3. The qualified archaeologist, or an archaeological monitor (working under the direct supervision of the qualified archaeologist), shall observe all initial ground-disturbing activities, including but not limited to brush clearance, vegetation removal, grubbing, grading, and excavation. The qualified archaeologist, in coordination with the applicant and the City, may reduce or discontinue monitoring if it is determined by the qualified archaeologist that the possibility of encountering buried archaeological deposits is low based on observations of soil stratigraphy or other factors. Archaeological monitoring shall be conducted by an archaeologist familiar with the types of archaeological resources that could be encountered within the project site. The archaeological monitor shall be empowered to halt or redirect ground-disturbing activities away from the vicinity of a discovery until the qualified archaeologist has evaluated the discovery and determined appropriate treatment (as prescribed below). The archaeological monitor shall keep daily logs detailing the types of activities and soils observed, and any discoveries. After monitoring has been completed, the qualified archaeologist shall prepare a monitoring report that details the results of monitoring. The report shall be submitted to the City and any Native American groups who request a copy. A copy of the final report shall be filed at the South Coastal Information Center (SCIC).
4. The Native American monitor shall be present for any pre-construction meeting and for all ground-disturbing activities associated with the project. Should any cultural or tribal cultural resources be discovered, no further grading shall occur in the area of the discovery until the City Planner, or designee, with concurrence from the Native American monitor, are satisfied that treatment of the resource has occurred. In the event that a unique archaeological resource or tribal cultural resource is discovered, and in accordance with Public Resources Code Section 21083.2(b)(1), (2), and (4), the resource shall be moved and buried in an open space area identified by the Native American monitor, which will not be subject to further grading activity, erosion, flooding, or any other ground disturbance that has the potential to expose the resource. No identification of the resource shall be made; however, the applicant shall plot the new location of the resource on a map showing latitudinal and longitudinal coordinates and provide that map to the Native American Heritage Commission (NAHC) for inclusion in the Sacred Lands File. Disposition of the resources shall be at the discretion of the City of Santee, but in accordance with the foregoing.
5. In the event of the unanticipated discovery of archaeological materials, all work shall immediately cease in the area (within 100 feet) of the discovery until it can be evaluated by the qualified archaeologist in consultation with the Native American monitor. Construction shall not resume until the qualified archaeologist has conferred with the applicant and the City on the significance of the resource.
6. If it is determined that the discovered archaeological resource constitutes a historical resource or a unique archaeological resource under CEQA, avoidance and preservation in place is the preferred manner of mitigation. Preservation in place may be accomplished by, but is not limited to, avoidance, incorporating the resource into open space, capping, or deeding the site into a permanent conservation easement. In the event that preservation in place is demonstrated to be infeasible and data recovery through excavation is the only feasible mitigation available, a Cultural Resources Treatment Plan shall be prepared and implemented by the qualified archaeologist in consultation with the applicant and the City that provides for the adequate recovery of the scientifically consequential information

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contained in the archaeological resource. The qualified archaeologist and the City shall consult with appropriate Native American representatives in determining treatment for prehistoric or Native American resources to ensure cultural values ascribed to the resources, beyond those which are scientifically important, are considered.

7. If human remains are encountered, all work shall halt in the vicinity (within 100 feet) of the discovery and the San Diego County Coroner will be contacted in accordance with Public Resources Code (PRC) Section 5097.98 and Health and Safety Code Section 7050.5. The applicant and the City will also be notified. If the County Coroner determines that the remains are Native American, the NAHC will be notified in accordance with Health and Safety Code Section 7050.5, subdivision (c), and PRC Section 5097.98 (as amended by Assembly Bill 2641). The NAHC will designate a Most Likely Descendant (MLD) for the remains per PRC Section 5097.98. The MLD shall complete the inspection of the site within 48 hours of being granted access and shall provide recommendations for the treatment of the remains. Until the landowner has conferred with the MLD, the applicant will ensure that the immediate vicinity where the discovery occurred is not disturbed by further activity, is adequately protected according to generally accepted cultural or archaeological standards or practices.

IV. CLASS 32 CATEGORICAL EXEMPTION ANALYSIS

The following analysis provides substantial evidence to support the conclusion that the project qualifies for an exemption under CEQA Guidelines Section 15332 as a Class 32 urban infill development, and would not have a significant effect on the environment.

Class 32 Categorical Exemption: Class 32 consists of projects characterized as in-fill development meeting the conditions described below:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) The site can be adequately served by all required utilities and public services.

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Criterion Section 15332(a): General Plan and Zoning Consistency

Yes No

The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.

General Plan

The project site's General Plan designation is Neighborhood Commercial (NC). The Neighborhood Commercial (NC) designation encourages concentrated and consolidated shopping opportunities including, but not limited to, personal services, food and convenience stores, eating and drinking establishments, gas stations, banks and other neighborhood serving uses. The proposed church is consistent with the General Plan Neighborhood Commercial (NC) designation.

Zoning

The Zoning Classification of the site is Neighborhood Commercial (NC). The proposed church is permitted in the Neighborhood Commercial (NC) zoning designation with a CUP.

Criterion Section 15332(b): Project Location, Size, and Context

Yes No

The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.

The project site consists of 0.60 acre and was graded in the past as part of the existing adjacent residential development. Surrounding land uses include single-family homes to the north, apartments and Carlton Oaks Elementary School to the east, commercial uses to the south, and commercial and single-family homes to the west. Therefore, the project is consistent with Section 15332(b).

Criterion Section 15332(c): Endangered, Rare, or Threatened Species

Yes No

The project site has no value as habitat for endangered, rare or threatened species.

RECON Environmental, Inc. (RECON) prepared a Biological Resources Letter Report dated October 20, 2022 (Attachment A). As part of the report, RECON conducted a biological survey of the 0.60-acre parcel (on-site) and an 0.01-acre off-site improvement area.

The Biological Resources Letter Report determined that the project site supports disturbed land and urban/developed land. No sensitive plant species were detected on-site and there are no sensitive plant species that have a moderate or high potential to occur within the survey area. No sensitive wildlife species were observed on the project site and no species with a moderate or high potential to occur on the project site are expected to occur. There is the potential for general avian species to nest on the project site; however, impacts to nesting avian species would be avoided through implementation of standard project conditions which include pre-construction

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surveys and breeding season avoidance. As such the project site has no value as habitat for endangered, rare, or threatened species.

Criterion Section 15332(d): Traffic, Noise, Air Quality, or Water Quality

Yes No

Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

The analysis below describes the project effects for the resource topics in this criterion, organized as follows: traffic, noise, air quality, and water quality.

Traffic

RECON conducted a screening analysis to determine if a full Vehicle Miles Traveled (VMT) Analysis would be required (Attachment B). Based on the City of Santee VMT Analysis Guidelines, dated April 2022, the requirement to prepare a detailed transportation VMT analysis applies to all discretionary land development projects that are not exempt from CEQA, except for those that meet at least one of the following screening criteria: (1) projects located within a half-mile radius of a transit-accessible area, (2) small projects generating 500 or fewer net new daily trips, (3) projects in a VMT efficient area within the city, (4) locally serving retail projects, (5) locally serving public facilities, (6) redevelopment projects with lower total VMT, and (6) infill affordable housing projects.

Locally serving development projects are presumed to have less than significant impacts to the transportation system and, therefore, would not be required to conduct a VMT analysis. The proposed project is a house of worship and falls under a locally serving public facility per the City of Santee VMT Analysis Guidelines (2022). Therefore, the proposed project would not be required to conduct a VMT analysis.

The nearest bus stop is located along Carlton Hills Boulevard, approximately 0.1 mile west of the project site. The nearest light rail trolley stop is Santee Trolley Square, located approximately 1.3 miles southeast of the project site. Implementation of the project would not include any off-site improvements that would impact any of these facilities. Review of Figure 7-2 of the General Plan Mobility Element determined that a Class III Bike Lane exists along Carlton Oaks Drive, south of the project site, and a Class II Bike Lane exists along Carlton Hills Boulevard, west of the project site. In addition, a Class III Bike Lane is proposed along Pike Road, east of the project site. The project would not result in any changes that could affect future development of the Class III Bike Lane along Pike Road. Therefore, operation of the project would not conflict with a program plan, ordinance or policy addressing the performance of active transportation, and impacts would be less than significant.

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Noise

RECON prepared a Noise Analysis dated October 30, 2023 for the proposed project (Attachment C).

Construction Noise

Noise level limits for construction activities are established in Section 5.04.090 of the Santee Municipal Code. These limits state that a notice must be provided to all owners and occupants within 300 feet of the project site if the construction equipment has a manufacturer's noise rating of 85 decibels (dB) and operates at a specific location for 10 consecutive workdays.

In addition, Section 5.04.090 of the Santee Municipal Code states that no construction equipment is permitted before 7:00 a.m. or after 7:00 p.m. on Mondays through Saturdays and at all times on Sundays and holidays.

Surrounding land uses include single-family homes to the north, apartments and Carlton Oaks Elementary School to the east, commercial uses to the south, and commercial and single-family homes to the west. Noise associated with the construction of the project was modeled at a series of 12 receivers located at the adjacent properties. Construction noise is considered a point source and would attenuate at approximately 6 A-weighted decibels [dB(A)] for every doubling of distance. Construction activities were modeled as an area source distributed over the project footprint. The results are summarized in Table 2.

Table 2 Construction Noise Levels at Off-Site Receivers [dB(A) L_{eq}]		
Receiver	Land Use	Construction Noise Level
1	Commercial	70
2	Commercial	66
3	Single-Family Residential	69
4	Single-Family Residential	67
5	Single-Family Residential	64
6	Single-Family Residential	73
7	Single-Family Residential	72
8	Multi-Family Residential	65
9	Multi-Family Residential	65
10	Multi-Family Residential	58
11	Commercial	63
12	Commercial	60

dB(A) L_{eq} = A-weighted decibels equivalent noise level

As shown, construction noise levels are anticipated to range from 58 to 73 dB(A) L_{eq} at the adjacent properties. Although the existing adjacent uses would be exposed to construction noise levels that could be heard above ambient conditions, the exposure would be temporary. The project would not require construction equipment that has a manufacturer's noise rating of 85 dB or higher. In accordance with Section 5.04.090 of the Santee Municipal Code, construction activities would not occur before 7:00 a.m. or after 7:00 p.m. on Mondays through Saturdays and would not occur at any time on Sundays and holidays. As construction activities associated with the project would comply with requirements of the Noise Abatement and Control Ordinance, temporary increases in noise levels from construction activities would be less than significant.

Off-site Traffic Noise

The project would contribute traffic to the local roadways. However, the project would not substantially alter the vehicle classifications mix on local or regional roadways nor would the project alter the speed on an existing roadway or create a new roadway. Thus, the primary factor affecting off-site noise levels would be increased traffic volumes. While changes in noise levels would occur along any roadway where project-related traffic occurs, for noise assessment purposes, noise level increases are assumed to be greatest nearest the project site, as this location would represent the greatest concentration of project-related traffic.

Churches generated 9 trips per 1,000 square feet (SANDAG 2002) for a total of 40 average daily traffic (ADT). A 3 dB increase in noise levels would occur when there is a doubling of traffic volumes on a roadway. Typically, a project would have to double the traffic volume on a roadway in order to have a significant direct noise increase of 3 dB or more or to be a major contributor to the cumulative traffic volumes. Table 3 summarizes the existing and future traffic noise levels and the associated increase in off-site traffic noise associated with the proposed project.

Table 3 Off-Site Vehicle Traffic Noise Levels						
Roadway Segment	Existing (CNEL)			Year 2050 (CNEL)		
	Without Project	With Project	Increase	Without Project	With Project	Increase
Carlton Oaks Drive	68.4	68.4	0.0	68.6	68.6	0.0
Carlton Hills Boulevard						
South of Carlton Oaks Drive	70.8	70.8	0.0	71.0	71.0	0.0
North of Carlton Oaks Drive	65.3	65.4	0.1	66.1	66.1	0.0

CNEL = Community Noise Equivalent Level
 Note: Noise levels are modeled at 50 feet from the roadway.

Noise impacts would be significant if, as a direct result of the project, (1) noise levels for any existing or planned development will exceed the noise levels considered compatible for that use, or (2) noise levels which already exceed the levels considered compatible for that use are increased by 3 dB or more. As shown, an increase of 40 trips on Carlton Oaks Drive and Carlton Hills Boulevard would result in a noise increase of 0.1 dB or less, which would not be an audible change in noise levels. Therefore, the project would not result in the exposure of noise sensitive land uses to significant traffic noise levels, and impacts would be less than significant.

Operational Noise

On-site generated noise is regulated by the Santee Municipal Code, Title 5 Health and Safety, Chapter 5.04 Noise Abatement and Control. Section 5.04.040 of the Santee Municipal Code states that “it is unlawful for any person to make, continue, or cause to be made or continued, within the limits of the City, any disturbing, excessive or offensive noise which causes discomfort or annoyance to reasonable persons of normal sensitivity residing in the area.” Section 5.04.040 also provides the following requirements for heating, ventilation, and air conditioning (HVAC) units:

4. Heating and Air Conditioning Equipment and Generators.
 - a. It is unlawful for any person to operate or allow the operation of any generator, air conditioning, refrigeration or heating equipment in such manner as to create a

noise disturbance on the premises of any other occupied property, or if a condominium, apartment house, duplex, or attached business, within any adjoining unit.

- b. All generators, heating, air conditioning, or refrigeration equipment are subject to the setback and screening requirements in this code.

Operational noise sources after construction would include vehicles arriving and leaving associated with church activities, landscape maintenance machinery and other noise sources that would be similar to adjacent land uses. The social hall would be used for small church gatherings and events such as weddings, funerals, and baptisms. Gatherings and events would be contained within the building and would not use the parking lot for event space. The project would not have amplified music or musical instruments. However, an acapella choir would perform in the sanctuary. In addition, the proposed church does not include outdoor bells, and the sanctuary windows would be fixed to minimize noise effects. With the exception of HVAC units, none of these noise sources would have the potential to produce excessive noise or result in a substantial permanent increase in existing noise levels.

HVAC units would be located on the ground between the two buildings. Using the parameters discussed in Section 4.3 of the Noise Analysis (see Attachment C), property line noise levels due to HVAC units were modeled using SoundPLAN. The modeling results are summarized in Table 4 below.

Table 4 HVAC Noise Levels at Off-Site Receivers [dB(A) L_{eq}]			
Receiver	Land Use	HVAC Noise Level	
		Daytime	Nighttime
1	Commercial	43	40
2	Commercial	38	35
3	Single-Family Residential	32	29
4	Single-Family Residential	29	26
5	Single-Family Residential	27	24
6	Single-Family Residential	32	29
7	Single-Family Residential	29	26
8	Multi-Family Residential	44	41
9	Multi-Family Residential	46	43
10	Multi-Family Residential	28	25
11	Commercial	27	24
12	Commercial	37	34

dB(A) L_{eq} = A-weighted decibels equivalent noise level;
 HVAC = heating, ventilation, and air conditioning

As shown, property line noise levels would range from 27 to 46 dB(A) L_{eq} (equivalent noise level) during the daytime hours and 24 to 43 dB(A) L_{eq} during the nighttime hours. Noise at this level would not be considered a noise disturbance. The units would be operated in accordance with the requirements of the Santee Municipal Code. The calculations in the Noise Analysis are conservative because they do not account for the six-foot-high wall on the northern edge of the property. Therefore, impacts due to on-site noise sources would be less than significant.

Air Quality

RECON prepared an Air Quality Analysis dated October 20, 2022 for the proposed project (Attachment D).

The primary goal of the Regional Air Quality Strategy (RAQS) is to reduce ozone precursor emissions. The project site is designated and zoned Neighborhood Commercial (NC). The project would be consistent with the existing land use and zoning designations for the project site and would be consistent with the growth assumptions of the General Plan. Therefore, the project would not result in an increase in emissions that are not already accounted for in the RAQS. Thus, it can be concluded that the project would not obstruct or conflict with the implementation of the RAQS.

As shown in Table 5, project construction emissions would not exceed the applicable regional emissions thresholds. These thresholds are designed to provide limits below which project emissions would not significantly change regional air quality. Therefore, as project construction emissions would be below these limits, project construction would not result in a cumulatively considerable net increase in emissions of ozone, 10-micron particulate matter (PM₁₀), or 2.5-micron particulate matter (PM_{2.5}), and impacts would be less than significant. Additionally, construction emissions would be temporary, intermittent, and would cease at the end of project construction.

Table 5 Summary of Worst-case Construction Emissions (pounds per day)						
Construction	Pollutant					
	ROG	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
Site Preparation	1	6	4	<1	1	<1
Grading	1	10	6	<1	6	3
Building Construction	1	6	7	<1	<1	<1
Paving	1	6	7	<1	<1	<1
Architectural Coatings	21	1	2	<1	<1	<1
Maximum Daily Emissions	21	10	7	<1	6	3
<i>Significance Threshold</i>	<i>250</i>	<i>250</i>	<i>550</i>	<i>250</i>	<i>100</i>	<i>67</i>
ROG = reactive organic gas; NO _x = oxides of nitrogen; CO = carbon monoxide; SO _x = sulphur oxides; PM ₁₀ = 10-micron particulate matter; PM _{2.5} = 2.5-micron particulate matter						

Long-term emissions of regional air pollutants occur from operational sources. As shown in Table 6, project operational emissions would not exceed the applicable regional emissions thresholds. Therefore, as project operational emissions would be below these limits, project operation would not result in a cumulatively considerable net increase in emissions of ozone, PM₁₀, or PM_{2.5}, and impacts would be less than significant.

Table 6 Summary of Project Operational Emissions (pounds per day)						
	Pollutant					
	ROG	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
Area Sources	<1	<1	<1	<1	<1	<1
Energy Sources	<1	<1	<1	<1	<1	<1
Mobile Sources	<1	<1	2	<1	<1	<1
Total	<1	<1	2	<1	<1	<1
<i>Significance Threshold</i>	250	250	550	250	100	67
ROG = reactive organic gas; NO _x = oxides of nitrogen; CO = carbon monoxide; SO _x = sulphur oxides; PM ₁₀ = 10-micron particulate matter; PM _{2.5} = 2.5-micron particulate matter						

Sensitive land uses include schools and schoolyards, parks and playgrounds, daycare centers, nursing homes, hospitals, and residential communities. Residential uses are located adjacent to the project site. The project is not anticipated to result in a carbon monoxide (CO) hot spot at project area intersections. Construction of the project and associated infrastructure would result in short-term diesel exhaust emissions from on-site heavy-duty equipment. However, because construction of the project would be short term (six months) and the amount of heavy equipment required would be minimal, project construction is not anticipated to result in the exposure of nearby residents to substantial pollutant concentrations. Additionally, the project site is not located within 500 feet of a heavily travelled roadway. The project would not result in the exposure of sensitive receptors to substantial pollutant concentrations during construction or operation.

The project does not include heavy industrial or agricultural uses that are typically associated with objectionable odors. The project would involve the use of diesel-powered construction equipment. Diesel exhaust may be noticeable temporarily at adjacent properties; however, construction activities would be temporary and only a minimal amount of construction equipment would be required. Therefore, odor impacts would be less than significant.

Water Quality

Jose Raul Gomez prepared a Hydrology and Drainage Study dated April 17, 2023 (Attachment E) and a Storm Water Quality Management Plan (SWQMP) dated April 17, 2023 (Attachment F) for the proposed project.

The project site is in the San Diego Hydrologic Unit (907) of the Lower San Diego River Watershed (907.12). The project site consists of 0.60 acre and was graded in the past as part of the existing adjacent residential development. The project site contains a small seasonal drainage course and headwall inlet at the western property line. The site has 2 to 50 percent slopes from north to southwest. The existing drainage includes a natural tributary to a dry/seasonal creek which conveys the runoff from off-site, traverses the property along the western area, and discharges into an existing City-owned storm drain system.

Proposed site drainage would convey on-site runoff from roofs, walkways, landscaping, and driveways through the parking lots and concentrate at the proposed gutter on the western side of the parking lot. Runoff would be collected and discharged into the best management practice (BMP) facility for treatment/flow control. Overflow discharge capacity from the BMP device would be discharged into the dry seasonal creek (existing riprap) and transfer into the existing 36-inch corrugated metal pipes public storm drain at the southwest corner of the site. Project compliance with the requirements of the City's BMP Design Manual would ensure the project would not violate

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any water quality standards or waste discharge requirements, and impacts would be less than significant.

Criterion Section 15332(e): Utilities and Public Services

Yes No

 The site can be adequately served by all required utilities and public services.

Existing water and sewer facilities are available adjacent to the site, and improvements would be limited to extension of pipelines onto the project site. Therefore, the project would not require relocation or construction of new or expanded water or wastewater treatment facilities that would cause significant environmental effects, and impacts would be less than significant.

The project would be consistent with the existing land use and zoning designations. Consequently, the project would not consume additional electric power, natural gas, or telecommunication services beyond what has been anticipated by regional growth projections. Existing energy and telecommunication facilities are available adjacent to the site, and improvements would be limited to extensions onto the project site. Therefore, the site would be adequately served by all required utilities and public services.

V. EXCEPTIONS TO CATEGORICAL EXEMPTIONS

Under the Class 32 Categorical Exemption Overview, even if a project is ordinarily exempt under any of the potential categorical exemptions, CEQA Guidelines Section 15300.2 provides specific instances where exceptions to otherwise applicable exemptions apply. The following section addresses whether any of the exceptions to the CEQA exemption apply to the project, consistent with CEQA Guidelines Section 15300.2.

Criterion 15300.2(a): Location

Yes No

 Is there an exception to the exemption for the project due to its location in a particularly sensitive environment, such that the project may impact an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies?

This exception applies only to CEQA exemptions under Classes 3, 4, 5, 6 or 11. Since the project qualifies as a Class 32 urban infill exemption, this criterion is not applicable and is provided here for information purposes only. There are no environmental resources of hazardous or critical concern that are designated, precisely mapped, or officially adopted in the vicinity of the project site, or that could be adversely affected by the project. Therefore, exception under CEQA Guidelines Section 15300.2(a) does not apply to the project.

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Criterion 15300.2(b): Cumulative Impact

Yes No

Is there an exception to the exemption for the project due to significant cumulative impacts of successive projects of the same type and in the same place, over time?

As demonstrated under Criterion Section 15332(a), General Plan and Zoning Consistency, the project is consistent with the development density allowed under the General Plan and zoning for the site with approval of a CUP. Successive projects of the same type and in the same place are unlikely to occur over time after the project is constructed. Therefore, the exception under CEQA Guidelines Section 15300.2(b) does not apply to the project.

Criterion 15300.2(c): Significant Effect

Yes No

Is there an exception to the exemption for the project because there is a reasonable possibility that the project will have a significant effect on the environment due to unusual circumstances?

There are no known unusual circumstances applicable to the project or its site that may result in a significant effect on the environment. Greenhouse gas (GHG) emissions from the project were assessed as a possible unusual circumstance due to global climate change. The project would be consistent with the existing General Plan and zoning designations. Therefore, the project would be consistent with the land use assumptions used in the City's Sustainable Santee Plan. As demonstrated in the Sustainable Santee Action Plan Consistency Checklist (Attachment G), the project would implement all applicable GHG reduction measures related to energy efficiency, solid waste, and clean energy required by the City's Sustainable Santee Plan. Specifically, the project would be consistent with the following goals:

- Increase Energy Efficiency (Goal 4): The project would implement all feasible and applicable California Green Building Standards Code (CALGreen) Tier 2 Building Standards. The CALGreen Tier 2 measures that would be implemented by the project are related to planning and design, energy efficiency, water efficiency and conservation, material conservation and resource efficiency, and environmental quality.
- Decrease Energy Demand through Reducing Urban Heat Island Effect (Goal 5): To achieve this goal, projects are required to utilize tree planting for shade and energy efficiency, and to use light-reflecting surfaces. The project landscape plan includes planting 12 trees within the parking area as well as at the building façade.
- Electric Vehicles (Goal 7): The electric vehicle requirements outlined in Goal 7 of the Sustainable Santee Plan are not applicable to the project because the project would not include 200 or more employees.
- Solid Waste (Goal 9): Curbside trash, recycling, and yard waste service would be provided by Waste Management. The project would provide adequate trash and recycling storage per Santee Municipal Code Chapter 13.36. Additionally, the project would comply with the City's construction and demolition recycling ordinance (Santee Municipal Code Section 13.38.060) and Solid Waste Ordinance #3239-A.

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Based on the project's consistency with the City's Sustainable Santee Plan demonstrated in the Checklist, the project's contribution of GHGs to cumulative statewide emissions would be less than cumulatively considerable. Therefore, impacts associated with GHG emissions generated by the project would be less than significant. Therefore, an exception to the exemption under CEQA Guidelines Section 15300.2(c) does not apply to the project.

Criterion 15300.2(d): Scenic Highway

Yes No

Is there an exception to the exemption for the project because project may result in damage to scenic resources including but not limited to, trees, historic buildings, rock outcroppings or similar resources, within a highway officially designated as a state scenic highway?

There are no designated state scenic highways within the city of Santee. The segment of State Route 52 that is designated as a state scenic highway (Santo Road to Mast Boulevard) is located in the city of San Diego, approximately 2.5 miles to the west, and is not visible from the project site (California Department of Transportation [Caltrans] 2018). The project site does not possess any scenic resources such as trees and rock outcroppings and is unremarkable in character.

The term "historic resources" applies to any such resource that is at least 50 years old and is listed or determined eligible for listing in the California Register of Historical Resources. The project site was graded in the past and is currently vacant and undeveloped.

Therefore, the project would not result in damage to scenic resources including but not limited to, trees, historic buildings, rock outcroppings or similar resources, within a highway officially designated as a state scenic highway. Therefore, an exception to the exemption under CEQA Guidelines Section 15300.2(d) does not apply to the project.

Criterion 15300.2(e): Hazardous Waste Sites

Yes No

Is there an exception to the exemption for the project because the project is located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code?

The provisions of Government Code Section 65962.5 are commonly referred to as the "Cortese List." The provisions require the Department of Toxic Substance Control, the State Water Resources Control Board, the California Department of Public Health, and the California Department of Resources Recycling and Recovery to submit information pertaining to sites associated with solid waste disposal, hazardous waste disposal, leaking underground tank sites, and/or hazardous materials releases to the Secretary of California Environmental Protection Agency. The project site is not identified on any lists compiled pursuant to Section 65962.5 of the Government Code. Therefore, an exception to the exemption under CEQA Guidelines Section 15300.2(e) does not apply to the project.

Criterion 15300.2(f): Historical Resources

Yes No

Is there an exception to the exemption for the project because the project may cause a substantial adverse change in the significance of a historical resource?

RECON prepared a Cultural Resources Record Search Memorandum dated August 31, 2022 for the proposed project (Attachment H). RECON requested a records search of the project area with a mile-radius buffer from the California Historical Resources Information System at the South Coastal Information Center. This included previously recorded cultural resources, previous archaeological surveys and excavations, and historic maps and historic addresses. The National Register of Historic Places, the California Register of Historical Resources for San Diego County, and the County of San Diego's Local Register of Historical Resources were also reviewed. No historic sites are recorded within the project area. Further, the project site was graded in the past and is currently vacant and undeveloped. Therefore, the project would not affect a known historical resource pursuant to CEQA Guidelines Section 15064.5 and an exception to the exemption under CEQA Guidelines Section 15300.2(f) does not apply to the project.

VI. REFERENCES

1. Caltrans. California State Scenic Highway System Map.
<https://caltrans.maps.arcgis.com/apps/webappviewer/index.html?id=465dfd3d807c46cc8e8057116f1aaca>. 2018.
2. City of Santee VMT Analysis Guidelines. 2022.

ATTACHMENTS

Attachment A - Biological Resource Letter Report
Attachment B - Vehicle Miles Traveled (VMT) Memo
Attachment C - Noise Analysis
Attachment D - Air Quality Analysis
Attachment E - Hydrology & Drainage Study
Attachment F - Storm Water Quality Management Plan
Attachment G - Sustainable Santee Checklist
Attachment H - Cultural Resources Record Search Memo
Attachment I - Geotechnical Evaluation

The above referenced attachments are available for download from the following weblink:

<https://www.cityofsanteeca.gov/government/planning-and-building/active-projects-and-environmental-documents-for-public-review>

RESOLUTION NO.

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA APPROVING CONDITIONAL USE PERMIT P2022-5 FOR A 4,307 SQUARE FOOT CHURCH FACILITY AND RELATED SITE IMPROVEMENTS ON A 0.61-ACRE VACANT LOT LOCATED AT 9300 PIKE ROAD (APN 380-112-08) IN THE NEIGHBORHOOD COMMERCIAL ZONE (NC) AND FINDING THE PROJECT EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO THE CLASS 32 INFILL EXEMPTION.

APPLICANT: ST. NICHOLAS DIOCESE IN CHICAGO FOR THE UKRAINIANS

WHEREAS, the Santee Municipal Code requires a Conditional Use Permit for church use development in the Neighborhood Commercial (NC) Zone; and

WHEREAS, on October 19, 2023, St. Nicholas Diocese in Chicago for the Ukrainians submitted a complete application for P2022-5 to construct a 4,307 square foot Church building development located at 9300 Pike Road (APN 380-112-08) in the NC Zone; and

WHEREAS, the project is consistent with the applicable general plan designation and all applicable general plan policies and with the Zoning Ordinance land use regulations; and

WHEREAS, the site can be adequately served by all required utilities and public services; and

WHEREAS, the proposed project is located outside of Airport Influence Area 1 of Gillespie Field and does not require review by the San Diego Airport Land Use Commission; and

WHEREAS, the Project is subject to the payment of development impact fees based on the Project's commercial use classification and size; and

WHEREAS, development impact fees ensure that new development will not burden the existing service population with the cost of facilities required to adequately support new development; and

WHEREAS, new development requires the construction of capital improvements, including, without limitation, drainage improvements, traffic improvements, traffic signals, public park facilities, community facilities and other public improvements, public services and community amenities; and

WHEREAS, the purpose of the development impact fees imposed on the subject Project is to provide a funding source from the Project to fund related capital improvements that serve the Project, specifically drainage improvements, traffic improvements and traffic signals; and

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WHEREAS, it is in the interest of the public's health, safety and welfare for the Project to pay the costs of constructing these public facilities that are reasonably related to the impacts of the Project; and

WHEREAS, a reasonable relationship exists between the use of the development impact fees and the Project as capital improvements funded by these fees are expected to provide a citywide network of drainage and traffic-related facilities beneficial to the Project; and

WHEREAS, the Project's facilities need, specifically the need for drainage, traffic and traffic signal facilities, is based on the Project's commercial classification and on the demand generated by the Project for those facilities and the Project's corresponding fair share contribution toward funding of said needed facilities; and

WHEREAS, the development impact fees established for the Project are based on the Project's size to ensure a reasonable proportionality between the Project and the cost of the facilities attributable to the Project; and

WHEREAS, the Project is not subject to Measure N as the Project is not a General Plan amendment, Planned Development Area, or new Specific Planning Area, nor would it increase the residential density permitted by law, make changes to the General Plan Residential Land Use categories that would intensify use, make changes to the land use designation of any parcel in a manner that intensifies use, nor make changes to slope criteria, minimum parcel sizes, or lot averaging provisions of the General Plan that would permit increased density or intensity of use; and

WHEREAS, the Planning & Building Department scheduled P2022-5 for public hearing on November 8, 2023; and

WHEREAS, on November 8, 2023, the City Council held a duly advertised public hearing on P2022-5; and

WHEREAS, the City Council considered the Staff Report, the CEQA Exemption, all recommendations by staff, public testimony, and all other relevant information contained in the administrative record regarding the Project.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Santee, California, after considering the evidence presented at the public hearing, as follows:

SECTION 1: On November 8, 2023, the City Council approved filing a California Environmental Quality Act (CEQA) Exemption and determined that the project qualifies under the Class 32 categorical exemption (State CEQA Guidelines § 15332). The project (a) is consistent with the applicable general plan designation and all applicable general plan policies, as well as with applicable zoning designation and regulations; (b) the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) the project site has no value as habitat for endangered, rare or threatened species; (d) approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) the site

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can be adequately served by all required utilities and public services. None of the exceptions to the Class 32 exemption found in State CEQA Guidelines Section 15300.2 apply to the project. No further environmental review is required for the City to adopt this Resolution.

SECTION 2: The findings in accordance with Section 13.06.030 of the Santee Municipal Code for a Conditional Use Permit are made as follows:

- A. *That the proposed use is in accord with the General Plan, the objectives of the zoning ordinance, and the purposes of the district in which the site is located*

That the proposed use is in accordance with the Santee General Plan, the objectives of the Development Code, and the purpose of the district in which the site is located. The site is located in the Neighborhood Commercial (NC) Zone land use district which is intended primarily for a range of necessary day-to-day retail goods and services required by residents in the immediate vicinity, but also allows churches with Conditional Use Permit approval. Site development regulations and performance standards are intended to make such uses compatible to and harmonious with the character of surrounding residential. Development standards are set forth by the Zoning Ordinance and as a conditional use, additional operational and performance standards have been placed on the proposed church use to ensure that it is compatible with the surrounding neighborhood. Civic uses such as schools and churches, are considered compatible with neighborhood commercial and immediately surrounding residential uses.

- B. *That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.*

The proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity because:

1. The church building is separated from surrounding residential uses by a six-foot high decorative block wall, landscaping, and an access driveway; and
2. The building presents its narrower elevation toward Carlton Oaks Drive to preserve view from the adjacent residential properties; and
3. Site development includes a main access driveway from Carlton Oaks Drive, a collector street in accordance with the Mobility Element of the General Plan; and
4. Measures to minimize night light impacts to the surrounding community will be implemented, including directing and/or shielding all light to prevent the light from adversely affecting adjacent properties; and
5. Noise from church construction and operational activities will not be detrimental to surrounding properties as conditions of approval, herein, require construction

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activities to not be conducted before 7:00 a.m. or after 7:00 p.m. on Mondays through Saturdays and at any time on Sundays and holidays; and church services would be infrequent and are required to be conducted between 7:00 a.m. and 10 p.m.

- C. *That the proposed use complies with each of the applicable provisions of the zoning ordinance.*

That the proposed use complies with each of the applicable provisions of the Development Code for building setbacks, landscaping, and lighting and because the use is permitted in the Neighborhood Commercial (NC) zone with approval of a Conditional Use Permit and the buildings, parking, parking lot lighting and site landscaping have been designed to be consistent with the criteria of the Municipal Code, and all proposed private improvements will meet the City's public works standards. The proposed development has been comprehensively designed with carefully placed buildings, parking areas, landscaping and other site improvements that adequately reflect surrounding uses and site conditions.

SECTION 3: P2022-5 to establish a Church located at 9300 Pike Road (APN 380-112-08) is hereby approved subject to the following conditions:

- A. Prior to issuance of Building Permit, the applicant shall:

1. Following project approval, the applicant shall schedule with the City Project Planner a post approval meeting to discuss the project conditions of approval, timing of design and construction and implementation of the project conditions. The meeting shall be scheduled within thirty days of project approval and prior to any plan submittals. The applicant should include their project design team including project architect, their design engineer, and their landscape architect.
2. The applicant shall include provisions in their design contract with their design consultants that following approval by the City, all construction drawings or technical reports accepted by the City, exclusive of architectural building plans, shall become the property of the City. Once accepted, these plans may be freely used, copied or distributed by the City to the public or other agencies, as the City may deem appropriate. A letter of acknowledgement of this requirement from each design consultant is required at the time of plan submittal. This letter shall be in a format acceptable to the City Engineer.
3. If construction initiation occurs between January 15 and September 15, a pre-construction nesting bird and raptor survey of the project impact area shall be completed by a qualified biologist prior to vegetation removal. The pre-construction survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). If any active nests are detected, the area will be flagged and mapped along with a buffer as recommended by the qualified biologist. The buffer area(s) established by the qualified biologist will be avoided until the nesting cycle is complete or it is determined that the nest is no longer active. The qualified biologist shall be a person familiar with bird breeding behavior and capable of identifying the bird

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species of San Diego County by sight and sound and determining alterations of behavior as a result of human interaction. Buffers will be based on species-appropriate buffers and/or local topography and line of sight, species behavior and tolerance to disturbance, and existing disturbance levels, as determined appropriate by the qualified biologist.

4. Prior to any grading, clearing, or construction activities, a qualified biologist will be retained by the project applicant and will provide evidence to the satisfaction of the City Planning & Building Department of submittal of a 1602 Streambed Alteration Agreement to California Department of Fish and Wildlife (CDFW) and, if applicable, compliance with any required conditions. The qualified biologist will also provide periodic biological monitoring during project construction to prevent inadvertent disturbance to potentially federal and state jurisdictional waters. The project biologist shall verify the implementation of the following best management practices during construction:
5. Prior to any grading, clearing, or construction activities, the project applicant shall install prominently colored Environmentally Sensitive Area fencing or silt fencing wherever the limits of grading are adjacent to jurisdictional waters to be avoided, as identified by the qualified biologist. Fencing shall remain in place during all construction activities.
6. During construction, the project shall use silt fences, fiber rolls, gravel bags, and soil stabilization measures such as erosion control mats and hydroseeding as necessary and applicable.
7. Staging/storage areas for construction equipment and materials will not be located in or adjacent to jurisdictional waters.
8. No spoils, debris, rubbish, cement, or concrete, or washing thereof, oil, or petroleum products will be stored where it may be washed by rainfall or runoff into jurisdictional waters.
9. No equipment maintenance or fueling will be performed within or near jurisdictional waters, where petroleum products or other pollutants from the equipment may enter these areas. Any equipment or vehicles driven and/or operated adjacent to a jurisdictional water will be checked and maintained by the operator daily to prevent leaks of oil or other petroleum products.
10. When construction operations are completed, any excess materials or debris will be removed from the work area.
11. The construction contractor shall use construction equipment powered by California Air Resources Board certified Tier 4, or newer, engines and haul trucks that conform to current U.S. Environmental Protection Agency truck standards.

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12. During all grading and site preparation activities, the on-site construction superintendent shall ensure implementation of standard best management practices as required by the San Diego Air pollution Control District Rule 55, Fugitive Dust Control.
13. During all grading and site preparation activities, the on-site construction superintendent shall ensure implementation of applicable California Department of Resources Recycling and Recovery Sustainable (Green) Building Program Measures.
14. The project shall utilize high-efficiency equipment and fixtures consistent with the current California Green Building Standards Code and Title 24 of the California Code of Regulations.
15. The project shall include the installation of infrastructure necessary for electric vehicle parking, as well as providing preferential parking for electric vehicles. The project shall provide bike parking on-site.
16. The project shall comply with the Santee Water Efficient Landscape Ordinance. The ordinance promotes water conservation and efficiency by imposing various requirements related to evapotranspiration rates, irrigation efficiency, and plant factors.
17. The project shall comply with Chapters 9.02 and 9.04 of the Santee Municipal Code that pertain to solid waste management and demolition and construction debris recycling.
18. In conformance with San Diego Air Pollution Control District's Rule 67.0.1, Architectural Coatings, the project shall use low volatile organic compound paints.
19. The Construction Contractor shall ensure that construction of the project complies with the recommendations identified in the project-specific geotechnical investigation. Recommendations related to general construction, seismic considerations, earthwork, foundations, building floor slabs, lateral earth pressures, corrosivity, drainage, storm infiltrations, exterior concrete and masonry flatwork and paved areas shall be adhered to during all project design and construction.
20. All construction plans shall include the following notes:
 - a. Operations shall conform to the City's Municipal Code Section 5.04.090.
 - b. All equipment shall be equipped with properly maintained mufflers.
 - c. The construction contractor shall place noise-generating construction equipment and locate construction staging areas at the greatest possible distance from sensitive uses whenever feasible during all project construction.
 - d. The construction contractor shall use on-site electrical sources to power equipment rather than diesel generators where feasible.

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21. All residential units located within 500 feet of the construction site shall be sent a notice regarding the construction schedule. A sign legible at a distance of 50 feet shall also be posted at the construction site. All notices and the signs shall indicate the dates and durations of construction activities, as well as provide a telephone number for the "noise disturbance coordinator."
22. A "noise disturbance coordinator" shall be established. The disturbance coordinator shall be responsible for responding to any local complaints about construction noise. The disturbance coordinator shall determine the cause of the noise complaint (e.g., starting too early, bad muffler) and shall be required to implement reasonable measures to reduce noise levels.
23. The following shall be incorporated into the project construction plan: "Control of Construction Hours. Construction activities occurring as part of the project shall be subject to the limitations and requirements of Section 5.04.090 of the City Municipal Code which states that construction activities may occur between 7:00 a.m. and 7:00 p.m. Mondays through Saturdays. No construction activities shall be permitted outside of these hours or on Sundays and holidays."
24. Prior to the start of ground-disturbing activities, the applicant shall retain a qualified archaeologist who meets the Secretary of the Interior's Professional Qualifications Standards for archaeology (U.S. Department of the Interior 2012). The applicant shall also retain a Native American monitor of Kumeyaay descent.
25. Prior to start of ground-disturbing activities, the qualified archaeologist shall conduct cultural resources sensitivity training for all construction personnel. Construction personnel shall be informed of the types of archaeological resources that may be encountered, and of the proper procedures to be enacted in the event of an inadvertent discovery of archaeological resources or human remains. The applicant shall ensure that construction personnel attend the training and sign an attendance acknowledgement form. The applicant shall retain documentation demonstrating attendance.
26. The qualified archaeologist, or an archaeological monitor (working under the direct supervision of the qualified archaeologist), shall observe all initial ground-disturbing activities, including but not limited to brush clearance, vegetation removal, grubbing, grading, and excavation. The qualified archaeologist, in coordination with the applicant and the City, may reduce or discontinue monitoring if it is determined by the qualified archaeologist that the possibility of encountering buried archaeological deposits is low based on observations of soil stratigraphy or other factors. Archaeological monitoring shall be conducted by an archaeologist familiar with the types of archaeological resources that could be encountered within the project site. The archaeological monitor shall be empowered to halt or redirect ground-disturbing activities away from the vicinity of a discovery until the qualified archaeologist has evaluated the discovery and determined appropriate treatment (as prescribed below). The archaeological monitor shall keep daily logs detailing the types of activities and

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soils observed, and any discoveries. After monitoring has been completed, the qualified archaeologist shall prepare a monitoring report that details the results of monitoring. The report shall be submitted to the City and any Native American groups who request a copy. A copy of the final report shall be filed at the South Coastal Information Center (SCIC).

27. The Native American monitor shall be present for any pre-construction meeting and for all ground-disturbing activities associated with the project. Should any cultural or tribal cultural resources be discovered, no further grading shall occur in the area of the discovery until the City Planner, or designee, with concurrence from the Native American monitor, are satisfied that treatment of the resource has occurred. In the event that a unique archaeological resource or tribal cultural resource is discovered, and in accordance with Public Resources Code Section 21083.2(b)(1), (2), and (4), the resource shall be moved and buried in an open space area identified by the Native American monitor, which will not be subject to further grading activity, erosion, flooding, or any other ground disturbance that has the potential to expose the resource. No identification of the resource shall be made; however, the applicant shall plot the new location of the resource on a map showing latitudinal and longitudinal coordinates and provide that map to the Native American Heritage Commission (NAHC) for inclusion in the Sacred Lands File. Disposition of the resources shall be at the discretion of the City of Santee, but in accordance with the foregoing.
28. In the event of the unanticipated discovery of archaeological materials, all work shall immediately cease in the area (within 100 feet) of the discovery until it can be evaluated by the qualified archaeologist in consultation with the Native American monitor. Construction shall not resume until the qualified archaeologist has conferred with the applicant and the City on the significance of the resource.
29. If it is determined that the discovered archaeological resource constitutes a historical resource or a unique archaeological resource under CEQA, avoidance and preservation in place is the preferred manner of mitigation. Preservation in place may be accomplished by, but is not limited to, avoidance, incorporating the resource into open space, capping, or deeding the site into a permanent conservation easement. In the event that preservation in place is demonstrated to be infeasible and data recovery through excavation is the only feasible mitigation available, a Cultural Resources Treatment Plan shall be prepared and implemented by the qualified archaeologist in consultation with the applicant and the City that provides for the adequate recovery of the scientifically consequential information contained in the archaeological resource. The qualified archaeologist and the City shall consult with appropriate Native American representatives in determining treatment for prehistoric or Native American resources to ensure cultural values ascribed to the resources, beyond those which are scientifically important, are considered.
30. If human remains are encountered, all work shall halt in the vicinity (within 100 feet) of the discovery and the San Diego County Coroner will be contacted in

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accordance with Public Resources Code (PRC) Section 5097.98 and Health and Safety Code Section 7050.5. The applicant and the City will also be notified. If the County Coroner determines that the remains are Native American, the NAHC will be notified in accordance with Health and Safety Code Section 7050.5, subdivision (c), and PRC Section 5097.98 (as amended by Assembly Bill 2641). The NAHC will designate a Most Likely Descendant (MLD) for the remains per PRC Section 5097.98. The MLD shall complete the inspection of the site within 48 hours of being granted access and shall provide recommendations for the treatment of the remains. Until the landowner has conferred with the MLD, the applicant will ensure that the immediate vicinity where the discovery occurred is not disturbed by further activity, is adequately protected according to generally accepted cultural or archaeological standards or practices.

31. Coordinate with the City Geographic Information System, horizontal and vertical control for all construction drawings, grading plans, landscape plans, street improvement plans, plot plans, etc., shall be obtained from ROS 11252. All plans, exclusive of building plans, shall be prepared at an engineering scale of 1" =20' unless otherwise approved by the project engineer.
32. Applicant shall ensure that all property corners are properly monumented. If corners have been lost or do not exist, corners shall be set and a Record of Survey filed prior to issuance of a building permit.
33. Starting with the first plan check submittal, all plan sets shall be submitted concurrently to Padre Dam Municipal Water District for review and approval. The City does not coordinate the review process with Padre Dam, this is the responsibility of the design engineer and the landscape architect. Failure to properly coordinate this review may result in delay of issuance of permits required for construction. It is incumbent upon the applicant to oversee the plan submittals of their design consultants.
34. Street Improvement Plans shall be submitted to the Engineering Department for review and acceptance. Prior to the start of construction of any improvements, public or private, within the limits of the public right-of-way, the applicant shall have plans accepted, agreements executed, securities posted and an encroachment permit issued. All improvements shall be installed in accordance with City standards and at the applicant's cost unless otherwise indicated. The following improvements are conditioned as part of this development:
 - a. Install a new major roadway streetlight per City of Santee Standard Drawing PW-20 on the west side of the proposed driveway on Carlton Oaks Drive.
 - b. Construct a 26-foot wide commercial driveway on Carlton Oaks Drive per City of Santee Standards. The driveway design shall be per the City

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of Santee Public Works Standard Drawing PW-38 and to the satisfaction of the City Engineer.

- c. Construct a 16-foot wide, one-way commercial driveway on Pike Road per City of Santee Standards. The driveway design shall be per the City of Santee Public Works Standard Drawing PW-38 and to the satisfaction of the City Engineer.
- d. Street Improvement plans shall be one hundred percent (100%) complete at the time of plan check submittal, be prepared in accordance with City guidelines and the requirements set forth herein, and be ready for acceptance by the City. Partial or incomplete submittals will not be accepted for plan check. At the time of plan check submittal, the applicant shall schedule an appointment with their designated City project engineer and the applicant's design engineer to review the plan submittal for completeness. The following shall be included as part of the improvement plan submittal package:
 - 1) Six sets of plans bound and stapled (improvements).
 - 2) Plan check fees.
 - 3) Preliminary cost estimate for the improvements.
 - 4) One copy of the Resolution of Approval approving the project.

Plan check and inspection fees shall be paid in accordance with the City Fee Schedule prior to issuance of the permit.

35. Precise Grading Plans shall be submitted to the Engineering Department for review and acceptance.

- a. Horizontal and vertical control for all plans shall be obtained from ROS 11252 and shall be prepared at an engineering scale of 1"=20' unless otherwise approved by the City project engineer.
- b. Project landscape and irrigation plans shall be included within the grading plan set.
- c. All recommended measures identified in the approved geotechnical study shall be incorporated into the project design and construction.
- d. Grading plans shall include preliminary recommendations for all pavement design sections within the project limits. The pavement structural section shall be designed based on the "R" value method using a minimum traffic index of 5.0. Structural sections shall consist of asphalt concrete over approved aggregate base material. Minimum concrete section shall be 5 1/2 inches PCC over compacted, non-expansive soil. Mix design shall be a minimum class 520-C-2500. R-value test data and design calculations shall be submitted for approval to the Engineering Department a minimum of seven days prior to

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placement of paving. The pavement design report shall conform to City of Santee Form 435 - PAVEMENT DESIGN AND R-VALUE TEST SUBMITTAL PROCEDURES.

- e. Grading plans shall be one hundred percent (100%) complete at the time of plan check submittal, be prepared in accordance with City guidelines and be ready for acceptance by the City. Partial or incomplete submittals will not be accepted for plan check. At the time of plan submittal, the applicant shall schedule an appointment with their designated City project engineer and the applicant's design engineer to review the plan submittal for completeness. The following shall be included as part of the grading, landscape and irrigation plan submittal package:
 - 1) Six sets of grading, landscape and irrigation plans bound and stapled.
 - 2) Plan check fees.
 - 3) A completed grading permit application.
 - 4) A cost estimate for the cost of construction.
 - 5) Two copies of the Drainage Study specified here within.
 - 6) Two copies of the Storm Water Quality Management Plan specified here within.
 - 7) Two copies of an Operation & Maintenance (O&M) plan specified here within.
 - 8) Two copies of the Geotechnical Study specified here within.
 - 9) A letter of acknowledgement, signed and sealed, from each design consultant acknowledging City ownership of all construction drawings following City approval as specified here within.
 - 10) One copy of the Resolution of Approval or Director's Decision approving the project.

Plan check and inspection fees shall be paid in accordance with the City Fee Schedule prior to issuance of the permit.

36. Provide two copies of a geotechnical study prepared in accordance with the Santee General Plan. All recommended measures identified in the approved study shall be incorporated into the project design. Copies of the Geotechnical/Seismic Hazard Study for the Safety Element of the Santee General Plan which details, in Table A-1, study criteria necessary to conform to the General Plan requirements, can be purchased from the Engineering Department.
 - a. The geotechnical report shall analyze any proposed infiltration techniques (trenches, basins, dry wells, permeable pavements with underground reservoir for infiltration) for any potential adverse geotechnical concerns. Geotechnical conditions such as: slope stability, expansive soils, compressible soils, seepage, groundwater depth, and loss of foundation or pavement subgrade strength should be addressed, and mitigation measures provided.

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- 37. Applicant consents to annexation of the property under development to the Santee Roadway Lighting District and agrees to waive any public notice and hearing of the transfer. Applicant shall pay the necessary annexation costs and upon installation of any street lights required for the development, pay the necessary street light energizing and temporary operating costs.
- 38. Replace failed or inadequate pavement to the centerline and sidewalk adjacent to the site on Carlton Oaks Drive and Pike Road to the satisfaction of the City Engineer.
- 39. Applicant shall pay all development impact fees in effect at the time of issuance of building permits. At present, the fees are estimated to be as follows:
 - a. Drainage \$ 34,724.29 (estimated)
calculated based on \$ 1,452.00/1000 square feet of increased impermeable area.
 - b. Traffic \$ 42,918.22
calculated based on a fee rate of \$ 9,721.00/1000 square feet of building area.
 - c. Traffic Signal \$ 6,922.72
calculated based on a fee rate of \$ 1,568.00/1000 square feet of building area.

Impact fee amounts shall be calculated in accordance with the City Fee Schedule and based on current fee ordinances in effect at issuance of building permit. The drainage fee shall be calculated based on the actual impermeable area created by the project including off-site street improvements or other improvements beyond the project boundary. The applicant shall provide certification of final site and building areas by their engineer of work to be approved by the City Engineer for use in calculating the final fee amounts. Fees shall be adjusted on an annual basis in accordance with the Municipal Code.

- 40. Following issuance of a grading permit the applicant shall complete rough grading in accordance with the approved grading plans and the recommendations of the project's geotechnical engineer. Following completion of the rough grading and prior to issuance of any building permits, provide three originals of the pad compaction certification from the geotechnical engineer and three originals of the pad elevation certification from the project civil engineer to the City project engineer.
- 41. Provide two copies of a drainage study prepared by a registered Civil Engineer, with demonstrated expertise in drainage analysis and experience in fluvial geomorphology and water resources management. Storm drainage shall be designed to adequately convey storm water runoff without damage or flooding of surrounding properties or degradation of water quality.
 - a. The drainage study shall identify and calculate storm water runoff

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quantities expected from the site and upstream of the site and verify the adequacy of all on-site or off-site facilities necessary to discharge this runoff. The drainage system design shall be capable of collecting and conveying all surface water originating within the site, and surface water that may flow onto the site from upstream lands, and shall be in accordance with the latest adopted Master Drainage Plan, the requirements of the City of Santee Public Works Standards, including analysis of the 10-year, 50-year and 100-year frequency storms, and be based on full development of upstream areas.

- b. The drainage study shall compute rainfall runoff characteristics from the project area including, at a minimum, peak flow rate, flow velocity, runoff volume, time of concentration, and retention volume. These characteristics shall be developed for the 10-year, 50-year and 100-year frequency six-hour storm during critical hydrologic conditions for soil and vegetative cover. Storm events shall be developed using isopluvial maps and in accordance with the San Diego County Hydrology Manual.
42. Provide two copies of a Storm Water Quality Management Plan (SWQMP) prepared and in accordance with the City of Santee Storm Water Ordinance and in accordance with the City of Santee Best Management Practices (BMP) Design Manual dated February 2016. The SWQMP must include best management practices (BMPs) to address water quality and hydromodification. An Operation and Maintenance Plan describing maintenance requirements and costs for BMP maintenance and provision of maintenance verification will be provided.

The SWQMP shall include the following:

- a. Develop and implement appropriate Best Management Practices (BMPs) to ensure that the project does not increase pollutant loads from the site. A combination of respective storm water BMPs, including Site Design, Source Control, and Structural Treatment Control shall be implemented in accordance with the approved SWQMP.
- b. The biofiltration basin shall have impermeable liners on the sides per the geotechnical report recommendations.
- c. The project design shall incorporate Low Impact Development (LID) and site design BMPs to minimize directly connected impervious areas and to promote infiltration using LID techniques as outlined in the County of San Diego's LID handbook. Parking areas shall be designed to drain to landscape areas. Private roads shall be designed to drain to vegetated swales or landscaped areas.
- d. The site shall comply with full trash capture requirements by providing completely enclosed trash and recycling enclosures, and fitting all storm drain inlets with a State certified grate/screen or trash rack. Said devices

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must be designed to capture debris of 5 mm or greater, while preventing flooding potential. In addition, any adjacent public storm drain inlet structure to which the site discharges must also be retrofitted with trash capture devices. The device which shall be used for public inlets is the ADS FlexStorm Connector Pipe Screen system or approved equal.

- e. All inlets must be labeled with concrete stamp or equivalent - stating, "No Dumping - Drains to River". If work is performed on a public inlet, the public inlet must be labeled with the following standard specification: Public storm drain inlet markers shall be 4" diameter, stainless steel, natural embossed, inlet marker as manufactured by Almetek Industries or approved equal. Marker shall contain/state "No Dumping" with "Fish w/Wave" symbol and "Drains to Waterways" legend. Marker shall contain 2" long x 1/4" diameter threaded rod and shall be installed flush and wet-set in top of inlet, centered on width of inlet opening.
- f. Down spouts and HVAC systems are not permitted to be connected to any storm drain conveyance system. All non-storm water discharges must either drain to landscaped areas, or be plumbed to the sewer.
- g. Fire suppression systems must be designed to be able to discharge to a sewer clean out for all maintenance and testing activities, or otherwise captured and contained on-site.
- h. California native/drought-tolerant plants shall be used to the maximum extent feasible to minimize the need for irrigation. Where irrigation is necessary, then the system shall be designed and installed to prevent overspray or irrigation runoff during normal operations and during a break in the line.
- i. The final project submittal shall include a standalone Operation and Maintenance (O&M) Plan in accordance with the City of Santee BMP Design Manual.

B. Prior to Occupancy the Applicant shall:

- 1. Provide two print copies and a digital copy of both the final approved Storm Water Quality Management Plan and the Operation and Maintenance Plan.
 - a. Submit a print and digital copy of the BMP Certification package. The BMP certification package includes but is not limited to: 'wet' signed and stamped certification form(s), all BMP related product receipts and materials delivery receipts, an inspection and installation log sheet, and photographs to document each stage of BMP installation.
 - b. Prior to issuance of occupancy, an executed contract must be in place with a qualified storm water service provider and a copy of the SWQMP provided to the consultant.

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2. A Storm Water Facilities Maintenance Agreement accepting responsibility for all structural BMP maintenance, repair and replacement as outlined in said O&M plan binding on the land throughout the life of the project will be required prior to issuance of building permit.
3. Submit two copies of a current preliminary title report (dated within six months of plan submittal) and two copies of all documents listed in the title report. Copies of recorded documents must be clear and legible copies of the original recorded document.
4. The applicant shall comply at all times with the following work hour requirements:
 - a. No site work, building construction, or related activities, including equipment mobilization will be permitted to start on the project prior to 7:00 am and all work for the day shall be completed by 7:00 pm, no exceptions.
 - b. No work is permitted on Sundays or City Holidays.
 - c. No deliveries, including equipment drop off and pick-up, shall be made to the project except between the hours of 8:00 am and 6:00 pm, Monday through Saturday, excluding Sundays and City Holidays. Deliveries of emergency supplies or equipment necessary to secure the site or protect the public are permitted.
 - d. If the applicant fails or is unable to enforce compliance with their contractors, subcontractors and material suppliers regarding the specified work hours, additional reduction of work hours may be imposed by the Engineering Department.

In addition to the above the applicant shall erect one or more signs stating the work hour restrictions. Signs shall be installed as may be required, in the vicinity of the project construction trailer if a job site trailer is used, or at such other locations as may be deemed appropriate by the Engineering Department. The sign shall be a minimum of 24" x 36" and shall be weather proofed. The sign content shall be provided by the Engineering Department.

5. Trench work when required within City streets shall be completed within two weeks of the initial start date, including placement of the final trench patch. Trench plates or temporary pavement placement shall be installed at the end of each work day. Advance warning signs on lighted barricades notifying the public of trench plates and or uneven pavement shall be placed and maintained until permanent pavement repairs are made. The maximum length of time including weekends and holidays that trench plates may remain on the street is 72 hours after which temporary or permanent asphalt paving shall be placed.

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6. Comply with all applicable sections of the Municipal Code, Land Development Manual and Public Works Standards of the City of Santee.
7. The project shall install a new major roadway streetlight per Santee Standard Drawing PW-20 on the west side of the driveway on Carlton Oaks Drive.
8. Applicant shall place all new utilities required to serve the project underground. No overhead facilities or extension of overhead facilities is permitted.
9. Applicant shall dedicate 2' of right-of-way along Carlton Oaks Drive adjacent to the site such that the ultimate right-of-way width to centerline is 42 feet. Additional right-of-way may be required as necessary to provide adequate transition to match existing improvements.
10. Plant all new trees in and within 10 feet of the public right-of-way with root control barriers.
11. Construct all improvements within the public right-of-way and improvements as shown on the approved precise grading plans. Improvements shall be completed to the satisfaction of the City Engineer.
12. The access drive through the site shall be a minimum one-way fire lane width of 16'. No building elements, balconies, drains, projections, or any other object shall encroach into this clear space. The fire lane(s) shall be identified by painting curbs red with white-stenciled letters indicating "NO PARKING – FIRE LANE" every 30 feet along all portions of the fire lane. Red stripes with white stenciled letters shall be painted on the curb or asphalt in front of garages along fire lanes as well. Or, signs shall be installed on the edge of the curb indicating the same. Placement of the signs shall be every 75 feet (or other approved spacing), placed in between the curb stenciling. Exact placement shall be approved by the fire code official prior to installation.
13. The buildings are required to be constructed with approved automatic fire sprinkler systems installed by a licensed fire sprinkler contractor. Separate plans are required to be submitted to the Fire Department for approval prior to installation. If the fire sprinkler systems have 20 or more sprinkler heads, the sprinkler system is required to be monitored by an approved central station monitoring company. A Potter, "SASH-120" Horn/Strobe (or equivalent) shall be located below each address placement for indication of fire sprinkler activation.
14. One or more hydrants are required. Show existing and/or proposed Fire hydrant location. Fire hydrants shall have two, 2 1/2" ports and one, 4" port. Hydrants shall be of all bronze construction, painted "fire hydrant yellow" and be installed per Padre Dam Water District requirements. Exact location of required hydrants is to be determined by the Fire Department prior to installation. All underground utilities including fire mains, fire hydrants and fire service underground devices shall be installed and approved prior to the delivery of construction materials.

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15. This device that supplies water to the automatic fire sprinkler system shall be placed in an approved location, on the Pike Rd. side of the buildings. The device shall be installed per San Diego County Regional Standard WF-05. The finished height of the Fire Department Connection (FDC) shall be no higher than 48" from grade. The entire device may be painted dark green or brown to blend in with adjacent landscaping. The Fire Department Connection (FDC) shall be painted red. The assembly shall be equipped with a chain and breakaway locks for security. Location of these devices shall be approved prior to installation. If the building is equipped with central station monitoring of the sprinkler system, the control valves on the device shall be monitored for tamper of the valves.
16. The fire sprinkler riser shall be enclosed within a separate room or enclosure accessible from the outside of the building. The exact size and location of the riser room/enclosure shall be approved by the Fire Department prior to construction. This room shall contain the fire sprinkler riser(s) for the building/address, pressure gauges for the system, applicable valves, sprinkler head box, "test and drain" inspectors test valve and any diagrams or documentation for the fire protection systems. The room shall have a sewer inlet of an appropriate size for periodic maintenance and flushing of the automatic fire sprinkler system. These rooms shall have exterior locking hardware and a Knox box shall be located at an approved location near the room for easy Fire Department access. The room shall be provided with lighting on the emergency circuit or have battery backup power. The exterior side of the riser room door shall have labeling or signage approved by the fire code official indicating "FIRE RISER ROOM".
17. Address numbers shall be placed near the roofline of all structures visible from the street or access roadway. Numbers shall be block style, 12" in height, black in color (or other approved color), in contrast with their background. Address numbers shall also be illuminated for nighttime visibility. Exact location and color of address numbers shall be approved by the fire code official prior to installation.
18. A Knox Box key safe for emergency access of Fire Department personnel is required for the building. Knox Boxes shall be installed at the front entrance, riser room and other required location(s). Knox Boxes can be ordered online directly from the Knox Company at Knoxbox.com. Order Boxes for use in the City of Santee. Approval of the number and exact mounting location shall be determined by the fire code official prior to installation.
19. Santee has adopted the use of Knox Fire Department Connection (FDC) Plugs for FDC hose connections to the automatic fire sprinkler systems. These plugs ensure that the FDC's will be clear of obstructions and allow for the proper Fire Department use of automatic fire sprinkler systems. Knox Plugs can be ordered online directly from the Knox Company at Knoxbox.com. Order FDC Plugs for use in the City of Santee. Order model #3043 (two per building if using Siamese connection). Contact Santee Fire Department if assistance is needed in

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ordering.

20. A minimum of one, 2A10BC fire extinguisher shall be located every 75' of travel distance throughout the building. Fire extinguishers shall have an approved State Fire Marshal Service Tag affixed to it and be mounted in an approved location no higher than 5 feet on a wall. Exact extinguisher location to be determined by the fire code official prior to installation.
21. All exit pathways shall be equipped with approved emergency pathway lighting. Emergency lights shall be placed at each exit sign location, stairway landing, and other approved location. Exit lights shall be self-powered or have battery back-up power. Emergency lighting shall be approved by the fire code official prior to installation.
22. The cooking area is required to be protected by a hood and duct fire protection system. Separate plans are to be submitted to the Fire Department for approval prior to installation. Exact locations of manual pull station(s) and "K" rated fire extinguishers are to be determined by the fire code official prior to installation.
23. Provide a permanent engraved, carved or embossed sign indicating "Occupant Load" (and the number of people allowed in the room or area). The sign shall be a minimum of 8" x 10", with 3" block letters/numbers. Exact design, occupant load number and sign placement shall be approved by the fire code official prior to installation.
24. At the time of mid-construction, or Rough Fire Inspections, a GIS shape file or geo-referenced TIFF file of the site-plan shall be provided electronically or on digital media to the Fire Department for emergency response mapping. If neither of the two are available, a PDF shall be provided. The site plan shall show all fire access roadways/driveways, buildings, address numbers, fire hydrants, fire sprinkler connections, and other details as required. Please contact the Fire Department for exact details to be submitted for your project.

C. The church facility shall be subject to the following performance standards:

1. Church services shall be conducted between 7 a.m. and 10 p.m.
2. The site shall be kept in a clean, orderly condition with healthy landscaping free of trash and debris.

SECTION 4: The applicant shall defend, indemnify, and hold harmless the City of Santee and its officers, employees, and agents from any claim, action, or proceeding against the City and/or its officers, employees or agents to attack or set aside, void, or annul the approval of the City of Santee concerning this Conditional Use Permit, or any action relating to or arising out of its approval.

SECTION 5: The terms and conditions of P2022-5 shall be binding upon the permittee and all persons, firms, and corporations having an interest in the property subject to this

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Conditional Use Permit and the heirs, executors, administrators, successors and assigns of each of them, including municipal corporations, public agencies and districts.

SECTION 6: The approval of P2022-5 expires on November 8, 2026 at 5:00 p.m. except where substantial use has commenced prior to its expiration. If use of the development has not commenced within the three-year period, said expiration date may be extended pursuant to a request for time extension received 60 days prior to the original expiration date. The City Council expressly grants to the Director/City Planner the authority to extend the expiration date of this approval pursuant to Section 13.04.090 of the Santee Municipal Code, when a request for an extension is filed 60 days prior to the original expiration date.

SECTION 7: Pursuant to Government Code Section 66020, the 90-day approval period in which the applicant may protest the imposition of any fees, dedications, reservations, or exactions imposed pursuant to this approval, shall begin on November 8, 2023.

SECTION 8: Staff is directed to file a Notice of Exemption for approval of the project with the San Diego County Clerk. The City of Santee hereby notifies the applicant that the County Clerk collects a documentary handling fee for the processing of CEQA documents. The applicant should remit to the City of Santee Planning & Building Department, within two (2) working days of the effective date of this approval (the "effective date" being the end of the appeal period, if applicable), a certified check payable to the "County Clerk" in the amount of \$50.00. Failure to remit the required fee in full within the time specified above will result in a delay of the start of the thirty (35) day statute of limitations on court challenges to the approval under CEQA.

SECTION 9: The documents and materials that constitute the record of proceedings on which these findings have been based are located with the City Clerk at the City of Santee City Clerk's office at 10601 Magnolia Avenue, Building #3, Santee, CA 92071.

ADOPTED by the City Council of the City of Santee, California, at a Regular Meeting thereof held this 8th day of November 2023, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

ANNETTE ORTIZ, CMC, CITY CLERK

MEETING DATE November 8, 2023

ITEM TITLE PUBLIC WORKSHOP ON THE TOWN CENTER SPECIFIC PLAN UPDATE AND FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”)

DIRECTOR/DEPARTMENT Sandi Sawa, Planning & Building Director 

SUMMARY The Town Center Specific Plan (Plan) has served as a vital planning document in directing growth within the City’s core area since its adoption in 1986. The Plan has successfully transformed the City’s central area from vacant land to a people-oriented commercial, residential, and recreational hub along the San Diego River. However, numerous areas of the Town Center remain to be developed, representing an opportunity to adjust the Plan to address recognized deficiencies and reflect existing conditions and needs. Creating a successful Arts & Entertainment District within the Town Center that serves as a vibrant, cultural hub within the Town Center with dining, lodging, entertainment, recreation, civic events, art installations, and performing and visual arts venues is a current priority of the Council.

As the City embarked on crafting a plan for an Arts & Entertainment District, the opportunity presented itself to craft a more holistic update to the entire Town Center Specific Plan, with the Arts & Entertainment District as a focal area of the Plan. With direction from the Council, City staff, and stakeholders through the outreach process, the City’s consultant M.W. Steele has drafted a comprehensive update to the Town Center Specific Plan. This new comprehensive Plan would replace the existing Town Center Specific Plan and all of its subsequent amendments, including the RiverView Office Park Master Plan. This new draft Plan integrates recently rezoned Housing Element sites and open space areas along the San Diego River with arts and entertainment focused uses on other remaining vacant opportunity sites within the Town Center, while building upon existing successful development within the Town Center, such as Trolley Square and the Town Center Community Park. The new draft Plan breaks up the Town Center into distinct neighborhoods, with a rebranded Arts & Entertainment Neighborhood at its core, with customized land uses and development standards for each neighborhood, all while providing an interconnected network of streets, parking areas, transit, public spaces, parks and trails to support a thriving community and regional cultural and entertainment destination at the City’s center. Upon concurrence from City Council, staff will move forward with the public review process, including providing the Environmental Impact Report for public review. When a Plan is approved, development projects consistent with the approved Plan would be allowed by the Plan and analyzed through the Environmental Impact Report, allowing for streamlined permitting of such projects and activities.

ENVIRONMENTAL REVIEW This item only seeks input on a proposed planning document and, therefore, is not a project under the California Environmental Quality Act (“CEQA”) as defined in Section 15378 of the CEQA Guidelines.



CITY OF SANTEE
COUNCIL AGENDA STATEMENT

FINANCIAL STATEMENT ^{HY} Funding in the amount of \$1,064,000 has been provided for this project with two San Diego Association of Governments (SANDAG) grants that total \$664,000 and a City Council appropriation of \$400,000.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION ^{MSB} Receive the draft Town Center Specific Plan and direct staff to commence with the public review process.

ATTACHMENTS

- Staff Report
- Exhibit A: Draft Town Center Specific Plan



STAFF REPORT

PUBLIC WORKSHOP ON THE TOWN CENTER SPECIFIC PLAN UPDATE AND FINDING THE ACTION IS NOT A PROJECT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”)

CITY COUNCIL MEETING
NOVEMBER 8, 2023

A. OBJECTIVE

The objective of this workshop item is to present the preliminary draft Town Center Specific Plan (Plan) to the City Council and the public and ask that the City Council receive the document and direct staff to move forward with the public review process. The Plan has been prepared by the City’s consultant, M.W. Steele, based on previous input from the City Council, City staff, and the public. The Plan being presented is a preliminary draft anticipated to undergo further refinement until a final draft is presented to the City Council for consideration in September 2024, once the corresponding Program Environmental Impact Report has been prepared for the Plan.

B. BACKGROUND

What is a Specific Plan?

A Specific Plan is a regulatory tool local governments use to implement their General Plan and guide development in a localized area. While the General Plan is the primary guide for growth and development in a community, a Specific Plan focuses on the unique characteristics of a special area by customizing the land use regulations and development standards to promote the community’s vision for that area. A Specific Plan establishes a link between the policies and implementation programs in the General Plan and individual development proposals in a defined area. A Specific Plan can supplement the Zoning Ordinance or it may stand alone with its own unique land use designations, allowed uses within those designations and unique development standards, such as building heights and setbacks. A Specific Plan, through its corresponding environmental document, typically an Environmental Impact Report, can also streamline development within the Specific Plan area if the development is built in accordance with the regulations set forth in the Specific Plan.

History of Town Center Specific Plan

The prior City Council adoption of the Town Center Specific Plan was a culmination of a two-year planning process for Santee's mainly undeveloped core area, originally consisting of approximately 706 acres. The process began with the designation of a Town Center Specific Plan area in the Draft City of Santee General Plan in 1984. Goals for the Town Center were added to the Draft General Plan as

part of the Community Design Element. Following the adoption of the General Plan in August 1984, the planning for the Town Center Specific Plan area began. On October 22, 1986, the City Council adopted the Town Center Specific Plan. The Town Center Specific Plan served to guide initial development within the City's central area with new residential, commercial, recreational and open spaces uses.

In August 2000, the City Council adopted an amendment to the Santee Town Center Specific Plan to create an office park overlay designation and change land uses within the Town Center Specific Plan area. The office park overlay was established with the intent to provide for a significant, high-end, master-planned office park development including, but not limited to, uses engaged in scientific, technical, communication, or other related endeavors. High-quality commercial and residential uses were also envisioned as components of the overlay, but as uses ancillary to an office park development.

After numerous years of coordination with the County of San Diego, the primary landowner of remaining undeveloped properties within the Town Center, in February 2006 the City adopted the RiverView Office Park Master Plan, which would implement the goals and objectives of the office park overlay to establish a high-quality office park with ancillary residential and commercial uses, while enhancing and protecting the natural features within the overlay area, especially the San Diego River. In the intervening years, several projects were developed in accordance with the RiverView Office Park Master Plan, including two high-density residential developments and several high-quality office buildings. However, due to circumstances outside the control of the City, large swaths of land within the office park overlay remain undeveloped.

In December 2019, the City Council established the Arts & Entertainment Overlay District within the Town Center with the purpose of supporting tourism and attracting commercial, educational and recreational uses that beautify and enliven the Town Center. These uses include specialized retail and recreational uses, cultural facilities such as museums, art galleries, theater and dance companies, public art and performing arts activities, learning centers, and hotels. In 2020, after recognizing the opportunity to foster development and activate additional areas within and proximate to the Town Center in accordance with the Arts & Entertainment vision, the City Council made it a priority to expand the District. In December 2021, the City selected M.W. Steele as its consultant to spearhead the effort to expand the Arts & Entertainment District.

In May 2022, the City Council adopted the 6th Cycle Housing Element. As part of the City's Regional Housing Needs Allocation (RHNA) in the adopted Housing Element, the City committed to rezoning eight undeveloped properties in the Town Center to allow for a variety of housing densities at all income levels. In October 2022, the City Council adopted the Housing Element rezones and the City's

Housing Element was subsequently certified by the California Department of Housing and Community Development. The rezones completed for the Town Center significantly altered the planned uses within the undeveloped portions of the Town Center, introducing a significant number of new housing units proposed for the Town Center and resetting the vision for the Arts & Entertainment District, that now needed to incorporate new housing as a major land use.

After the Housing Element rezones were adopted and during the visioning and boundary tasks for the Arts & Entertainment District expansion effort, staff applied for and received two San Diego Association of Governments (SANDAG) grants related to the Town Center Specific Plan area: a Housing Acceleration Program (HAP) grant for \$264,000 and Smart Growth Incentive Program (SGIP) grant for \$400,000. The HAP grant funds the preparation of an Environmental Impact Report (EIR) for the Town Center Specific Plan Update, specifically to cover future multi-family and mixed-use housing development within the Town Center. Completion of an EIR would allow for streamlining of development within the Town Center by allowing future development consistent with the Town Center Specific Plan to tier-off of the EIR. The SGIP grant funds an update to the Santee Town Center Specific Plan, including updating goals, policies, and objectives as well as to tables, charts, and graphics. The SGIP grant also augments existing efforts to expand the Arts & Entertainment District boundaries and promote new development within the District, including mixed-use housing, specialty commercial uses, and entertainment uses. With the SGIP grant, staff was able to leverage the existing City allocation for the Arts & Entertainment District expansion effort and receive matching funds.

These SANDAG grants provided the City the opportunity to look beyond the initial scope of the Arts & Entertainment District expansion effort and comprehensively update the Town Center Specific Plan authorized by the City Council in March 2023. With direction from the Council, City staff, and stakeholders through numerous workshops, meetings and outreach events, M.W. Steele has drafted a comprehensive update to the Town Center Specific Plan (attached as Exhibit A).

C. OVERVIEW

The updated Town Center Specific Plan would replace the existing Town Center Specific Plan adopted in 1986 and all of the subsequent amendments to the 1986 Plan, including the overlay districts. The new Plan is a fresh document with modern graphics, illustrations, maps and charts that is intended to be more functional, intuitive, and user friendly than the existing Plan. The new Plan reflects the updated vision for the Town Center and will guide development during the next 10 to 20 years on remaining undeveloped properties in the Town Center in a cohesive manner, while supporting reinvestment on currently developed properties.

At the last City Council workshop in September 2023, the framework of the Town Center Specific Plan, including the Plan area/boundaries, circulation network, land use plan, and buildout scenario were provided to the City Council. Based on City Council direction on these main Plan components, M.W. Steele drafted a preliminary Town Center Specific Plan. The new Plan breaks up the Town Center into distinct neighborhoods, with a rebranded Arts & Entertainment Neighborhood at its core, customized land uses and development standards for each neighborhood, while providing an interconnected network of streets, parking areas, transit, public spaces, parks and trails. The goal is to support a thriving community and regional cultural and entertainment destination at the City's center. An excerpt from the draft Plan of these neighborhoods is shown below:



Town Center Specific Plan Neighborhoods

The Plan establishes five unique neighborhoods, each with its own land use plan that sets forth allowable uses and development standards, including sign and lighting standards. The neighborhoods are described as follows:

Arts & Entertainment Neighborhood

The Arts & Entertainment Neighborhood replaces the Arts & Entertainment Overlay District and incorporates tailored land use designations supporting uses related to arts and culture, entertainment, commercial recreation, visitor, and civic uses. The Arts & Entertainment Neighborhood aims to enhance connections to the San Diego River, strengthen the sense of place creating an attraction for residents and visitors to gather, and public spaces that incorporate streetscape concepts with features such as riparian inspired landscape treatments, water elements, shade, lighting, and wayfinding signage. This neighborhood also provides for development options for the Housing Element rezone sites and on the City's Theater Site, including the possibility of an amphitheater or similar civic space.

Town Center Commercial Neighborhood

The Town Center Specific Plan area contains a great number of commercial uses, including a variety of retail and services options. The commercial uses found in the Specific Plan area serve the local residents and attract visitors to come and spend time in Santee. The Specific Plan identifies the areas west of Cuyamaca Street as the Town Center Commercial Neighborhood. This neighborhood presents strip shopping commercial areas, with easy access to Mission Gorge Road and Cuyamaca Street. The Town Center Specific Plan recognizes the commercial properties within this area have the potential to expand, while taking into consideration the parking needs of the established uses of the area.

Mast Boulevard Residential Neighborhood

The Specific Plan includes a series of existing residential neighborhoods, which provide vitality and an influx of residents that live, work, and enjoy the community's recreation facilities in the area. These established residential neighborhoods are assumed to maintain their character, while enhancing pedestrian and vehicular connections between them and to the rest of the uses within the Specific Plan area. In addition to the existing residential neighborhoods, this area includes vacant parcels located north of the San Diego River and south of Mast Boulevard, which are designated to allow for residential uses. The Specific Plan envisions new residential development designed with consideration to the surrounding properties, in terms of access, connectivity, and relationship to the San Diego River.

Park Avenue Residential Neighborhood

The Specific Plan recognizes the underlying potential for new development to occur in the residential properties located on the southeast portion of the Specific Plan area, along Park Avenue, east of Cottonwood Avenue, west of Magnolia Avenue and north of Mission Gorge Road. The properties within this neighborhood are designated TC-R-22, which allows for between 22-30 dwelling units per acre. Existing residential development in this area consists of single-family residences found on lots that could accommodate an additional number of units should the properties be redeveloped. Some characteristics of this area such as the existing grid street pattern, Park Avenue's generous width, and proximity to retail and services, provide this neighborhood with potential to successfully support gradual change within the framework of the densities allowed in the plan.

Institutional Neighborhood

The Specific Plan area includes two properties of large size with institutional uses which are surrounded by a mix of other uses. The Las Colinas Detention and Reentry Facility (LCDRF) and the Edgemoor Skilled Nursing Facility. Both facilities serve regional purposes. LCDRF is operated by the County of San Diego Sheriff's Department. Edgemoor Skilled Nursing Facility is owned and operated by the County of San Diego and provides care for individuals having complex medical needs who require specialized interventions from highly trained staff. The Specific Plan recognizes these properties have reached their development potential and does not envision major changes in the upcoming years.

Integrated Plan

All of the neighborhoods are connected by an integrated network of streets, parking areas, transit, public spaces, parks and trails. The Plan highlights the importance of the San Diego River and provides unique design options for river trails and crossing identified in the Plan that will link the Town Center neighborhoods on the north side of San Diego River, including Town Center Community Park, with the neighborhoods and core commercial area of the Town Center on the south side of the river. Overall, the new Plan establishes the following:

- An updated land use map with distinct neighborhoods and land use designations that relate to existing and desired development.
- A comprehensive circulation element, that sets forth required public streets that are elemental to ensuring multi-modal connectivity within the Town Center.

- Updated land use tables expanding on allowable uses for each land use designation especially for those designations that encourage Arts & Entertainment uses.
- Updated design standards for residential, commercial, and mixed-use buildings that include revised objective design standards for by-right multi-family residential and mixed-use residential development.
- A new landscape palette in the Specific Plan that encourages shaded walkways and paseos and that creates a consistent high-quality landscape design aesthetic.
- New sign programs for neighborhoods (excepting the Institutional Neighborhood) that encourage unique sign treatments distinct to each neighborhood.
- Site specific plans tied together with a master site plan/circulation plan shows potential options for development based on allowed uses and development standards that developers can utilize to guide their project proposals.

Preparation of the Program Environmental Impact Review (EIR) for the Town Center Specific Plan Update is underway. The Notice of Preparation informing the public that an EIR for the project will be prepared has been circulated for public review and comment, and the comment period ended on October 16, 2023. An environmental scoping meeting was held for the project on September 7, 2023. The draft EIR is anticipated to be available for public review and comment in Spring 2024 with the Final EIR anticipated to be ready for Council consideration in September 2024, at which time a final draft Town Center Specific Plan would be presented to the City Council for consideration. Further refinement of the draft Plan is anticipated in the coming months.

Once adopted, the new Town Center Specific Plan and Program EIR would then allow for streamlined development of projects consistent with the new Plan. As the proposed update only involves the refinement and planning of commercial uses within the Town Center and would not propose any new housing not already established by the Housing Element rezones, the new Plan would not be subject to Measure N.

D. ENVIRONMENTAL REVIEW

This item only seeks input on a proposed planning document and, therefore, is not a project under the California Environmental Quality Act (“CEQA”) as defined in Section 15378 of the CEQA Guidelines.

E. STAFF RECOMMENDATION

Receive the draft Town Center Specific Plan and direct staff to commence the public review process.

The Item 10 – Exhibit A – Draft Town Center Specific Plan Attachment is available via the below link:

<https://www.cityofsanteeca.gov/home/showpublisheddocument/24130/638345987309516658>

MEETING DATE November 8, 2023

ITEM TITLE A REPORT FOR THE CITY COUNCIL OF THE CITY OF SANTEE FOR THE CONSIDERATION OF IMPLEMENTING A FEE TO RECOVER CREDIT CARD TRANSACTION COST AND IF DIRECTED SET A PUBLIC HEARING FOR DECEMBER 13, 2023 TO ADD THE FEE TO THE CITY'S FEE SCHEDULE.

DIRECTOR/DEPARTMENT Heather Jennings, Director of Finance *HJ*

SUMMARY

With the implementation of Energov, all building fees, planning fees, engineering fees, fire fees, business licenses and alarm permits shifted from an in-person payment system to an automated, online process. Customer Service was the priority when considering the implementation of the new Permit and Business License Enterprise Resource Planning (ERP) system, and in today's climate this translates into the customer's ability to do business online. With the implementation of Energov the customer can process and pay for transactions online through the ERP system. As a result of the increase in online processing and increases in credit card transactions, the City is seeing a substantial increase in credit card processing fees.

This report provides the City Council with options for potentially implementing a credit card transaction fee to recover a portion of the costs the City will now incur due to the increase in cost associated with doing business online.

FINANCIAL STATEMENT

Depending on which option the City Council chooses, the fiscal impact to the General Fund will vary between an increase in expenditures of approximately \$60,000, which represents no change to our current process, or a \$24,000 increase which represents a 3% credit card transaction fee included for online Energov transactions paid with a credit card.

CITY ATTORNEY REVIEW N/A Completed

RECOMMENDATION *MSB*

1. Receive the report regarding the considerations of implementing a fee to recover credit card transaction cost.
2. Decide on one of the options listed above or develop a new option.
3. If a fee is to be established, direct staff to schedule a public hearing for December 13, 2023 to add a credit card processing fee to the City's fee schedule.

ATTACHMENTS

Staff Report





STAFF REPORT
DISCUSSION: ESTABLISHING CREDIT CARD PROCESSING FEES
CITY COUNCIL MEETING
NOVEMBER 8, 2023

Background

Prior to the implementation of Energov on August 29, 2023, the City accepted in person credit card payments for building permits, planning and engineering fees, and business licenses. The City accepted online credit card payments for business licenses and disc golf. Online payments ranged from \$4 to \$100 per transactions. The City does not currently allow large transactions such as Transient Occupancy Taxes (TOT) or Development Impact Fees to be paid by credit card.

It has been the City's practice to absorb the fees charged by credit card companies as a cost of doing business. Credit card processing fees have not historically been passed on to the customer.

With the implementation of Energov, all building fees, planning fees, engineering fees, fire fees, business licenses and alarm permits shifted from an in-person payment system to an automated, online process. Customer Service was the priority when considering the implementation of the new Permit and Business License Enterprise Resource Planning (ERP) system, and in today's climate that translates to the ability for customers to do business online. With the implementation of Energov the focus is now on the customer's ability to process and pay for transactions online through the ERP system. This allows for efficiencies for the customer in initiating a process, tracking the progress, and paying fees. As a result of the increase in online processing and increase in credit card transactions, the City is seeing a substantial increase in credit card processing fees.

There are many complex factors that go into what the City is charged for any given credit card transaction. Credit card fees have many layers and circumstances making it exceedingly difficult to calculate a standard fee amount. These layers also result in

significantly higher processing costs. One major impact on fees is whether or not a transaction is processed online. Online processing increases the processing fees when compared to a transaction processed in-person. This is due to the added risk associated with online transactions. Before the implementation of Energov, approximately 35% of all fees generated by the Building, Planning, and Engineering departments were processed by credit cards, the remainder were processed by check or cash. Since Energov's implementation, over 80% of these fees are paid by credit card.

In addition to the credit card processing fees paid due to Energov, the City pays credit card processing fees for special events, recreation activities, and rentals. The analysis provided in this report does not include these charges because they are captured through a different platform and currently accounted for in the City's budget.

In late spring, 2024, staff intends to hire a consultant to perform a User Fee Study and Cost Allocation Plan update. At that time, the City could incorporate the credit card processing fees into the overall cost of services thereby eliminating the need for a separate credit card processing fee.

Discussion

The City does not currently charge a credit card transaction fee. The chart below is a representation of what the City has paid in the past for the use of credit cards and what it will pay going forward with the implementation of Energov.

CREDIT CARD TRANSACTIONS				
2021				
	Sales	\$\$ CC Fees	% CC Fees	
Online	\$ 54,381	\$ 5,573	10.25%	
Finance	558,372	23,959	4.29%	
Total	\$ 612,753	\$ 29,532	4.82%	

2022				
	Sales	\$\$ CC Fees	% CC Fees	
Online	\$ 69,556	\$ 7,776	11.18%	
Finance	666,984	26,534	3.98%	
Total	\$ 736,540	\$ 34,310	4.66%	

2023 (January-August)				
	Sales	\$\$ CC Fees	% CC Fees	
Online	\$ 57,397	\$ 6,627	11.55%	
Finance	462,885	22,173	4.79%	
Total	\$ 520,282	\$ 28,800	5.54%	

2023 - September				
	Sales	\$\$ CC Fees	% CC Fees	
Online	\$ 120,773	\$ 8,108	6.71%	
Finance	5,004	314	6.27%	
Total	\$ 125,776	\$ 8,422	6.70%	

2023 - September represents one full month of Energov. Before September, fees were charged primarily based on in-person transactions at the finance counter. The chart above shows that online sales transactions for September of \$120,773, superseded all of calendar year 2021 and 2022. Furthermore, if monthly online credit card transactions stay at the same level, the cost to the City for credit card processing will increase from approximately \$38,000 per year to approximately \$100,000 per year. This represents the shift from Finance front counter in-person transactions which incur fewer layers of processing charges than online transactions. In addition, most of the transactions that were paid at the Finance counter are now going through Energov.

Other agency comparisons

A survey of agencies in San Diego County found that of the nine that responded, six agencies charge credit card processing fees, and these fees vary in amount and often apply to specific types of transactions.

- Carlsbad – 2% TOT payments
- Encinitas – 3.95% permits and online transactions other than Utilities and Park and Recreation fees
- Imperial Beach – 3% online transactions, 100% pass-through for Energov transactions
- La Mesa – 3.5% for online transactions
- Oceanside \$3.50 per transaction for parking
- Poway – 3.1% for Energov and Munis transactions, 3.25% for utilities paid by phone or online, and 100% pass thru for event tickets and Park and Recreation

The three agencies that currently do not charge fees are Chula Vista, Coronado, and El Cajon. Two of the three agencies are considering whether to impose a credit card transaction fee and one of the agencies indicated that the fees are part of the “cost of doing business.”

Options

The City is allowed to subsidize the credit card transaction fees for its customers or recover its cost for these fees if it is separately stated. The City cannot put a limit on credit card transactions but can restrict which type of transactions can be processed via a credit card. And the City cannot charge more than the actual fee. In addition, if the City Council determines that a rate should be charged, staff does not recommend a flat rate based on the inequity it may cause. If a rate is to be charged, it should be a percentage of the transaction value. Below is a comparison of three options highlighting the Pros and Cons of charging, or not charging a credit card transaction fee.

1. Do not change the City’s current practice and continue to pay 100% of all credit card processing charges while continuing to disallow TOT and Development Impact Fees to be paid by credit card.
 - Pros- Encourages the use of online payments which is in line with the goal of Energov. Credit card payments also require less staff time to process.
 - Cons- The City will continue to absorb the cost of credit card processing fees as they continue to grow.
2. Recover a portion of the City’s cost for credit card transaction fees for Energov transactions.
 - Pros – City could recover a portion of the cost of accepting credit cards and that money could be used for other purposes.
 - Cons- The additional cost may discourage payment via credit card and may be costlier or less convenient for some fee payers. In addition, it could make the purpose of the Energov ERP seem less

impactful; could be an increase in returned checks and more customers coming to City Hall to pay fees.

3. Wait for the User Fee Study and incorporate credit card fees into the cost of services.
 - Pros – Encourages the use of online payments.
 - Cons – There will be a cost to the City in absorbing the credit card processing fees while the new User Fee Rates are being calculated.

Staff recommends implementing a credit card transaction fee and setting the recovery rate at 3% of transaction value until these costs can be incorporated into fees through the User Fee Study. Establishing a 3% fee now would allow the City to partially recover costs without the risk of overcharging customers. The rate the City pays will vary, but as was represented in the previous chart, currently, the City continually pays a higher rate than 3.0%.

Recommended Action

The recommended action is for the City Council to;

1. Receive the report regarding the considerations of implementing a fee to recover credit card transaction cost.
2. Decide on one of the options listed above or develop a new option.
3. If a fee is to be established, direct staff to schedule a public hearing for December 13, 2023 to add a credit card transaction fee to the City's fee schedule.

MEETING DATE November 8, 2023

ITEM TITLE RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE, CALIFORNIA, APPROVING AN AMENDED SALARY SCHEDULE FOR POSITIONS SUBJECT TO MINIMUM WAGE INCREASES, A MARKET ADJUSTMENT INCREASE FOR CERTAIN FIRE MANAGEMENT POSITIONS, AND TO INCLUDE A PART-TIME INFORMATION TECHNOLOGY TECHNICIAN POSITION, AND AUTHORIZING THE APPROPRIATION OF \$32,240 TO THE FISCAL YEAR 2023-24 ADOPTED OPERATING BUDGET

DIRECTOR/DEPARTMENT Rida Freeman, Director of Human Resources 

SUMMARY

An amended salary schedule is required to implement the following:

1. Adjust for the new minimum wage requirements
2. Apply a market adjustment increase for certain Fire Management positions that aligns with the increase authorized for SFFA members.
3. Include the salary for the part-time, temporary Information Technology Technician (I.T.), previously authorized in the FY 2023-24 Adopted Budget

To comply with the State of California Department of Industrial Relations mandate to increase the minimum hourly wage to \$16.00 effective January 1, 2024, the following positions (with a current starting rate of \$15.53 per hour) must reflect the new minimum hourly wage of \$16.00 per hour:

1. Crossing Guard
2. Graduate Intern
3. Marketing Aide
4. Office Assistant
5. Recreation Aide
6. Student Intern

On August 23, 2023, the Santee Firefighters' Association members and the City of Santee adopted their negotiated MOU which included base salary market adjustment increases for represented employees. A salary compaction study was completed to evaluate the impact of those employee increases, in relation to certain Fire Management position salaries. It is recommended to apply the same 6% market adjustment increase to the base salaries of the following Fire Management positions effective January 4, 2024:

1. Deputy Fire Chief
2. Fire Battalion Chief (Shift/2920 hours)
3. Fire Battalion Chief (Admin/2080 hours)



Additionally, staff recommends amending the salary schedule to include the position of part-time, temporary I.T. Technician. The need for the position was evaluated and determined to be necessary. Additionally, the funds to compensate a part-time, temporary I.T. Technician was authorized in the FY 2023-24 Adopted Budget, therefore, it does not result in an additional fiscal impact. The job description was developed, and the pay range was determined by reviewing survey data and assessing similar positions among like public agencies, and identifying the appropriate level of responsibility compared to the existing positions that serve in an I.T. role at the City of Santee. Based on that data, the appropriate compensation for the I.T. Technician is \$30.56 - \$37.14 per hour.

The attached Amended Salary Schedule is updated to implement the above requested actions.

FINANCIAL STATEMENT *WY*

Funding for the increase in salaries and wages due to the change in minimum wage, in the amount of \$1,300.00, and the market adjustment for certain Fire Management positions, in the amount of \$30,940.00 will be provided by an appropriation of \$32,240.00 to the FY 2023-24 Adopted Budget from the General Fund reserve.

CITY ATTORNEY REVIEW N/A • Completed

RECOMMENDATION *MSB*

1. Approve and adopt the amended salary schedule effective January 4, 2024 (for certain Fire Management positions) and effective January 1, 2024, to comply with minimum wage requirements, and include the salary for a part-time I.T. Technician.
2. Authorize the appropriation of \$32,240 from the General Fund Reserve to the FY 2023-24 Adopted Budget

ATTACHMENTS

Resolution

Exhibit "A" – FY 23-24 Amended Salary Schedule (*Effective 1/1/2024 for Affected Hourly positions. Effective 1/4/2024 for Affected Fire Management positions*)

RESOLUTION NO. _____-2023

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTEE,
CALIFORNIA, APPROVING AN AMENDED SALARY SCHEDULE FOR POSITIONS
SUBJECT TO MINIMUM WAGE INCREASES, A MARKET ADJUSTMENT
INCREASE FOR CERTAIN FIRE MANAGEMENT POSITIONS, AND TO INCLUDE A
PART-TIME TEMPORARY INFORMATION TECHNOLOGY TECHNICIAN POSITION,
AND AUTHORIZING THE APPROPRIATION OF \$32,240 TO THE FISCAL YEAR
2023-24 ADOPTED OPERATING BUDGET**

WHEREAS, on September 26, 2023, the State of California Department of Industrial Relations issued an order, mandating California employers to increase the minimum hourly wage to \$16.00 effective January 1, 2024, which must be reflected in an Amended Salary Schedule; and

WHEREAS, on August 23, 2023, the City Council approved and adopted Santee Firefighters' Association base salary market adjustment increases for represented employees, and a salary compaction study was completed to evaluate the impact on those employee increases, in relation to certain Fire Management position salaries.

WHEREAS, the City Council has considered and authorizes the same 6% market adjustment increase to be extended to certain Fire Management positions [Deputy Fire Chief; Fire Battalion Chief (Shift/2920 hours); Fire Battalion Chief (Admin/2080 hours)], which is reflected in the Amended Salary Schedule.

WHEREAS, the position of Information Technology Technician has been established, and the salary schedule has been amended to reflect the new position and the salary pay range.

WHEREAS, the Council authorizes the appropriation of \$32,240 from the General Fund Reserve to the FY 2023-24 Adopted Budget to fund these changes.

NOW, THEREFORE BE IT RESOLVED that the City Council of the City of Santee, California, does hereby approve and adopt the addition of the Information Technology Technician position, and the FY 2023-2024 Amended Salary Schedule as presented in Exhibit "A" and the Salary Schedule is hereby updated, and the City Council authorizes the appropriation of \$32,240 to the Fiscal Year 2023-2024 Adopted Operating Budget.

ADOPTED by the City Council of the City of Santee, California, at a Regular Meeting thereof held this 8th day of November 2023, by the following roll call vote to wit:

AYES:

NOES:

ABSENT:

RESOLUTION NO. _____-2023

APPROVED:

JOHN W. MINTO, MAYOR

ATTEST:

ANNETTE ORTIZ, CMC, CITY CLERK

Attachments:

Exhibit "A" FY 23-24 Amended Salary Schedule (*Affected Fire Management positions effective 1/4/24. Affected hourly positions effective 1/1/24*)

CITY OF SANTEE
 SANTEE FIREFIGHTERS' ASSOCIATION SALARY SCHEDULE
 EFFECTIVE JANUARY 4, 2024

<u>Classification</u>		A	B	C	D	E
Fire Captain / PM Base salary	Hourly	37.87	39.76	41.75	43.84	46.03
	Annual	110,270.45	115,785.21	121,574.10	127,651.92	134,035.26
 <i>Educational Incentive</i>						
Fire Captain / PM 31-45 units = 1.5% over base	Hourly	38.44	40.36	42.38	44.49	46.72
	Annual	111,924.27	117,522.00	123,397.83	129,566.89	136,045.83
Fire Captain / PM 46 units and over = 3.0% over base	Hourly	39.00	40.95	43.00	45.15	47.41
	Annual	113,578.44	119,258.77	125,221.54	131,481.14	138,056.02
Fire Captain / PM A.A. Degree = 4.5% over base	Hourly	39.57	41.55	43.63	45.81	48.10
	Annual	115,232.61	120,995.21	127,044.87	133,396.10	140,066.55
Fire Captain / PM Bachelor Degree = 6% over base	Hourly	40.14	42.15	44.25	46.47	48.79
	Annual	116,886.42	122,731.96	128,868.59	135,311.09	142,077.49

CITY OF SANTEE
 SANTEE FIREFIGHTERS' ASSOCIATION SALARY SCHEDULE
 EFFECTIVE JANUARY 4, 2024

<u>Classification</u>		A	B	C	D	E
Fire Captain Base salary	Hourly	36.24	38.05	39.95	41.95	44.05
	Annual	105,521.80	110,798.89	116,338.53	122,154.84	128,262.60
 <i>Educational Incentive</i>						
Fire Captain 31-45 units = 1.5% over base	Hourly	36.78	38.62	40.55	42.58	44.71
	Annual	107,104.57	112,460.63	118,083.97	123,987.20	130,186.58
Fire Captain 46 units and over = 3.0% over base	Hourly	37.32	39.19	41.15	43.21	45.37
	Annual	108,687.70	114,122.73	119,828.69	125,819.21	132,110.57
Fire Captain A.A. Degree = 4.5% over base	Hourly	37.87	39.76	41.75	43.84	46.03
	Annual	110,270.45	115,784.85	121,573.76	127,651.92	134,034.55
Fire Captain Bachelor Degree = 6% over base	Hourly	38.41	40.33	42.35	44.47	46.69
	Annual	111,853.23	117,446.62	123,319.18	129,483.96	135,958.52

CITY OF SANTEE
 SANTEE FIREFIGHTERS' ASSOCIATION SALARY SCHEDULE
 EFFECTIVE JANUARY 4, 2024

<u>Classification</u>		A	B	C	D	E
Fire Engineer/PM Base salary	Hourly	32.89	34.51	36.20	38.05	39.85
	Annual	95,779.23	100,479.91	105,414.69	110,792.51	116,040.04
 <i>Educational Incentive</i>						
Fire Engineer / PM 31-45 units = 1.5% over base	Hourly	33.38	35.02	36.74	38.62	40.45
	Annual	97,216.19	101,986.94	106,995.54	112,454.48	117,780.49
Fire Engineer / PM 46 units and over = 3.0% over base	Hourly	33.88	35.54	37.29	39.19	41.04
	Annual	98,652.79	103,494.37	108,577.09	114,116.01	119,521.03
Fire Engineer / PM A.A. Degree = 4.5% over base	Hourly	34.37	36.06	37.83	39.76	41.64
	Annual	100,089.35	105,001.40	110,158.27	115,777.96	121,261.86
Fire Engineer / PM Bachelor Degree = 6% over base	Hourly	34.86	36.58	38.37	40.33	42.24
	Annual	101,526.30	106,508.83	111,739.45	117,439.92	123,002.37

CITY OF SANTEE
 SANTEE FIREFIGHTERS' ASSOCIATION SALARY SCHEDULE
 EFFECTIVE JANUARY 4, 2024

<u>Classification</u>		A	B	C	D	E
Fire Engineer Base salary	Hourly	31.32	32.86	34.47	36.23	37.94
	Annual	91,198.86	95,673.80	100,373.31	105,493.98	110,491.11
 <i>Educational Incentive</i>						
Fire Engineer 31-45 units = 1.5% over base	Hourly	31.79	33.35	34.99	36.77	38.51
	Annual	92,566.96	97,109.06	101,879.08	107,076.40	112,148.41
Fire Engineer 46 units and over = 3.0% over base	Hourly	32.26	33.84	35.50	37.31	39.08
	Annual	93,935.02	98,543.99	103,384.49	108,658.85	113,806.14
Fire Engineer A.A. Degree = 4.5% over base	Hourly	32.73	34.33	36.02	37.86	39.65
	Annual	95,302.76	99,979.26	104,890.22	110,241.30	115,463.46
Fire Engineer Bachelor Degree = 6% over base	Hourly	33.20	34.83	36.54	38.40	40.22
	Annual	96,671.18	101,414.17	106,395.63	111,823.76	117,120.77

CITY OF SANTEE
 SANTEE FIREFIGHTERS' ASSOCIATION SALARY SCHEDULE
 EFFECTIVE JANUARY 4, 2024

Classification		A	B	C	D	E	F	G	H
Firefighter Paramedic	Hourly	27.84	28.98	30.17	31.41	33.27	34.62	36.02	37.47
Base salary	Annual	81,068.78	84,399.13	87,867.99	91,478.98	96,893.14	100,807.42	104,880.13	109,127.02

Educational Incentive (after completing 2.5 years of employment)

		G	H
Firefighter Paramedic		36.56	38.04
31-45 units = 1.5% over base		106,453.14	110,763.86
Firefighter Paramedic		37.10	38.60
46 units and over = 3.0% over base		108,026.17	112,401.13
Firefighter Paramedic		37.64	39.16
A.A. Degree = 4.5% over base		109,599.92	114,037.98
Firefighter Paramedic		38.18	39.72
Bachelor Degree = 6% over base		111,172.93	115,674.83

CITY OF SANTEE
 SANTEE FIREFIGHTERS' ASSOCIATION SALARY SCHEDULE
 EFFECTIVE JANUARY 4, 2024

Classification		A	B	C	D	E	F	G	H
Firefighter	Hourly	23.62	24.80	25.93	27.35	28.71	30.15	31.66	33.24
Base salary	Annual	68,787.60	72,225.43	75,516.49	79,629.56	83,611.34	87,792.27	92,180.91	96,791.03
<i>Educational Incentive (after completing 2.5 years of employment)</i>								G	H
Firefighter								32.13	33.74
31-45 units = 1.5% over base								93,563.82	98,242.86
Firefighter								32.61	34.24
46 units and over = 3.0% over base								94,946.42	99,694.68
Firefighter								33.08	34.73
A.A. Degree = 4.5% over base								96,329.31	101,146.86
Firefighter								33.55	35.23
Bachelor Degree = 6% over base								97,711.88	102,598.32

CITY OF SANTEE
 HOURLY, GENERAL AND MANAGEMENT SALARY SCHEDULE
 EFFECTIVE JANUARY 1, 2024 for Hourly and General. EFFECTIVE JANUARY 4, 2024 for Fire Management

Range	Classification		A	B	C	D	E
29	Account Clerk	Hourly	24.47	25.69	26.97	28.32	29.74
		Annual	50,889.65	53,434.21	56,105.98	58,911.52	61,856.87
35	Administrative Secretary	Hourly	28.37	29.79	31.28	32.85	34.49
		Annual	59,016.64	61,967.42	65,065.85	68,319.45	71,735.31
	Assistant City Clerk	Hourly		34.11	to	48.73	
		Annual		70,952.11	to	101,360.17	
	Assistant to the City Manager	Hourly		65.29	to	92.54	
		Annual		135,796.98	to	192,492.42	
50	Assistant Engineer	Hourly	41.09	43.15	45.31	47.57	49.95
		Annual	85,473.62	89,747.56	94,235.16	98,946.61	103,894.17
58	Associate Civil Engineer / Associate Traffic Engineer	Hourly	50.07	52.57	55.20	57.96	60.86
		Annual	104,141.17	109,348.69	114,816.44	120,557.08	126,585.20
49	Associate Planner	Hourly	40.09	42.10	44.20	46.41	48.73
		Annual	83,389.06	87,558.56	91,936.56	96,533.71	101,360.17
28	Building Development Technician I	Hourly	23.87	25.06	26.32	27.63	29.01
		Annual	49,648.51	52,131.14	54,737.62	57,474.41	60,348.29
32	Building Development Technician II	Hourly	26.35	27.66	29.05	30.50	32.03
		Annual	54,802.61	57,542.45	60,419.74	63,440.59	66,612.87
	Building Official	Hourly		59.98	to	78.26	
		Annual		124,757.39	to	162,780.09	
	City Clerk	Hourly		49.95	to	69.95	
		Annual		103,903.99	to	145,491.20	
	City Engineer	Hourly		66.70	to	90.35	
		Annual		138,743.11	to	187,917.88	
	City Manager (Single Rate)	Hourly		121.29	to	121.29	
		Annual		252,265.32	to	252,265.32	

CITY OF SANTEE
 HOURLY, GENERAL AND MANAGEMENT SALARY SCHEDULE
 EFFECTIVE JANUARY 1, 2024 for Hourly and General. EFFECTIVE JANUARY 4, 2024 for Fire Management

Range	Classification		A	B	C	D	E
26	Code Compliance Assistant	Hourly	22.72	23.86	25.05	26.30	27.62
		Annual	47,256.05	49,618.93	52,099.85	54,704.97	57,440.03
44	Code Compliance Officer	Hourly	35.43	37.21	39.07	41.02	43.07
		Annual	73,703.86	77,388.84	81,258.59	85,321.23	89,587.32
46	Confidential Accountant	Hourly	37.23	39.09	41.04	43.10	45.25
		Annual	77,435.13	81,306.89	85,372.26	89,640.72	94,122.88
46	Confidential Payroll Specialist	Hourly	37.23	39.09	41.04	43.10	45.25
		Annual	77,435.13	81,306.89	85,372.26	89,640.72	94,122.88
46	Confidential Secretary to City Manager/Council	Hourly	37.23	39.09	41.04	43.10	45.25
		Annual	77,435.13	81,306.89	85,372.26	89,640.72	94,122.88
	Crossing Guards ^ (Single Rate)	Hourly			16.00		
	Deputy Fire Chief	Hourly		69.66	to	95.32	
		Annual		144,899.46	to	198,255.62	
35	Development Services Technician	Hourly	28.37	29.79	31.28	32.85	34.49
		Annual	59,016.64	61,967.42	65,065.85	68,319.45	71,735.31
	Director of Community Services	Hourly		71.54	to	95.39	
		Annual		148,808.40	to	198,419.14	
	Director of Development Services	Hourly		70.79	to	95.43	
		Annual		147,241.94	to	198,501.85	
	Director of Engineering/City Engineer	Hourly		70.79	to	95.43	
		Annual		147,241.94	to	198,501.85	
	Director of Finance / City Treasurer	Hourly		74.79	to	100.63	
		Annual		155,568.42	to	209,319.56	
	Director of Fire & Life Safety (Fire Chief)	Hourly		84.94	to	110.87	
		Annual		176,678.14	to	230,616.55	

CITY OF SANTEE
 HOURLY, GENERAL AND MANAGEMENT SALARY SCHEDULE
 EFFECTIVE JANUARY 1, 2024 for Hourly and General. EFFECTIVE JANUARY 4, 2024 for Fire Management

Range	Classification		A	B	C	D	E
	Director of Human Resources	Hourly		69.85	to	94.30	
		Annual		145,287.79	to	196,138.76	
	Director of Planning & Building/City Planner	Hourly		70.79	to	95.43	
		Annual		147,241.94	to	198,501.85	
	Economic Development Manager	Hourly		43.99	to	59.38	
		Annual		91,491.56	to	123,514.41	
48	Engineering Inspector	Hourly	39.11	41.07	43.12	45.28	47.54
		Annual	81,355.21	85,422.96	89,693.82	94,178.67	98,887.73
39	Equipment Mechanic	Hourly	31.32	32.88	34.53	36.26	38.07
		Annual	65,143.44	68,400.74	71,820.72	75,411.81	79,182.18
17	Emergency Medical Technician	Hourly	18.19	19.10	20.06	21.06	22.11
		Annual	37,839.27	39,730.92	41,717.84	43,803.79	45,993.81
	Emergency Medical Technician ^	Hourly		17.49	to	21.26	
35	Equipment Operator	Hourly	28.37	29.79	31.28	32.85	34.49
		Annual	59,016.64	61,967.42	65,065.85	68,319.45	71,735.31
38	Facilities Maintenance Supervisor	Hourly	30.56	32.08	33.69	35.37	37.14
		Annual	63,554.59	66,732.29	70,068.87	73,572.54	77,251.07
25	Facilities Maintenance Technician	Hourly	22.17	23.27	24.44	25.66	26.94
		Annual	46,103.36	48,408.39	50,829.10	53,370.26	56,038.64
35	Field Inspector	Hourly	28.37	29.79	31.28	32.85	34.49
		Annual	59,016.64	61,967.42	65,065.85	68,319.45	71,735.31
	Finance Manager	Hourly		55.22	to	74.55	
		Annual		114,867.87	to	155,071.70	
	Fire Battalion Chief (2920 hours)	Hourly		44.39	to	60.18	
		Annual		129,631.95	to	175,734.71	
	Fire Battalion Chief - Administration (2080 hours)	Hourly		62.32	to	84.49	
		Annual		129,631.95	to	175,734.71	

CITY OF SANTEE
 HOURLY, GENERAL AND MANAGEMENT SALARY SCHEDULE
 EFFECTIVE JANUARY 1, 2024 for Hourly and General. EFFECTIVE JANUARY 4, 2024 for Fire Management

Range	Classification		A	B	C	D	E
44	Fire Inspector	Hourly	35.43	37.21	39.07	41.02	43.07
		Annual	73,703.86	77,388.84	81,258.59	85,321.23	89,587.32
	Fire Marshal	Hourly		55.22	to	74.55	
		Annual		114,867.87	to	155,071.70	
	Graduate Intern ^	Hourly		16.00	to	21.32	
38	Human Resources Technician	Hourly	30.56	32.08	33.69	35.37	37.14
		Annual	63,554.59	66,732.29	70,068.87	73,572.54	77,251.07
38	Information Technology Technician^	Hourly	30.56	32.08	33.69	35.37	37.14
		Annual	63,554.59	66,732.29	70,068.87	73,572.54	77,251.07
53	Information Technology Analyst	Hourly	44.25	46.47	48.79	51.23	53.79
		Annual	92,045.78	96,648.03	101,480.93	106,554.73	111,882.66
	Information Technology Manager	Hourly		50.20	to	67.78	
		Annual		104,425.33	to	140,974.34	
35	Irrigation Specialist	Hourly	28.37	29.79	31.28	32.85	34.49
		Annual	59,016.64	61,967.42	65,065.85	68,319.45	71,735.31
29	Landscape and Irrigation Maintenance Worker	Hourly	24.47	25.69	26.97	28.32	29.74
		Annual	50,889.65	53,434.21	56,105.98	58,911.52	61,856.87
48	Lead Equipment Mechanic	Hourly	39.11	41.07	43.12	45.28	47.54
		Annual	81,355.21	85,422.96	89,693.82	94,178.67	98,887.73
29	Maintenance Worker	Hourly	24.47	25.69	26.97	28.32	29.74
		Annual	50,889.65	53,434.21	56,105.98	58,911.52	61,856.87
46	Management Analyst	Hourly	37.23	39.09	41.04	43.10	45.25
		Annual	77,435.13	81,306.89	85,372.26	89,640.72	94,122.88

CITY OF SANTEE
 HOURLY, GENERAL AND MANAGEMENT SALARY SCHEDULE
 EFFECTIVE JANUARY 1, 2024 for Hourly and General. EFFECTIVE JANUARY 4, 2024 for Fire Management

Range	Classification		A	B	C	D	E
	Marketing Aide^	Hourly		16.00	to	21.32	
	Marketing Coordinator	Hourly		34.11	to	48.73	
		Annual		70,952.11	to	101,360.17	
	Marketing Manager	Hourly		47.75	to	64.48	
		Annual		99,316.97	to	134,109.32	
28	Marketing Specialist	Hourly	23.87	25.06	26.32	27.63	29.01
		Annual	49,648.51	52,131.14	54,737.62	57,474.41	60,348.29
34	Marketing Specialist II	Hourly	27.68	29.07	30.52	32.04	33.65
		Annual	57,577.16	60,456.15	63,478.71	66,652.70	69,985.20
	Office Assistant ^	Hourly		16.00	to	21.32	
48	Parks & Landscape Supervisor	Hourly	39.11	41.07	43.12	45.28	47.54
		Annual	81,355.21	85,422.96	89,693.82	94,178.67	98,887.73
	Principal Civil Engineer	Hourly		62.05	to	84.04	
		Annual		129,063.37	to	174,807.33	
	Principal Planner	Hourly		49.17	to	66.38	
		Annual		102,279.34	to	138,079.29	
	Principal Traffic Engineer	Hourly		62.05	to	84.04	
		Annual		129,063.37	to	174,807.33	
38	Procurement Specialist	Hourly	30.56	32.08	33.69	35.37	37.14
		Annual	63,554.59	66,732.29	70,068.87	73,572.54	77,251.07
	Public Services Manager	Hourly		47.75	to	64.48	
		Annual		99,316.97	to	134,109.32	
43	Public Works Supervisor	Hourly	34.57	36.30	38.11	40.02	42.02
		Annual	71,906.11	75,501.29	79,276.44	83,240.40	87,402.05
	Recreation Aide ^	Hourly		16.00	to	18.21	

CITY OF SANTEE
 HOURLY, GENERAL AND MANAGEMENT SALARY SCHEDULE
 EFFECTIVE JANUARY 1, 2024 for Hourly and General. EFFECTIVE JANUARY 4, 2024 for Fire Management

Range	Classification		A	B	C	D	E
28	Recreation Coordinator	Hourly	23.87	25.06	26.32	27.63	29.01
		Annual	49,648.51	52,131.14	54,737.62	57,474.41	60,348.29
	Recreation Leader ^	Hourly		16.56	to	19.67	
	Recreation Services Manager	Hourly		47.75	to	64.48	
		Annual		99,316.97	to	134,109.32	
	Recreation Supervisor	Hourly		34.11	to	48.73	
		Annual		70,952.11	to	101,360.17	
36	Senior Account Clerk	Hourly	29.08	30.54	32.06	33.67	35.35
		Annual	60,492.18	63,516.81	66,692.82	70,027.39	73,529.00
53	Senior Accountant	Hourly	44.25	46.47	48.79	51.23	53.79
		Annual	92,045.78	96,648.03	101,480.93	106,554.73	111,882.66
50	Senior Building Inspector	Hourly	41.09	43.15	45.31	47.57	49.95
		Annual	85,473.62	89,747.56	94,235.16	98,946.61	103,894.17
	Senior Civil Engineer / Senior Traffic Engineer	Hourly		54.39	to	73.96	
		Annual		113,134.63	to	153,841.33	
	Senior Human Resources Analyst	Hourly		45.06	to	60.83	
		Annual		93,723.06	to	126,526.97	
	Senior Management Analyst	Hourly		42.91	to	57.93	
		Annual		89,260.07	to	120,501.86	
	Senior Management Analyst/ Grant Coordinator	Hourly		45.06	to	60.83	
		Annual		93,723.07	to	126,526.97	
	Senior Planner	Hourly		42.76	to	57.73	
		Annual		88,937.90	to	120,069.10	
	Special Events Supervisor	Hourly		34.11	to	48.73	
		Annual		70,952.11	to	101,360.17	

CITY OF SANTEE
 HOURLY, GENERAL AND MANAGEMENT SALARY SCHEDULE
 EFFECTIVE JANUARY 1, 2024 for Hourly and General. EFFECTIVE JANUARY 4, 2024 for Fire Management

Range	Classification		A	B	C	D	E
	Storm Water Program Assistant^	Hourly		28.73	to	34.92	
50	Storm Water Program Coordinator	Hourly	41.09	43.15	45.31	47.57	49.95
		Annual	85,473.62	89,747.56	94,235.16	98,946.61	103,894.17
	Student Intern ^	Hourly		16.00	to	19.67	
	Technical Professional Expert ^	Hourly		50.00	to	160.00	

^Part-time, temporary status

CITY OF SANTEE
MAYOR AND CITY COUNCIL MEMBERS SALARY SCHEDULE
EFFECTIVE JANUARY 1, 2024

<u>Range</u>	<u>Classification</u>		
	City Council Member	Monthly	1,851.87
		Annual	22,222.39
	Mayor	Monthly	3,120.97
		Annual	37,451.61