

Fanita Drive Villas

PROJECT: *A new Residential Development*
 ADDRESS: 8504 Fanita Drive Santee Ca. 92071
 BUILDING DATA:
 APN: 386-690-38

ZONING & LAND USE REQUIREMENTS

	REQUIRED	PROPOSED
DENSITY RANGE (DU/GROSS ACRE)	55%	11.6
MAXIMUM LOT COVERAGE	55%	MAX. 47%
OFF STREET PARKING	2 SPACES/DU	2 SPACES/DU
VISITOR PARKING	2 SPACES	2 SPACES
GREEN BUILDING	TIER 2	TIER 2
FRONT SETBACK	10 FT	10 FT
SIDE SETBACK	5 FT	5 FT
REAR SETBACK	10 FT	10 FT
PRIVATE OPEN SPACE	100 S.F. / UNIT	AVG. 1096 S.F./UNIT
COMMON OPEN SPACE	150 S.F. / UNIT	150.6 S.F. / UNIT

SHEET INDEX

ARCHITECTURAL	
A1-0	TITLE SHEET
A2-1	FLOOR PLAN SCHEME "A"
A2-2	FLOOR PLAN SCHEME "B"
A3-1	ELEVATIONS SCHEME "A"
A3-2	ELEVATIONS SCHEME "B"
A3-3	SECTIONS SCHEME "A" & "B"

LANDSCAPE

L-1	PRELIMINARY LANDSCAPE PLAN
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LOTS SQUARE FOOTAGE

LOT A	8599. SQ.FT.
LOT B	*1205. SQ.FT. *555. SQ.FT. FOR AMENITIES AND *650. SQ.FT. FOR OPEN SPACE
LOT C	768. SQ.FT.
LOT 1	2,040. SQ.FT.
LOT 2	2,101. SQ.FT.
LOT 3	2,102. SQ.FT.
LOT 4	2,102. SQ.FT.
LOT 5	2,099. SQ.FT.
LOT 6	2,103. SQ.FT.
LOT 7	2,103. SQ.FT.
LOT 8	2,052. SQ.FT.

STORAGE AREA INSIDE GARAGE

179.25 ON CEILING INSIDE THE GARAGE, ON EACH INDIVIDUAL HOUSE

SQUARE FOOT INFORMATION

REFERENCE	HOUSE FIRST FL SQ.FT.	HOUSE SECOND FL. SQ.FT.	GARAGE SQ.FT.	TOTAL
Proposed LOT 1	406. SQ.FT.	796. SQ.FT.	451.5. SQ.FT.	1,653.5 SQ.FT.
Proposed LOT 2	561 SQ.FT.	954 SQ.FT.	451.5. SQ.FT.	1,966.5 SQ.FT.
Proposed LOT 3	561 SQ.FT.	954 SQ.FT.	451.5. SQ.FT.	1,966.5 SQ.FT.
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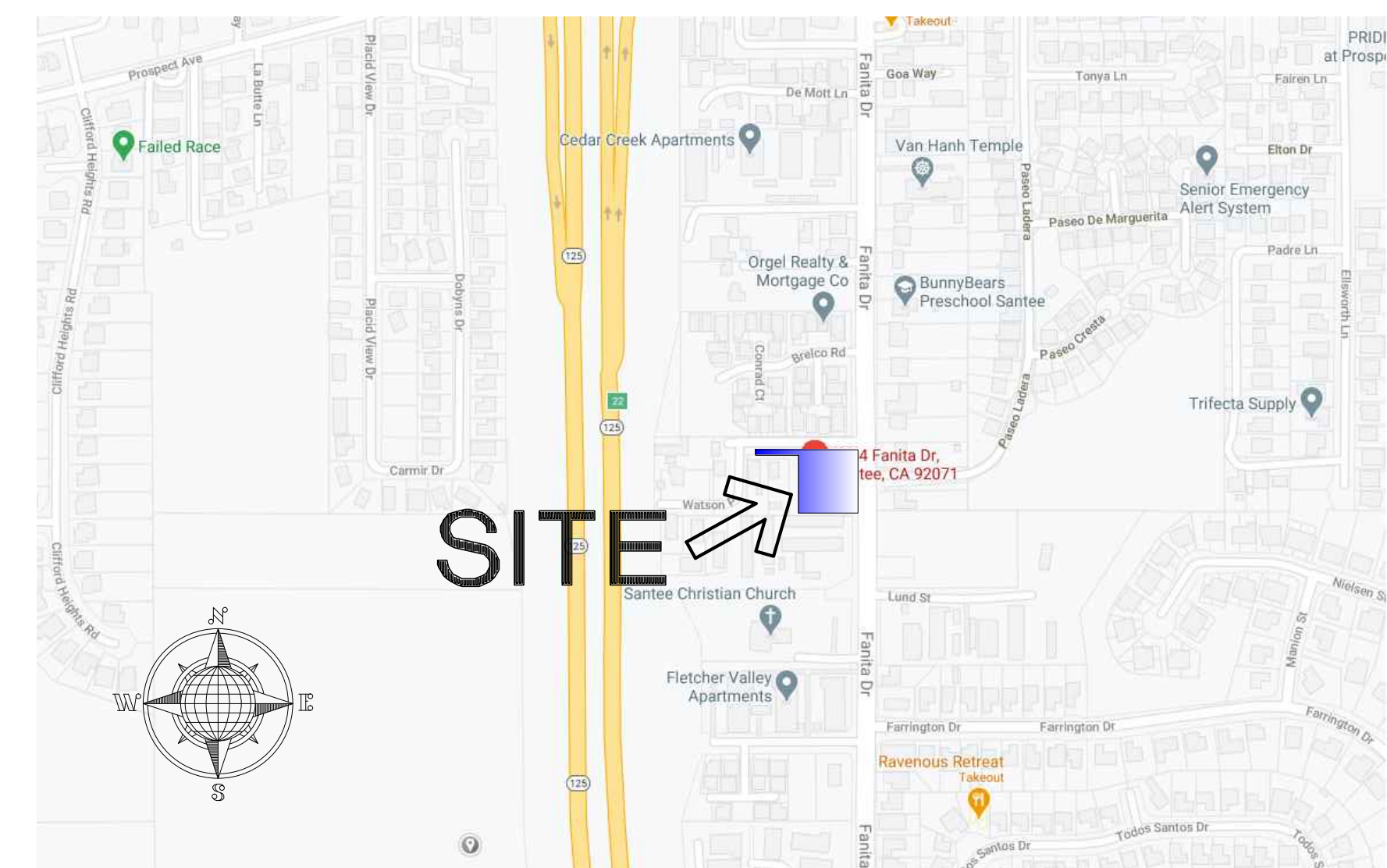


GENERAL NOTES

- GROUND FAULT INTERRUPTERS: PROVIDE ICBO APPROVED GFI FOR ALL EXTERIOR, BATH, DRESSING, KITCHEN AREA OUTLETS, AND IN/AROUND KNOWN WATER SOURCE CONTACT AREAS.
- ELECTRICAL SUB-CONTRACTOR: VERIFY WITH GENERAL CONTRACTOR AND OWNER FOR ANY ADDITIONAL ELECTRICAL REQUIREMENTS AND THEIR LOCATION.
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- MINIMUM WIRE SIZE #12, THW, CU MINIMUM CONDUIT 1/2".
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Title Sheet

VICINITY MAP



Taller de Arquitectura
 PLANNING AND DESIGN

4645 Rufiner Street, Ste L, San Diego, Ca. 92116, Tel. (619) 427-4141
 Email Address: joaquin@tallerarchitect.com

PROJECT INFORMATION

OWNER: TARIK ALAHMAD
 7110 BALBOA AVENUE, STE 201C
 SAN DIEGO, CALIFORNIA 92111

PROJECT ADDRESS: 8504 FANITA DRIVE
 SANTEE, CA. 92071

BUILDING TYPE: TYPE V B, SPRINKLER

ASSESSOR PARCEL No: 386-690-38-00

BUILDING CODE: 2019 CBC WHICH ADOPTS THE 2018 IBC.

OCCUPANCY: TYPE "R-3"

ZONE: R-1 LOW-MED DENSITY RESIDENTIAL

LOT SIZE: .67 AC/29,620 SQ.FT.

LEGAL DESCR: LOT 9 BLK. D CITY OF SANTEE, SUBDIVISION TR# 688 TR 688 BLOCK D LOT 9 DOCUM. 11-20319

GOVERNING AGENCIES

CITY OF SANTEE
 PADRE DAM SEWER AND WATER DISTRICT

GENERAL NOTES

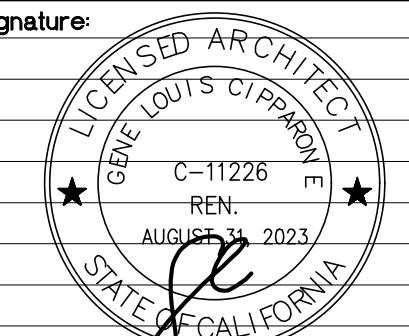
- RESIDENTIAL CONSTRUCTION COMPLY WITH THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE (TITLE 24), WHICH ADOPTS THE FOLLOWING MODEL CODES: 2018 IBC, 2019 UPC, 2019 UMC AND 2011 NEC.
- THIS PROJECT WILL COMPLY WITH THE CITY OF SANTEE CITY LIGHTING ORDINANCE
- A MINIMUM 10-FOOT PERIMETER SETBACK IS REQUIRED BY TABLE 13.10.040 E.

SCOPE OF WORK

BUILD NEW 2 TWO STORY HOUSES WITH ATTACH GARAGES, SUBDIVISION OF LOTS IN TO SINGLE FAMILY RESIDENCE

Issues and Revisions		
No.	Date	Issues and Revisions
03/15/21		Preliminary Design

Stamp and Signature:



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A1-0

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Email Address: joemartinezarchitect@gmail.com

WALL LEGEND

	2 x 4 WOOD STUD @ 16" o.c.
	2 x 6 WOOD STUD @ 16" o.c.
	WALL TO BE DEMOLISHED
	WALL WITH 1/2 GYP BD. ON BOTH SIDES OR PLYND. AND PLASTER ON THE OUTSIDE
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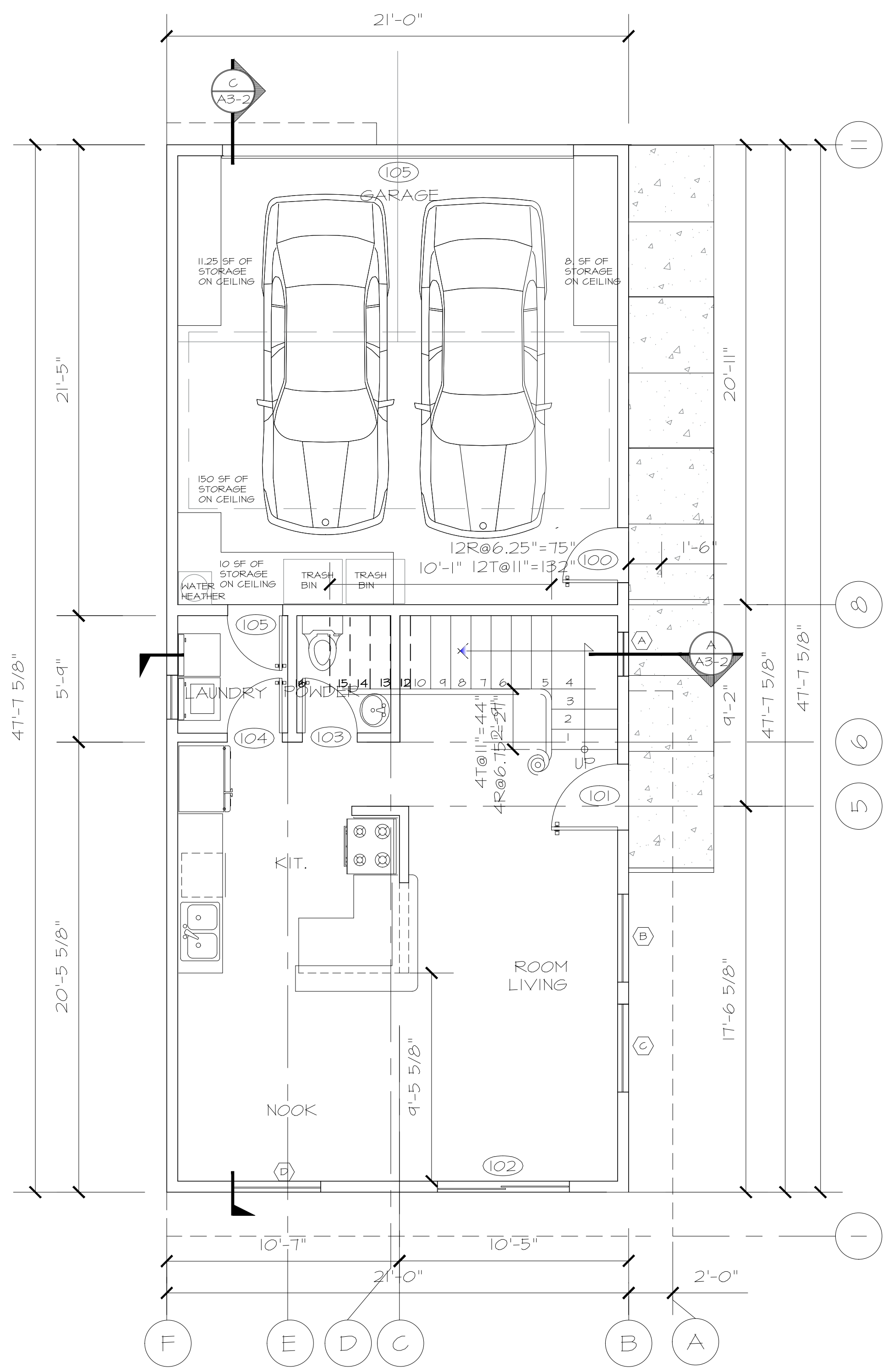
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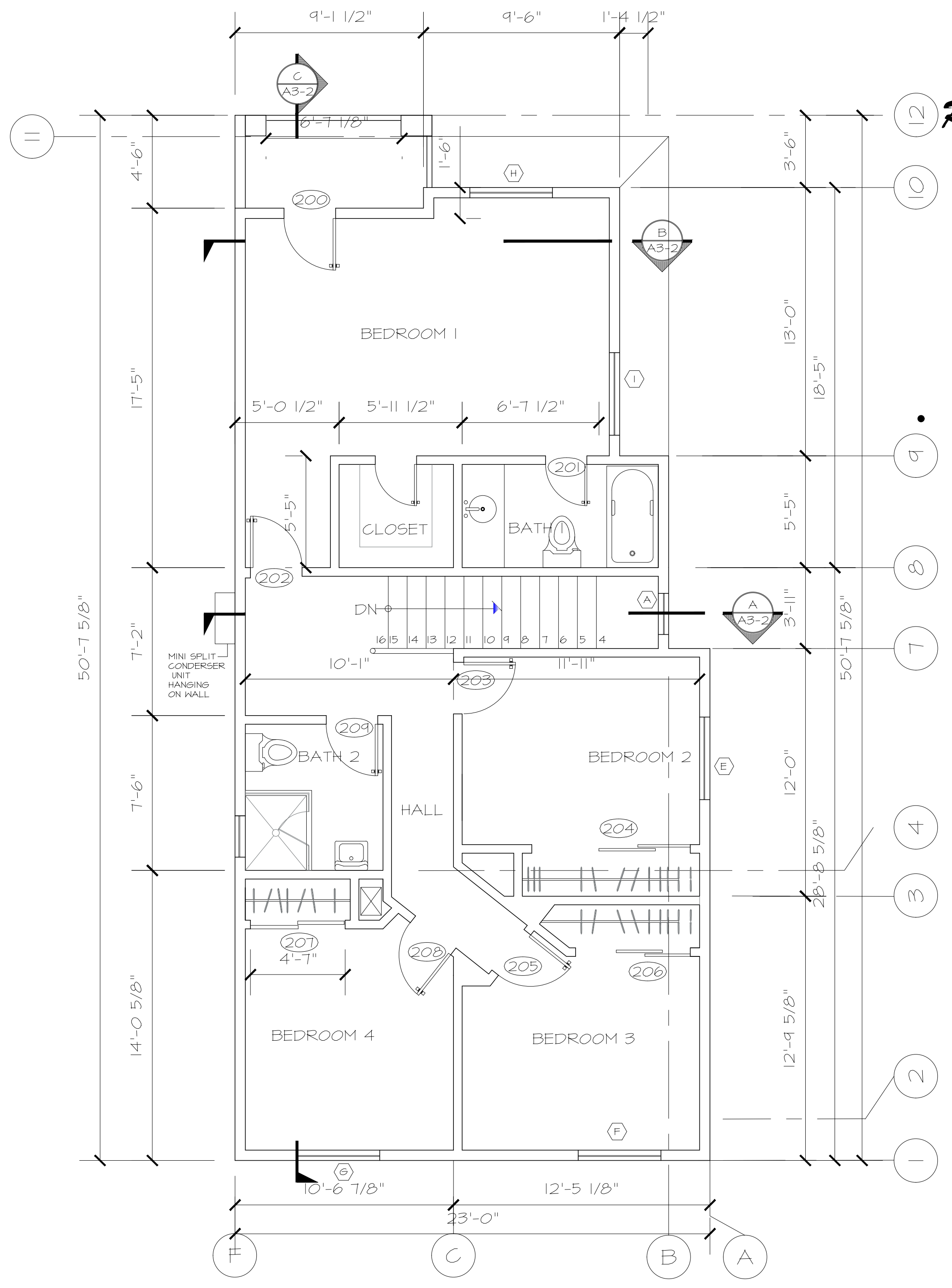
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Scheme 'A' SCALE: 1/4" = 1'-0"

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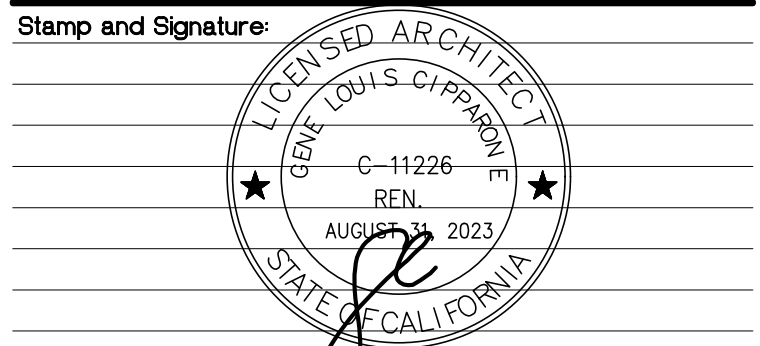
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Second Floor Plan
Scheme 'A' SCALE: 1/4" = 1'-0"

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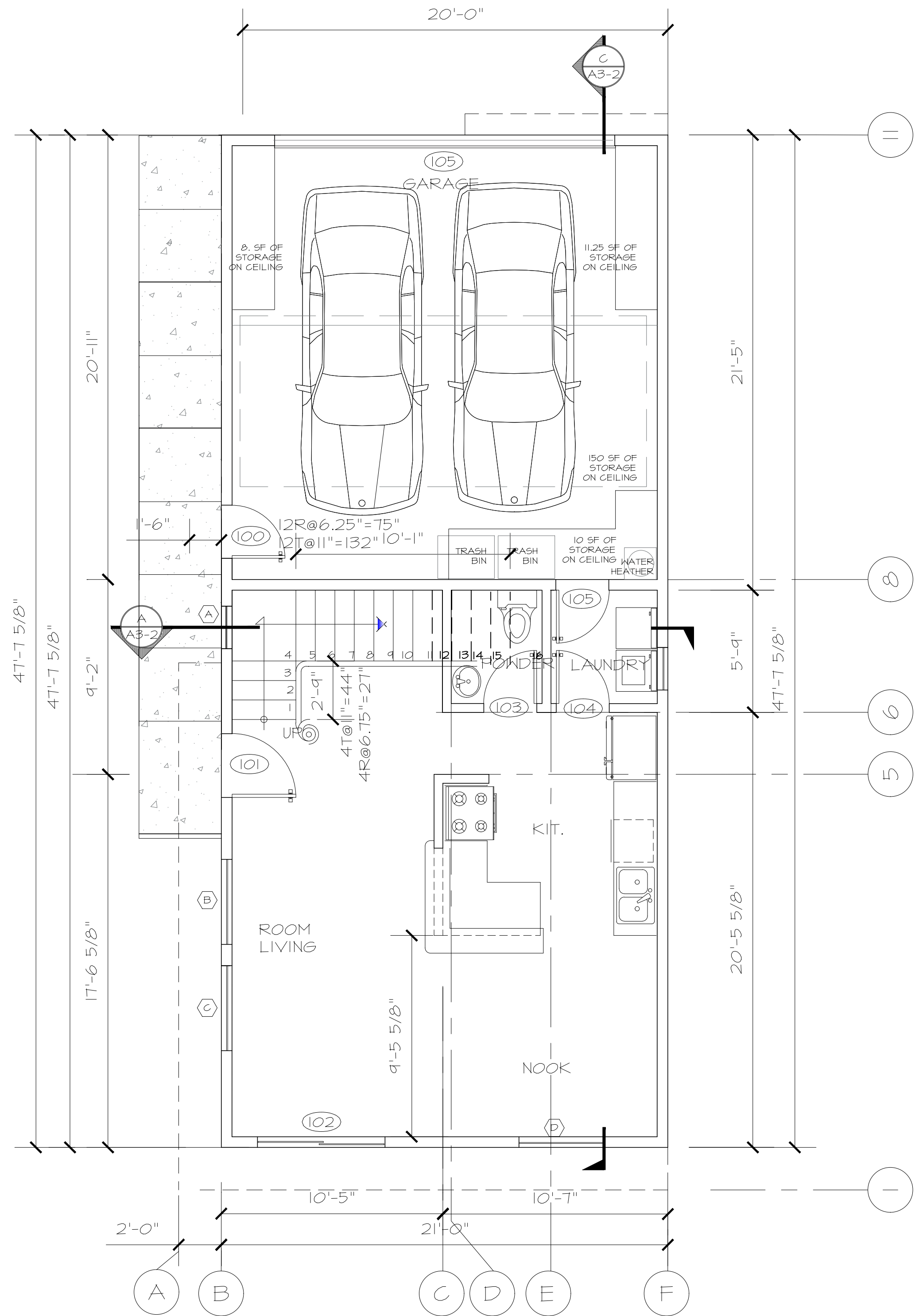
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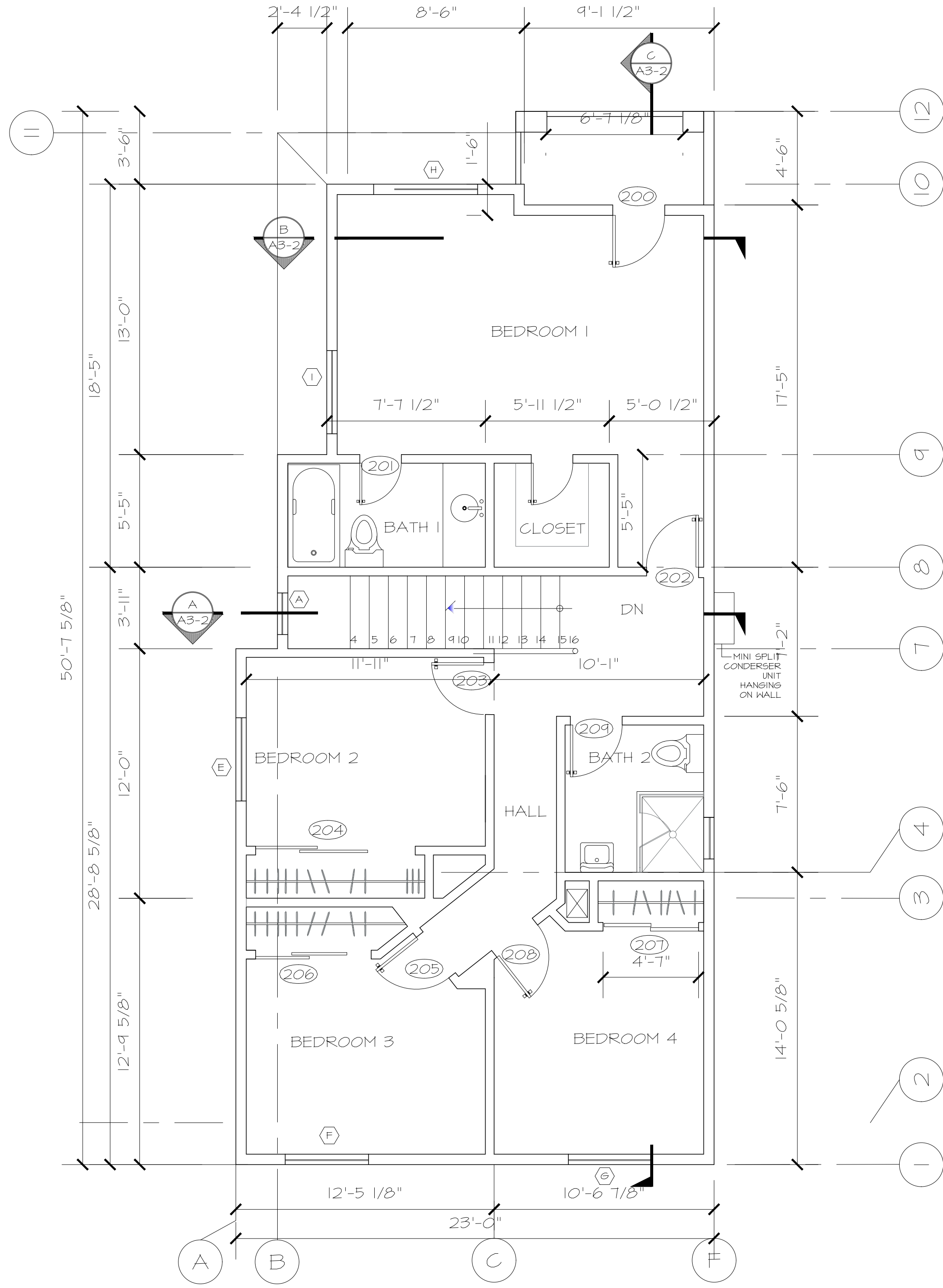
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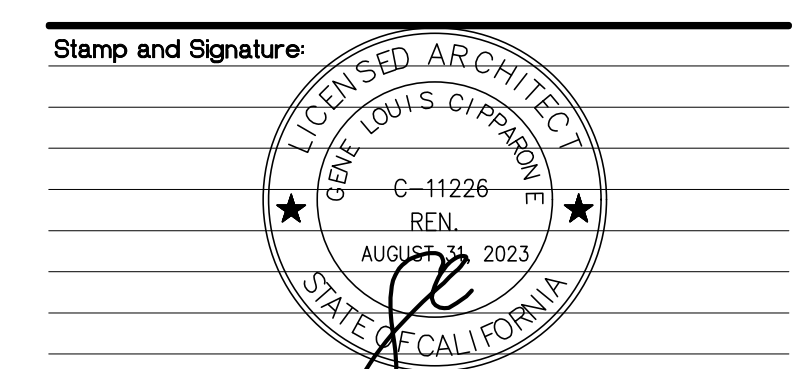
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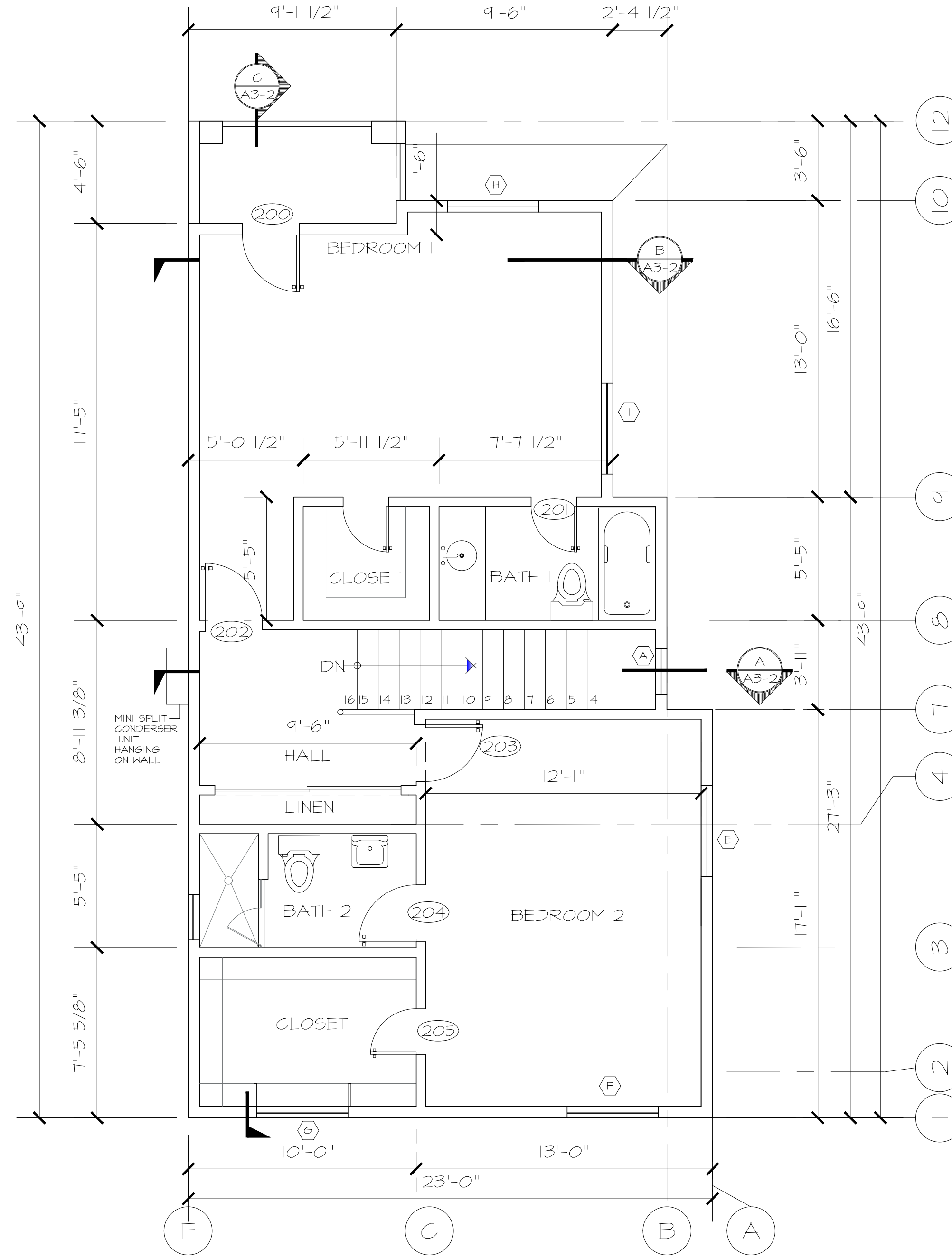
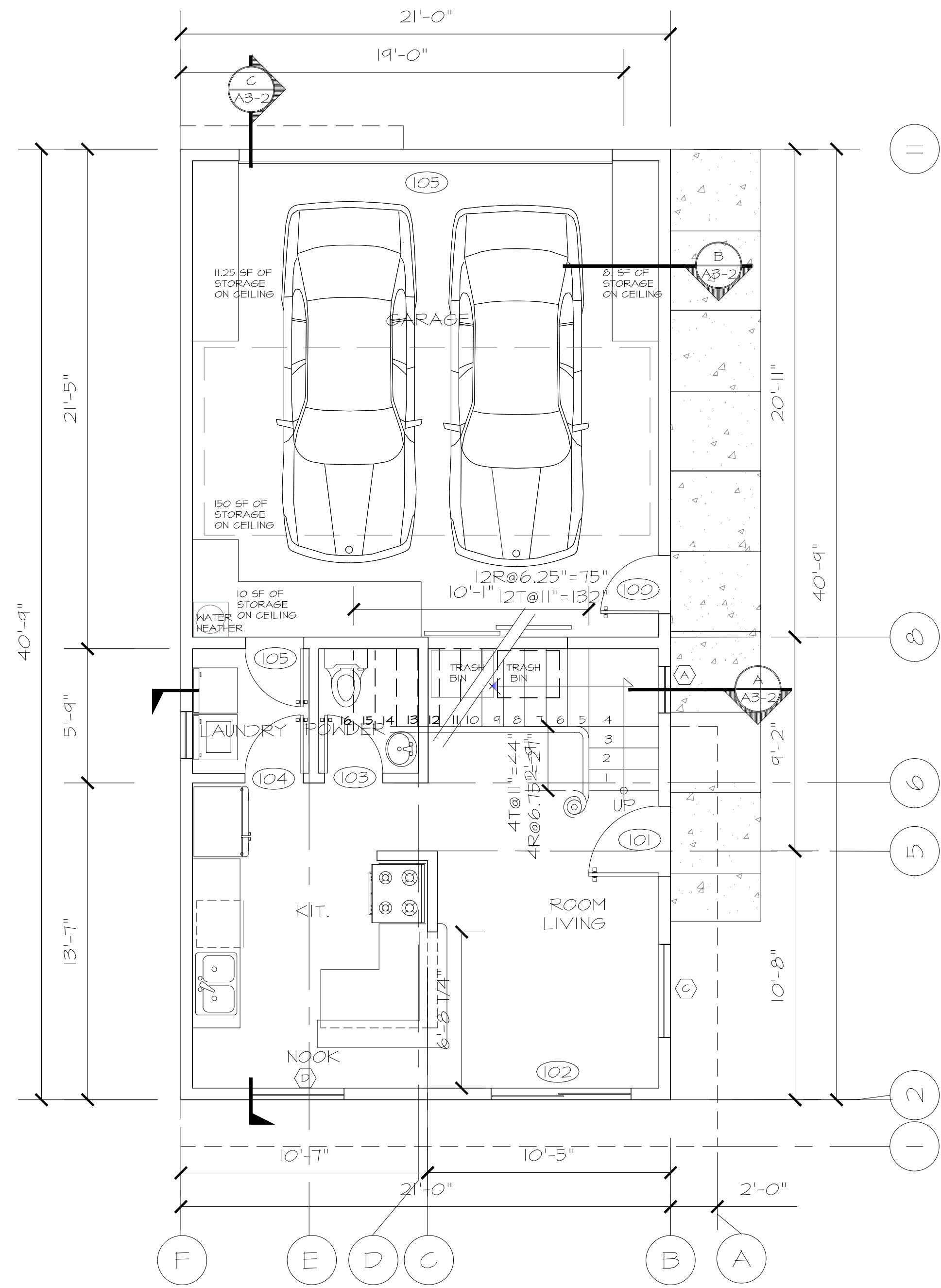
	DOOR PER DOOR SCHEDULE
	WINDOW PER SCHEDULE
	WALL PER LEGEND
	ROOM NUMBER PER FINISH SCHEDULE.
	FURNACE UNIT

LEGEND:

	SHOWN EXTERIOR LIGHT FIXTURE, BY OWNER (PER ELEC. SEC. 210 - 70 - a) CONTRACTOR TO INSTALL
	SHOWN EXTERIOR LIGHT FIXTURE WITH TIMER, BY OWNER (PER ELEC. SEC. 210 - 70 - a) CONTRACTOR TO INSTALL
	EXISTING SMOKE DETECTORS
	SMOKE DETECTORS TO BE HARD WIRED (SEC.310.9).
	ELECTRICAL OUTLET
	GFCI ELECTRICAL OUTLET PER SECT. (N.E.C.210-8)
	AFCI ELECTRICAL OUTLET PER SECT. (N.E.C.210-8)
	WATER PROOF GFCI QUADRUPLEX ELECTRICAL OUTLET PER SECT. (N.E.C.210-8)
	ELECTRICAL "J" BOX
	TELEPHONE OUTLET
	TV OUTLET
	COMBO EXHAUST LOW NOISE FAN TO BE 120 CFM AND FLUORESCENT LIGHT FIXTURE
	ELECTRICAL SWITCH
	3 WAY ELECTRICAL SWITCH
	DIMMER SWITCH
	OCCUPANT SENSOR
	OCCUPANT SENSOR WITH PHOTO CONTROL
	INCANDESCENT LIGHT FIXTURE
	4 FOOT CEILING TROFFER LIGHT FIXTURE
	SPOT LIGHT FIXTURE W/ FLUORESCENT LIGHT BULB, WATER-PROOF
	RECESSED LED LIGHT FIXTURE
	BELL FOR DOOR
	DOOR BELL
	240 V. ELECTRICAL OUTLET
	WATER PROOF GFCI ELECTRICAL SWITCH
	SPOT LIGHT FIXTURE
	SPOT LIGHT FIXTURE WITH TIMER
	CARBON MONOXIDE ALARM INTERCONNECTED AND HARD WIRE WITH BATTERY BACK-UP
	100 AMPERES MAIN PANEL
	100 AMPERES SUB PANEL
	GARAGE DOOR MOTOR
	EXIT SIGN TO BE SELF BATTERY OPERATED AND SELF ILLUMINATED
	EMERGENCY EGRESS LIGHTING BATTERY OPERATED

KEY NOTES

1	SECTION OF WALL TO BE DEMOLISHED, 4 FEET OF WALL	9	100 SQ INCHES OF MAKE UP AIR FOR EXHAUS AIR
2	NEW ELECTRICAL SUB-PANEL	10	FILL WALL W/ WOOD STUDS AND PATCH AND FIX STUCCO
3	EXISTING FAU, 65,000 btu's EQUIPMENT BY RHEEM	11	PLASTER SOFFIT, SMOOTH FINISH LIGHTER COLOR
4	GAS DRYER BY OWNER	12	FILL WITH BLOCK PER STRUCTURAL DETAILS
5	4" EXHAUST ONE ELBOW STRAIGHT TO ROOF, MAX LENGTH 14' METAL DUCT	13	FRIDGE BY OWNER
6	NEW EXTERIOR TANKLESS GAS WATER HEATHER BY AO SMITH 125,000. btu's SEE DETAIL 11/A10-1, DIRECT VENTED	14	SINK UNDER TANKLESS WATER HEATHER
7	NEW STRONG WALL BY SIMPSON	15	NOT USED
8	GARBAGE DISPOSAL	16	NOT USED



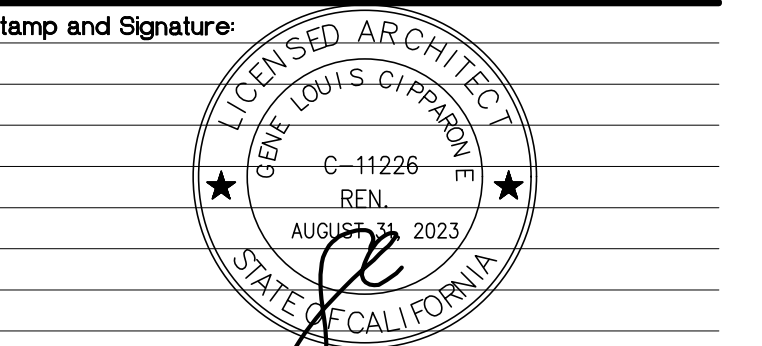
GENERAL NOTES

- GROUND FAULT INTERRUPTERS: PROVIDE ICGO APPROVED GFI FOR ALL EXTERIOR, BATH, DRESSING, KITCHEN AREA OUTLETS, AND IN/AROUND KNOWN WATER SOURCE CONTACT AREAS.
- ELECTRICAL SUB-CONTRACTOR: VERIFY WITH GENERAL CONTRACTOR AND OWNER FOR ANY ADDITIONAL ELECTRICAL REQUIREMENTS AND THEIR LOCATION.
- VERIFY LOCATION OF ALL ELECTRICAL SHOWN WITH OWNER AND GENERAL CONTRACTOR AND BRAND NAME, STYLE, AND QUALITY WITH OWNER.
- ALL SWITCHES TO BE "SILENT TYPE" 42" AFF. ALL CONVENIENCE OUTLETS 15" ABOVE FLOOR U.O.N.
- THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE OF THE WORK AND THOROUGHLY FAMILIARIZE HIMSELF WITH THE WORKING CONDITIONS AND THE EXACT NATURE AND EXTENT OF THE WORK TO BE DONE, TAKING INTO ACCOUNT ANY SPECIAL OR FEATURES PECULIAR TO THIS JOB.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY ELECTRICAL PERMIT(S) PRIOR TO JOB START AND OBTAIN PROPER INSPECTION FROM DEPARTMENT OF BUILDING AND SAFETY.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY ELECTRICAL PERMIT(S) PRIOR TO JOB START AND OBTAIN PROPER INSPECTION FROM DEPARTMENT OF BUILDING AND SAFETY.
- ANY ERRORS OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BIDDING THE JOB.
- ALL WIRING SHALL BE THHN OR THWN 600 VOLTS U.O.N.
- ALL FEEDER AND BRANCH CIRCUIT CONDUCTORS ARE BASED ON COPPER CONDUCTOR RATING.
- ALL BALLASTS SHALL BE HPF, C.B.M. AND LOWEST HEAT AVAILABLE, AND U.L. APPROVED
- ALL FIXTURES SHALL BE U.L. LISTED AND APPROVED FOR THE PURPOSE.
- RECESSED FIXTURES IN FIRED RATED CEILINGS OR SUPPLY AIR PLENUMS SHALL BE APPROVED FOR THE RATING OF THE CEILING. PROVIDE AIR TIGHT GASKETS TO SEAL AROUND OPENINGS.
- STEMS OF PENDANT MOUNTED FIXTURES SHALL BE APPROVED FOR EARTHQUAKE DURABILITY.
- EXACT LOCATION OF EQUIPMENTS SHALL BE VERIFIED IN THE FIELD AND ROUTING OF CONDUITS SHALL SUIT FIELD CONDITIONS.
- ALL WIRING SHALL BE INSTALLED IN METALLIC CONDUIT.
- MINIMUM WIRE SIZE #12, THW, CU MINIMUM CONDUIT 1/2".
- USE IVORY DECORATIVE RECEPTACLES, SWITCHES, COVER PLATES, THROUGHOUT OFFICE AREA.
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- CONDUCTOR PENETRATION OF FIRE RATED PORTIONS OF A STRUCTURE SHALL BE EFFECTIVELY SEALED AND SLEEVED WITH STEEL FLEX 3 FEET EACH SIDE OF PENETRATION, OR OTHER APPLIED METHODS.
- NO BX, AC, MC OR ROMEX TYPE WIRING SHALL BE ALLOWED.
- ALL SIGNS SHALL BE CONTROLLED/OPERATED ON A SEPARATE CIRCUIT VIA A SEVEN (7) DAY TIME CLOCK OR PROGRAMMABLE RELAY PANEL.
- ALL LIGHTING SHALL BE CONTROLLED/OPERATED VIA TIME CLOCK OR PROGRAMMABLE RELAY PANEL, EXCEPT THE NIGHTLIGHT AND EMERGENCY LIGHT.

Lot 8 Floor Plan
Scheme 'C' SCALE: 1/4" = 1'-0"

Issues and Revisions

No.	Date	Issues and Revisions
03/15/21		Preliminary Design
12/18/21		City Submittal
04/06/22		House Pad Corrections
04/28/22		City Submittal Second Review



Project Name: 8504 Fanita Drive, Santee
Project No: 106R2021
Date: 03/15/2021
Cad File:
Description:

Sheet No.

A2-3

Fanita Drive Villas

PROJECT: A new Residential Development

ADDRESS: 8504 Fanita Drive
Santee Ca. 92071
BUILDING DATA:
APN: 386-690-38

Taller de Arquitectura

PLANNING AND DESIGN

4645 Rufner Street, Ste L, San Diego, Ca. 92110, Tel. (619) 427-4161
Email Address: joemartinezarchitect@gmail.com

WALL LEGEND

	2 x 4 WOOD STUD @ 16" o.c.
	2 x 6 WOOD STUD @ 16" o.c.
	WALL TO BE DEMOLISHED
	WALL WITH 1/2 GYP.BD. ON BOTH SIDES OR PLYWD. AND PLASTER ON THE OUTSIDE
	EXISTING WALL TO REMAIN
	WOOD STUDS @ 16" o.c. WITH 5/8" TYPE "X" GYP.BD. ON BOTH SIDES BLOCKING @ 4'-0" o.c., 1 HR. WALL.

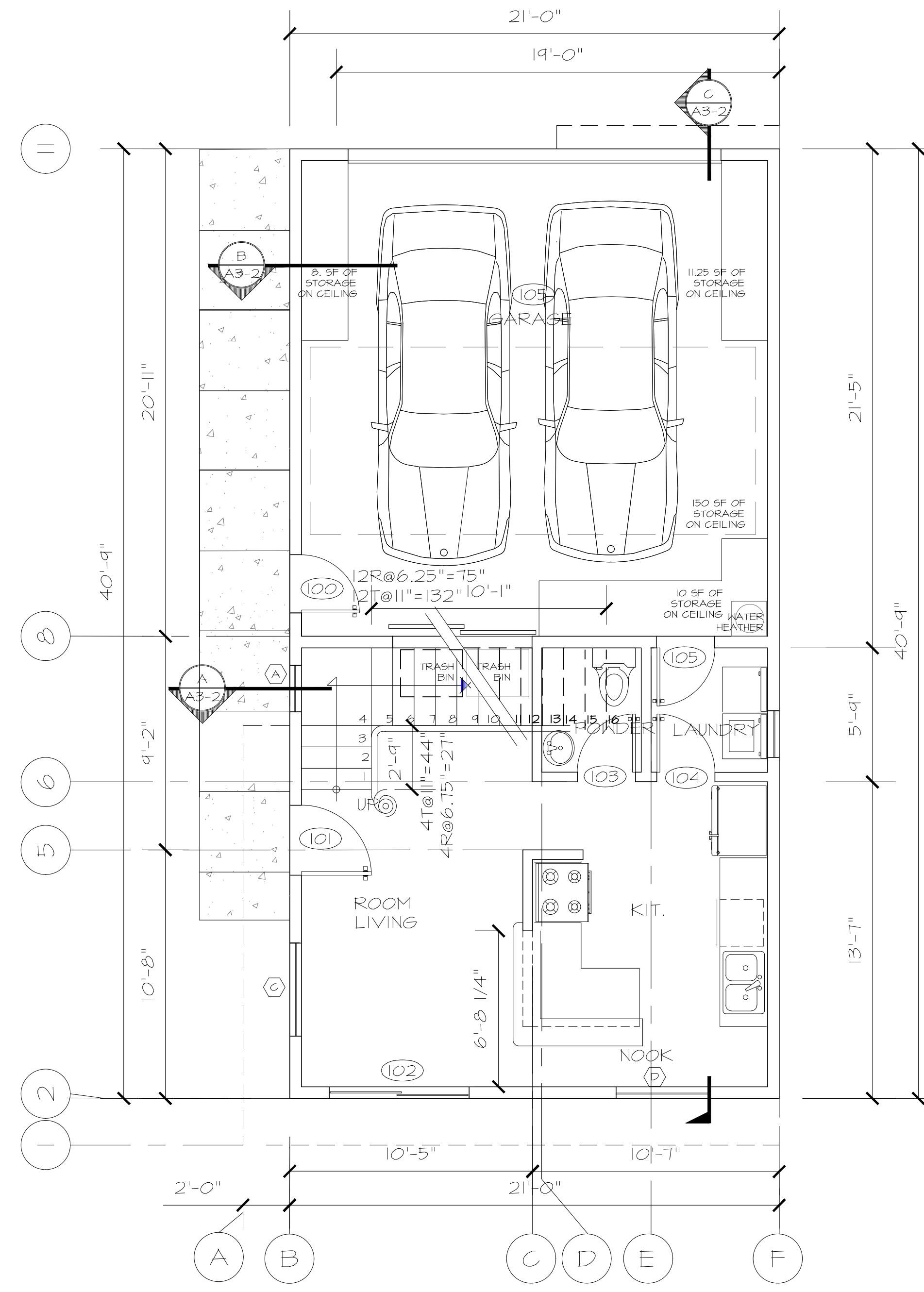
	DOOR PER DOOR SCHEDULE
	WINDOW PER SCHEDULE
	WALL PER LEGEND
	ROOM NUMBER PER FINISH SCHEDULE.
	FURNACE UNIT

LEGEND:

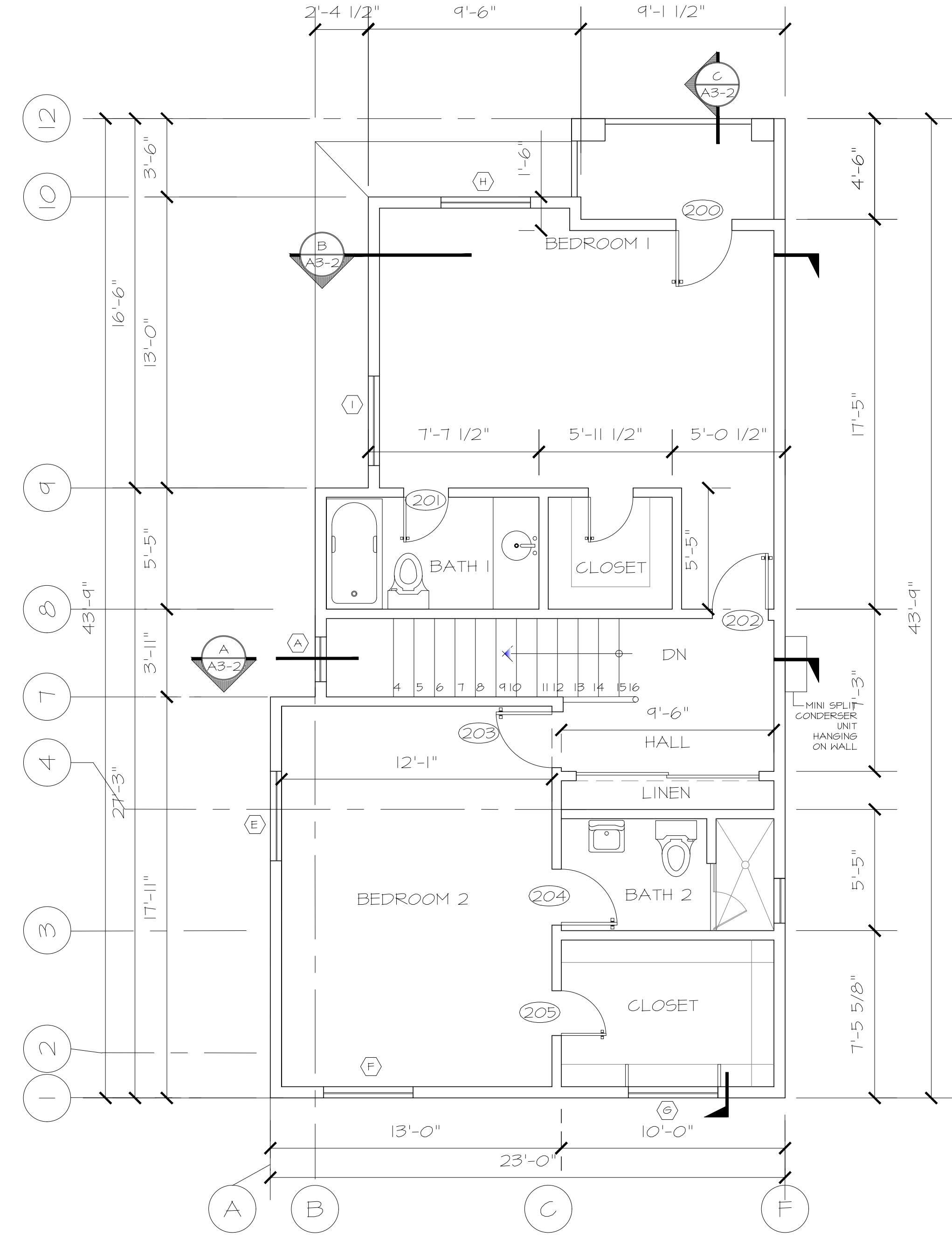
	SHOWN EXTERIOR LIGHT FIXTURE, BY OWNER (PER ELEC. SEC. 210 - 70 - a) CONTRACTOR TO INSTALL
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	OCCUPANT SENSOR
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	INCANDESCENT LIGHT FIXTURE
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8	GARBAGE DISPOSAL	16	NOT USED



First Floor Plan
Scheme 'C' SCALE: 1/4" = 1'-0"



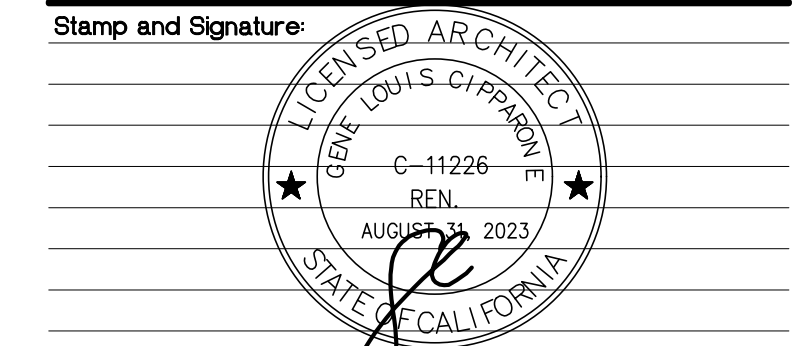
Second Floor Plan
Scheme 'C' SCALE: 1/4" = 1'-0"

GENERAL NOTES

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Issues and Revisions

No.	Date	Issues and Revisions
03/15/21		Preliminary Design
12/18/21		City Submittal
04/06/22		House Pad Corrections
04/28/22		City Submittal Second Review



Project Name: 8504 Fanita Drive, Santee
Project No: 106R2021
Date: 03/15/2021
Cad File:
Description:

Sheet No.

Lot 1 Floor Plans
Scheme 'C' SCALE: 1/4" = 1'-0"

A2-4

Fanita Drive Villas

PROJECT: *A new Residential Development*

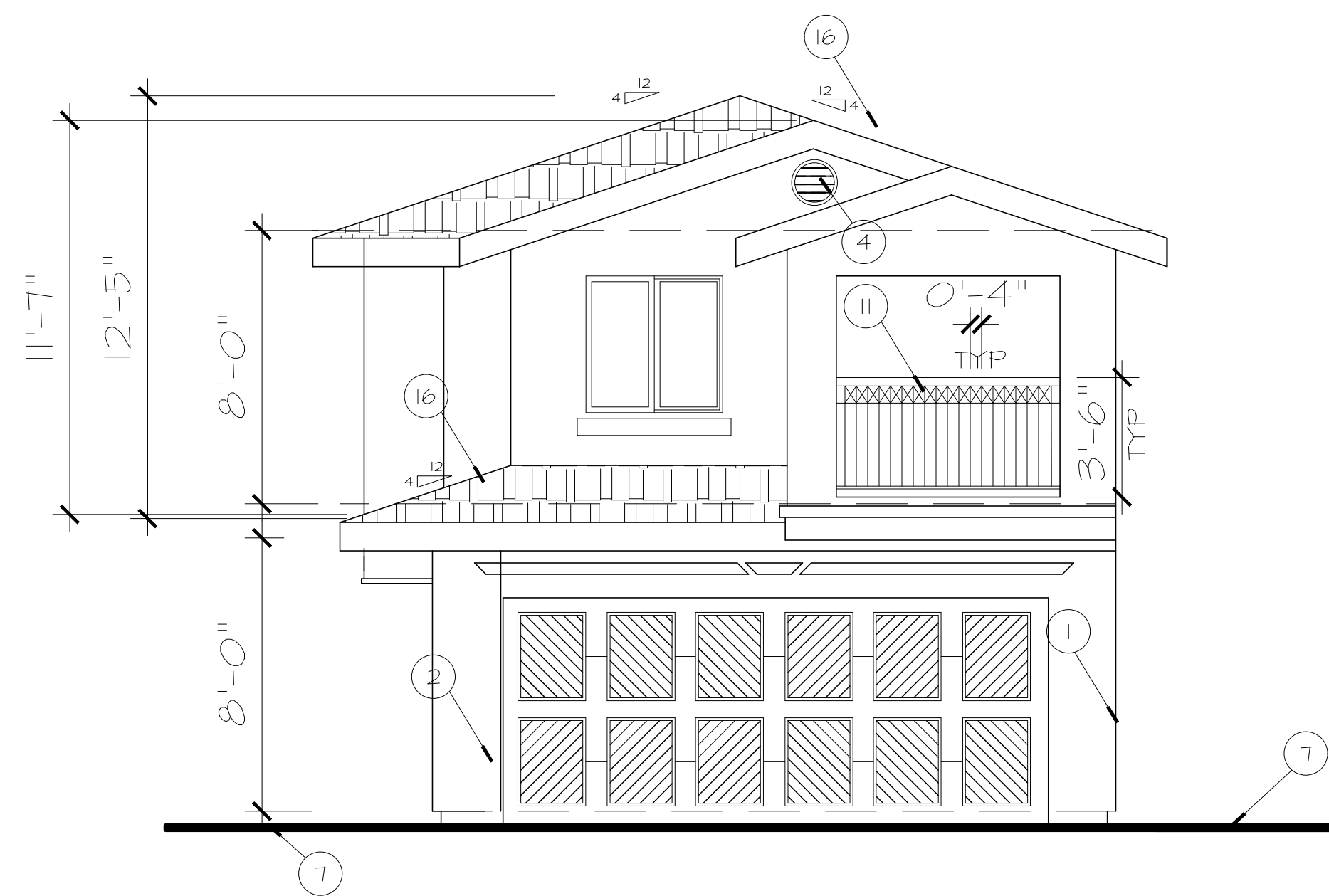
ADDRESS:
8504 Fanita Drive
Santee Ca. 92071

BUILDING DATA:
APN: 386-690-38

Taller de Arquitectura

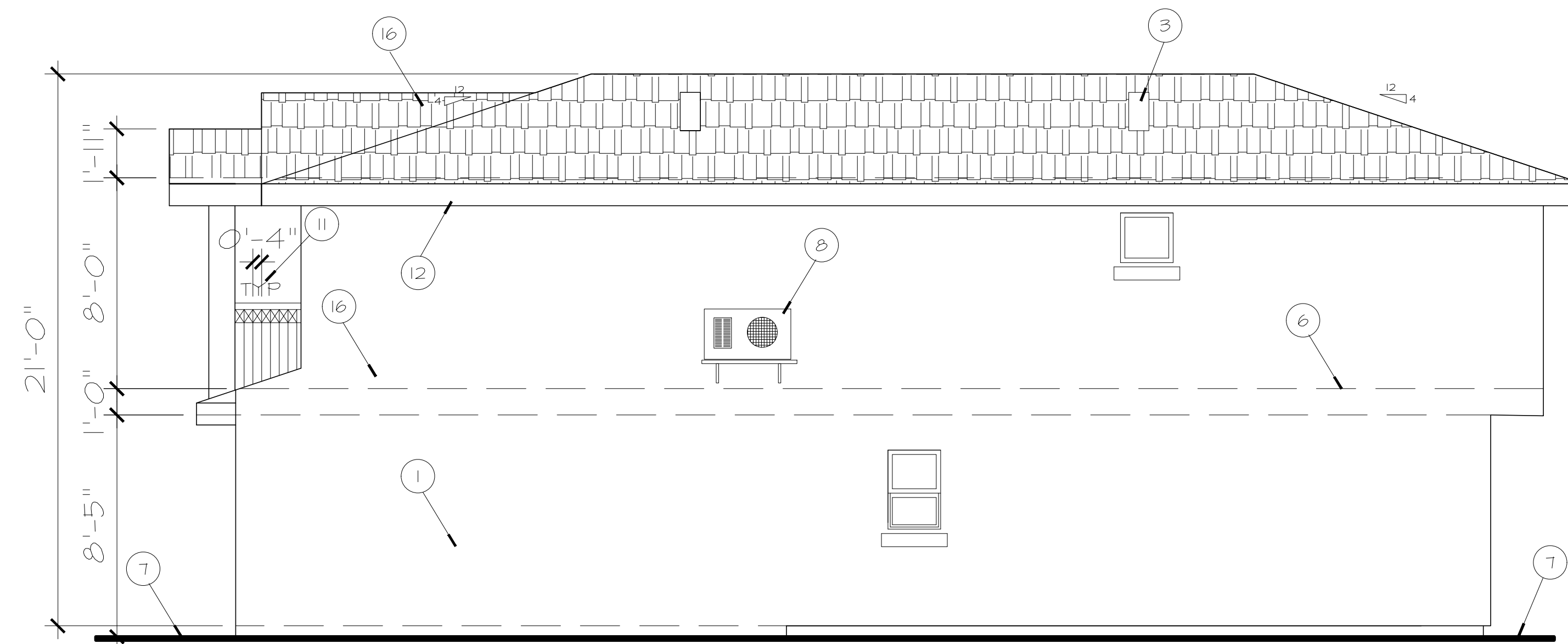
PLANNING AND DESIGN

4665 Ruffner Street, Ste L, San Diego, Ca. 92116, Tel. 619-427-6161
Email Address: joemartinezarchitects.com



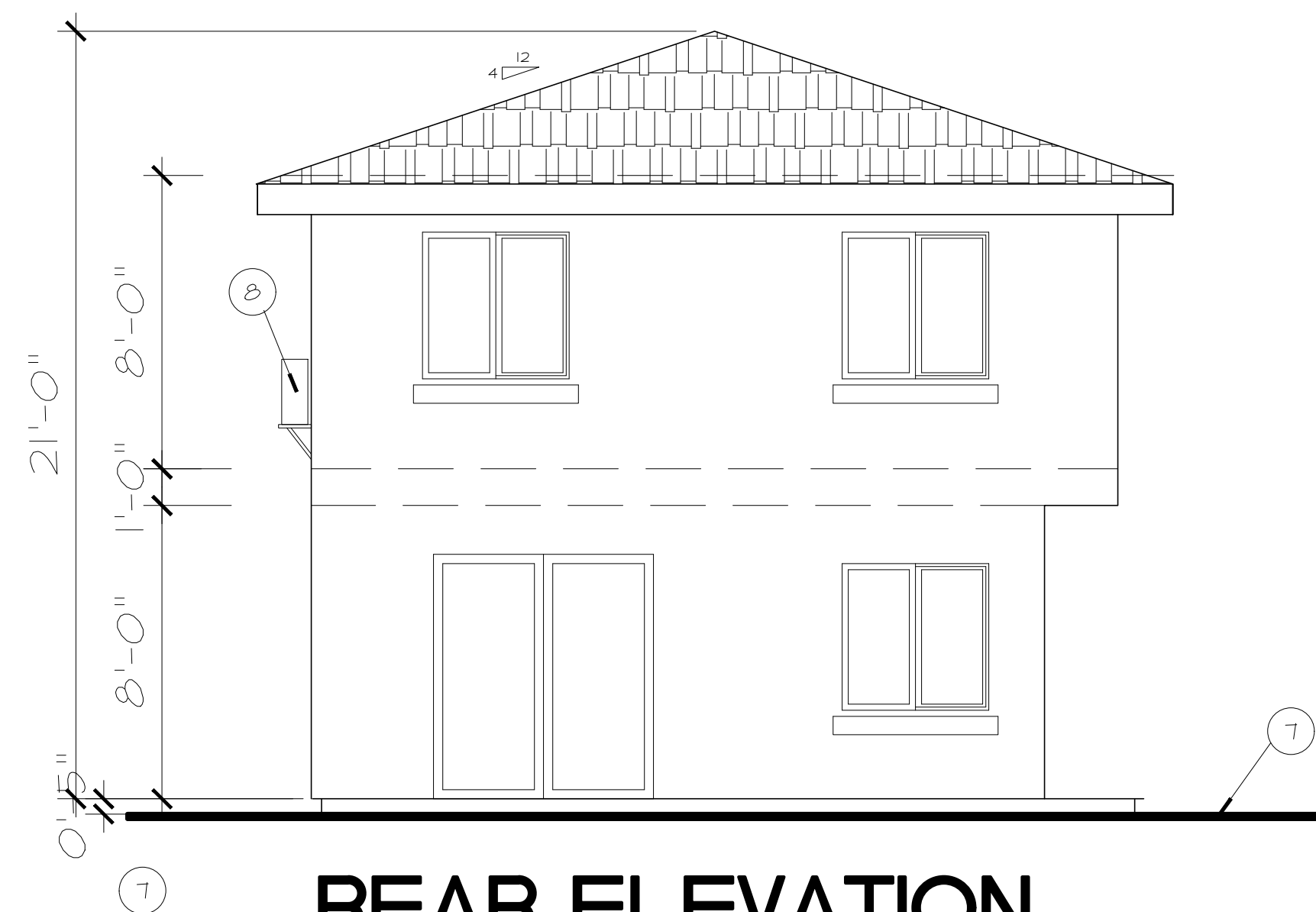
FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

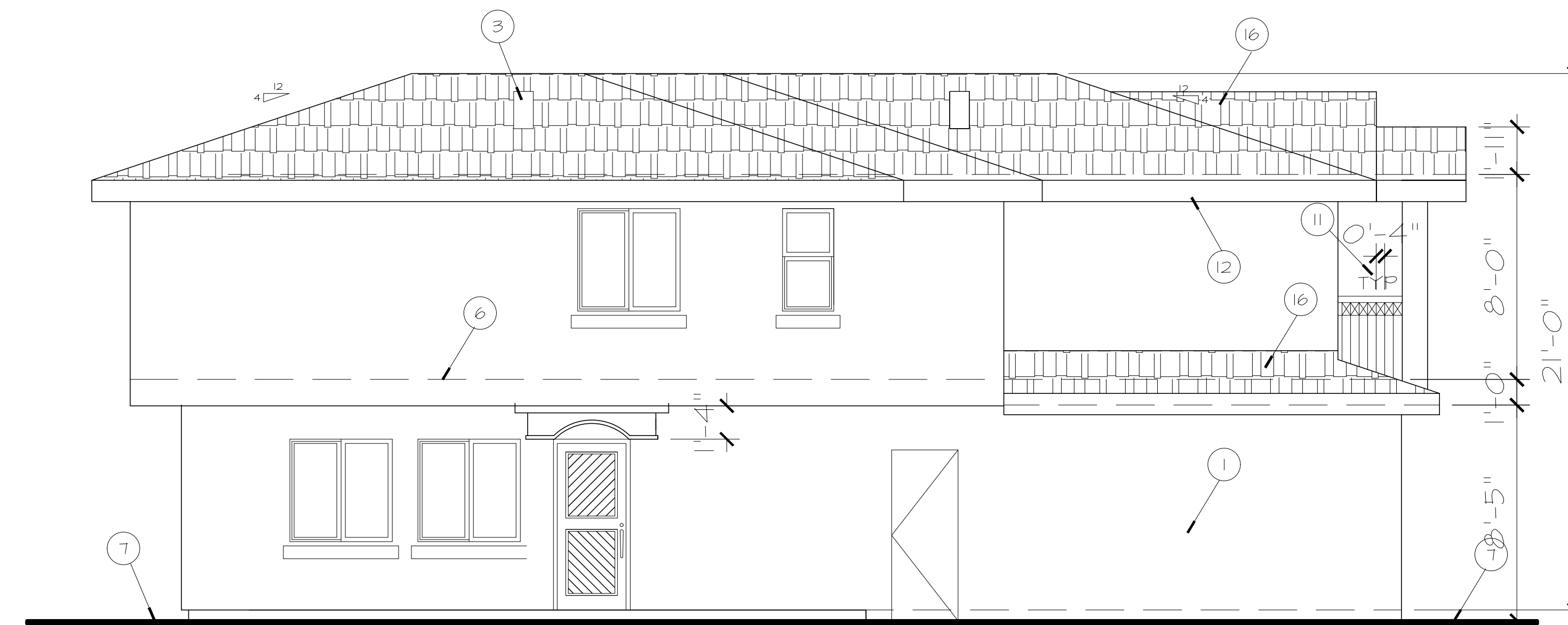
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REAR ELEVATION

SCALE: 1/4"=1'-0"

NOTES:



LEFT ELEVATION

SCALE: 1/4"=1'-0"

Elevations

Scheme 'A'

SCALE: 1/4" = 1'-0"

KEY NOTES

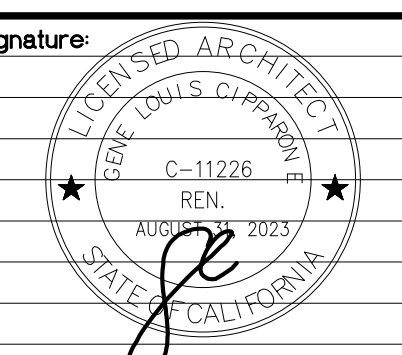
- | | | | |
|--|--|---------------------------------|---------------------|
| ① NEW SMOOTH FINISH STUCCO PLASTER, HAND TROUGH, COLOR BY TALLER DE ARQUITECTURA | ④ SPANISH RIVIERA MIX LITE CONCRETE TILES BY EAGLE, CLASS "A" WITH 2 PLAY UNDERLAYMENT ESR-1759, CRRC ID 0840-0006 COLOR BY TALLER DE ARQUITECTURA | ⑧ MINI SPLIT CONDENSER UNIT | ⑬ FINISH FLOOR |
| ② 1/2" TEMPERED GLASS | ⑤ EFS MOLDINGS, PER MANUFACTURER RECCOM. | ⑨ DEX-O-TEX WATER-PROOFING DECK | ⑭ FINISH GRADE |
| | | ⑩ R-13 INSULATION | ⑮ TRUSSES BY OTHERS |

NOTES:

Issues and Revisions

No.	Date	Issues and Revisions
03/15/21		Preliminary Design
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04/28/22		City Submittal Second Review

Stamp and Signature



Project Name: 8504 Fanita Drive, Santee

Project No: 106R2021

Date: 03/15/2021

Cad File:

Description:

Sheet No.

Fanita Drive Villas

PROJECT: *A new Residential Development*

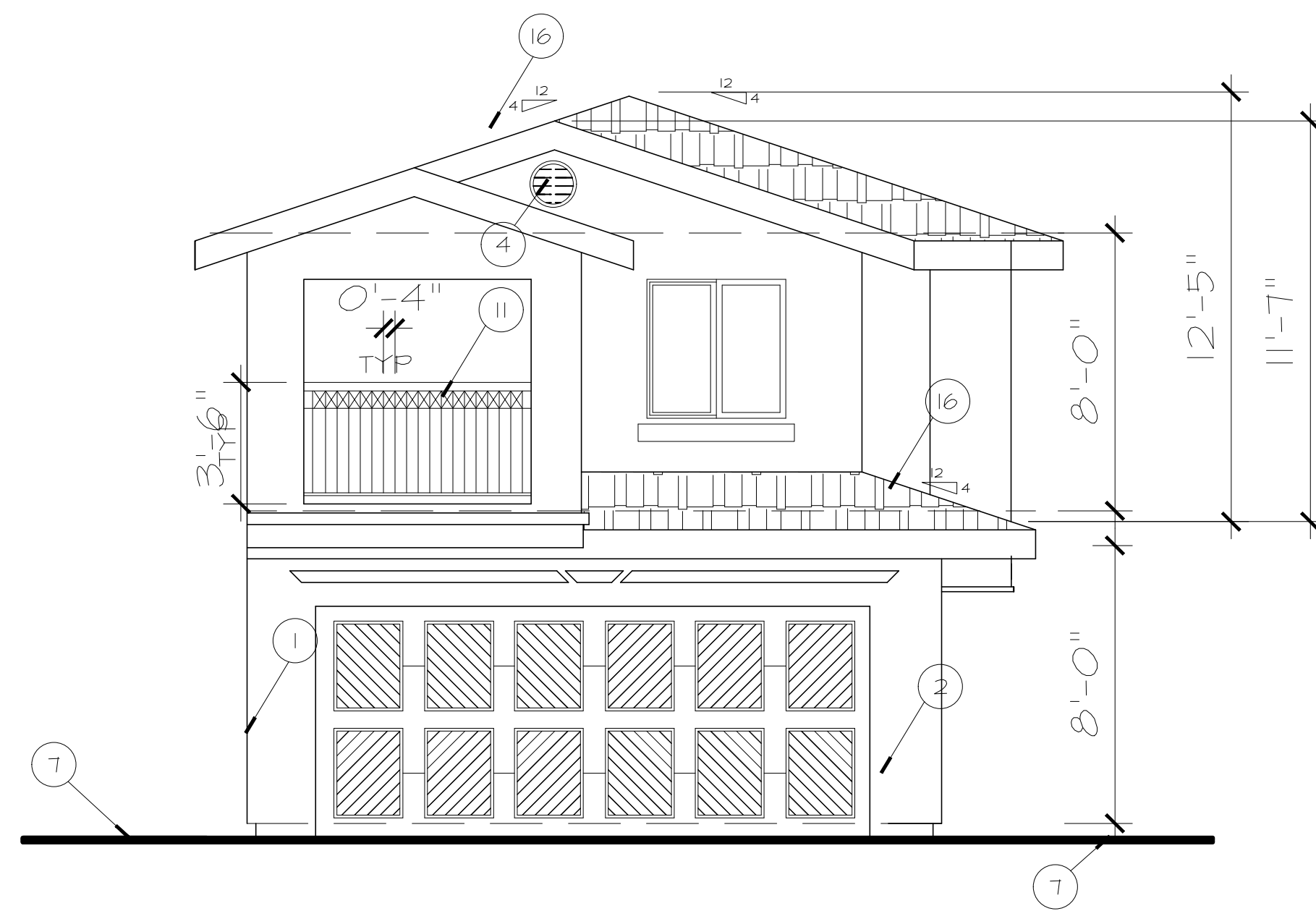
ADDRESS:
8504 Fanita Drive
Santee Ca. 92071

BUILDING DATA:
APN: 386-690-38

Taller de Arquitectura

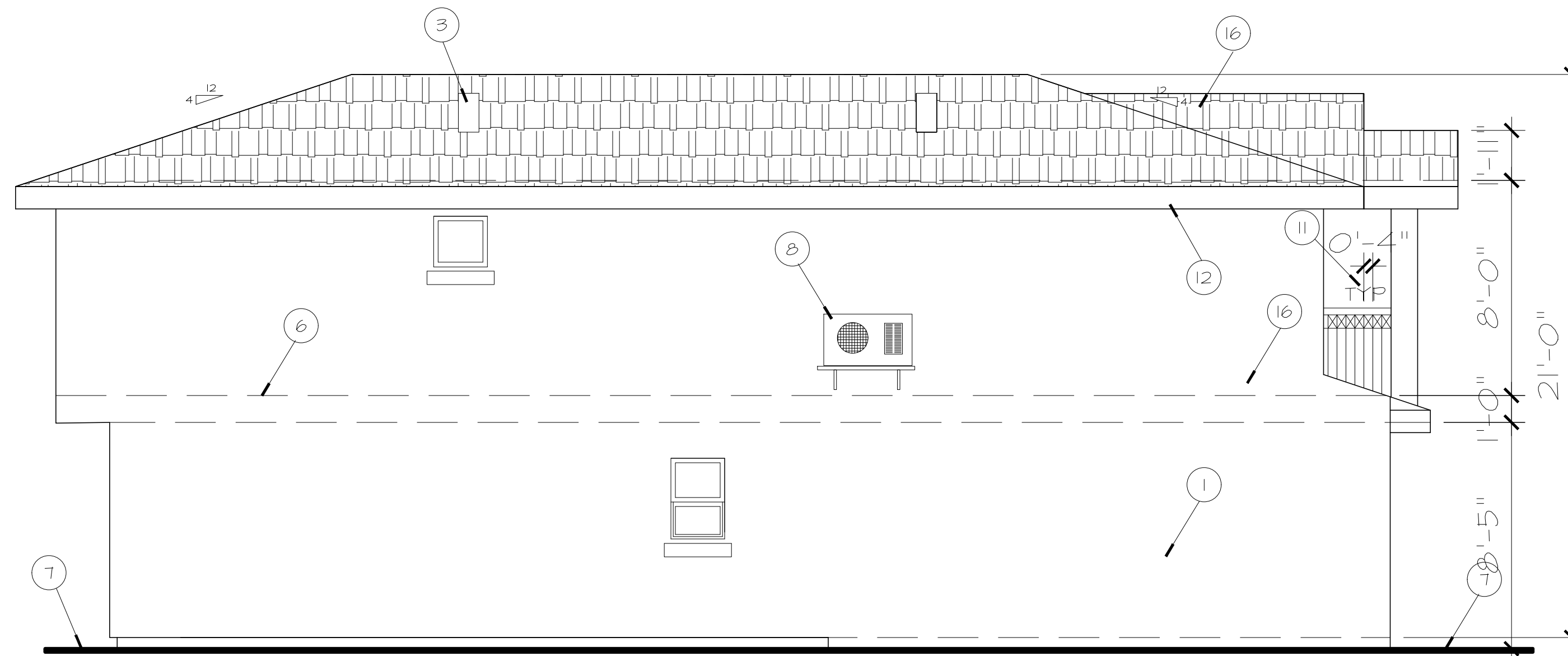
PLANNING AND DESIGN

4665 Ruffner Street, Ste L, San Diego, Ca. 92110, Tel. 619-427-6161
Email Address: joemartinezarchitects.com



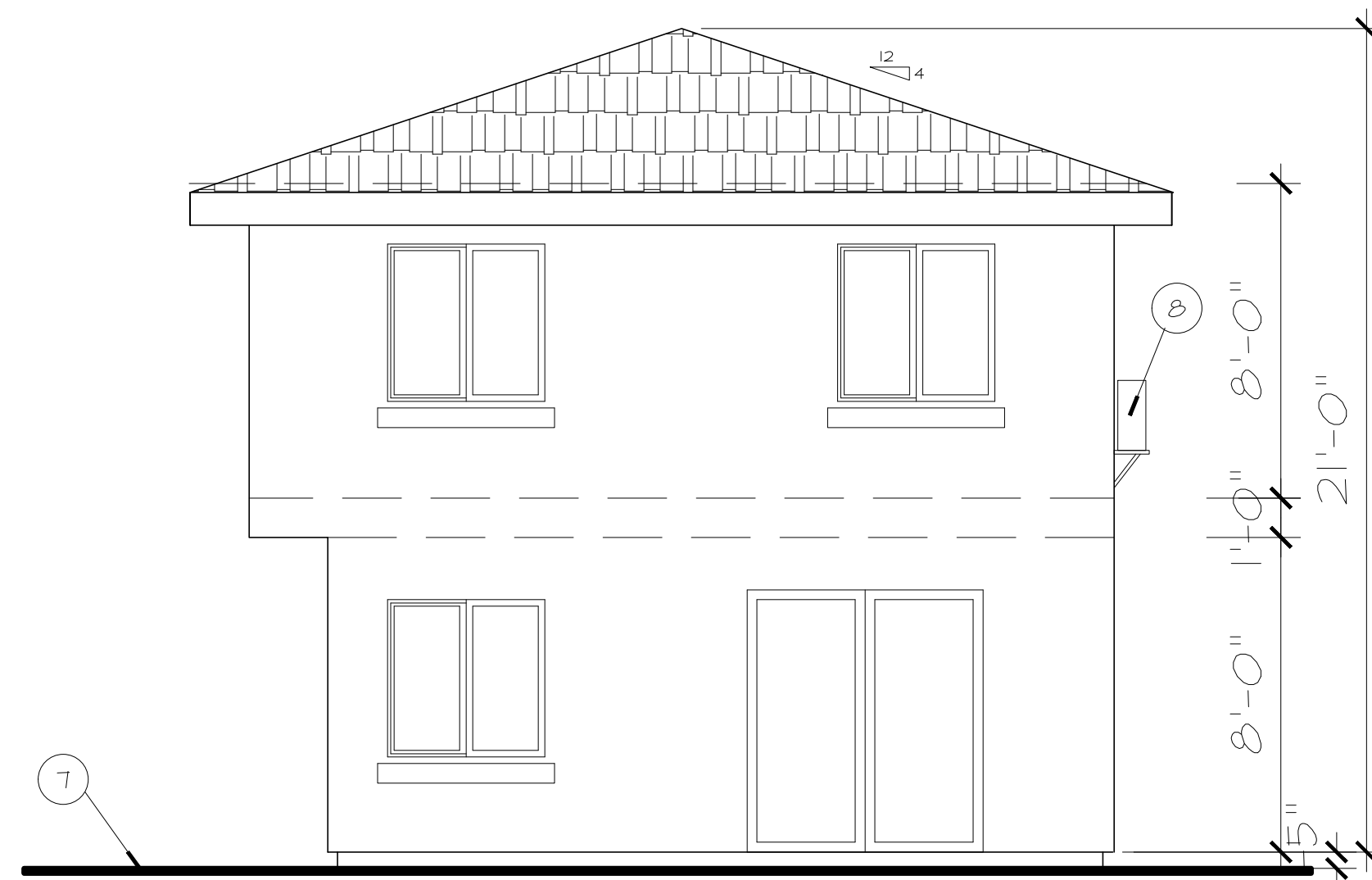
FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

SCALE: 1/4" = 1'-0"

NOTES:

KEY NOTES

- | | | | |
|--|--|---------------------------------|---------------------|
| ① NEW SMOOTH FINISH STUCCO PLASTER, HAND TROWEL, COLOR BY TALLER DE ARQUITECTURA | ④ SPANISH RIVIERA MIX LITE CONCRETE TILES BY EAGLE, CLASS "A" WITH 2 PLAY UNDERLAYMENT ESR-1754, CRRC ID 0840-0006 COLOR BY TALLER DE ARQUITECTURA | ⑧ MINI SPLIT CONDENSER UNIT | ⑬ FINISH FLOOR |
| ② 1/2" TEMPERED GLASS | ⑤ EFS MOLDINGS, PER MANUFACTURER RECCOM. | ⑨ DEX-O-TEX WATER-PROOFING DECK | ⑭ FINISH GRADE |
| | | ⑩ R-13 INSULATION | ⑮ TRUSSES BY OTHERS |

NOTES:

Elevations

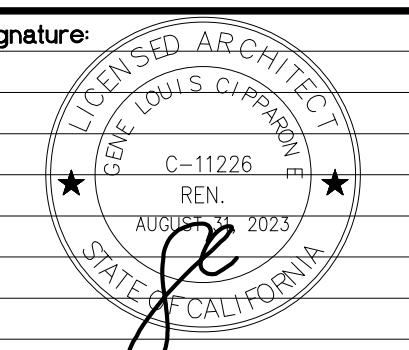
Scheme "B"

SCALE: 1/4" = 1'-0"

Issues and Revisions

No.	Date	Issues and Revisions
03/15/21		Preliminary Design
12/18/21		City Submittal
04/06/22		House Pad Corrections
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Stamp and Signature:



Project Name: 8504 Fanita Drive, Santee

Project No: 106R2021

Date: 03/15/2021

Cad File:

Description:

Sheet No.

Fanita Drive Villas

PROJECT: *A new Residential Development*

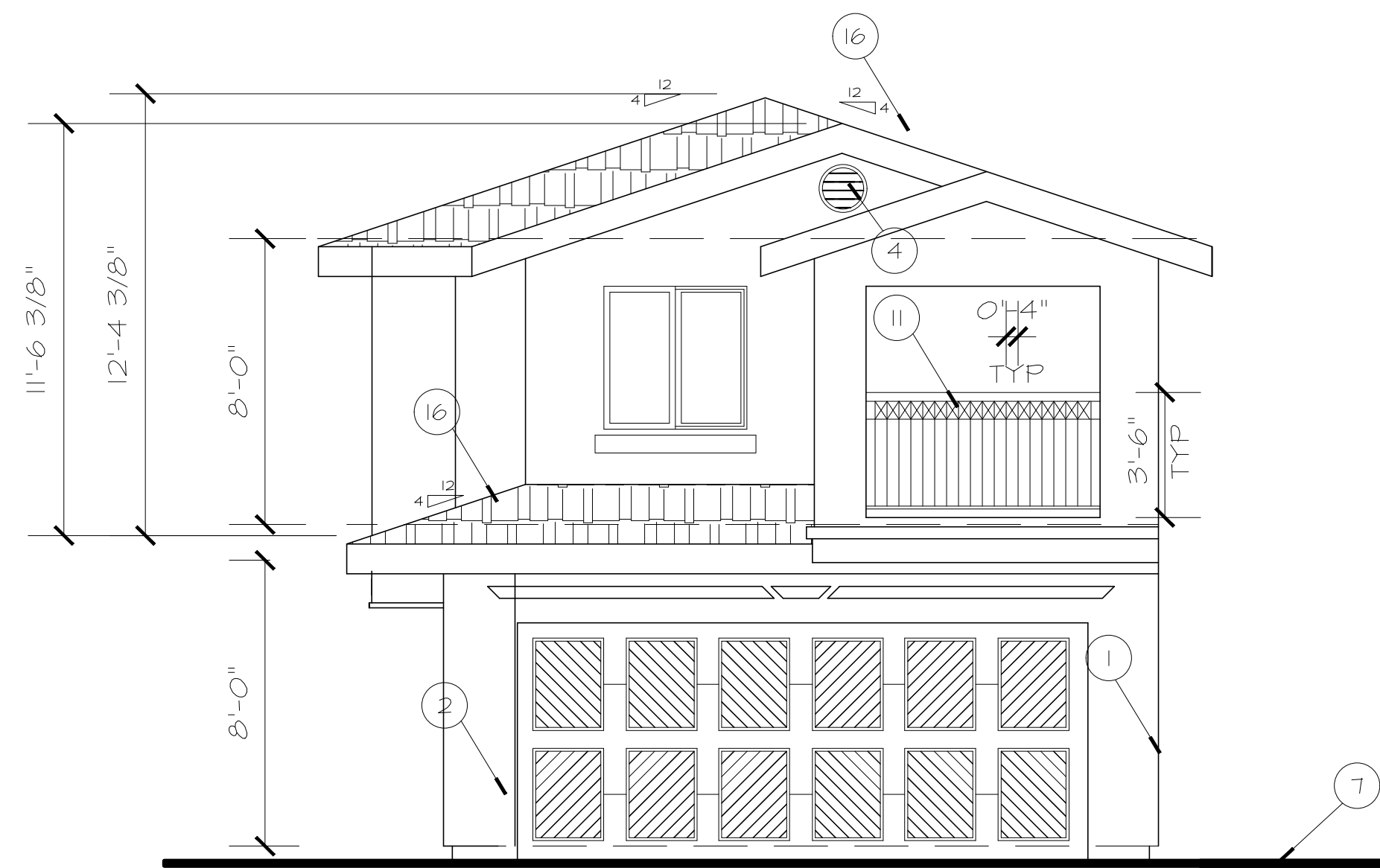
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BUILDING DATA:
APN: 386-690-38

Taller de Arquitectura

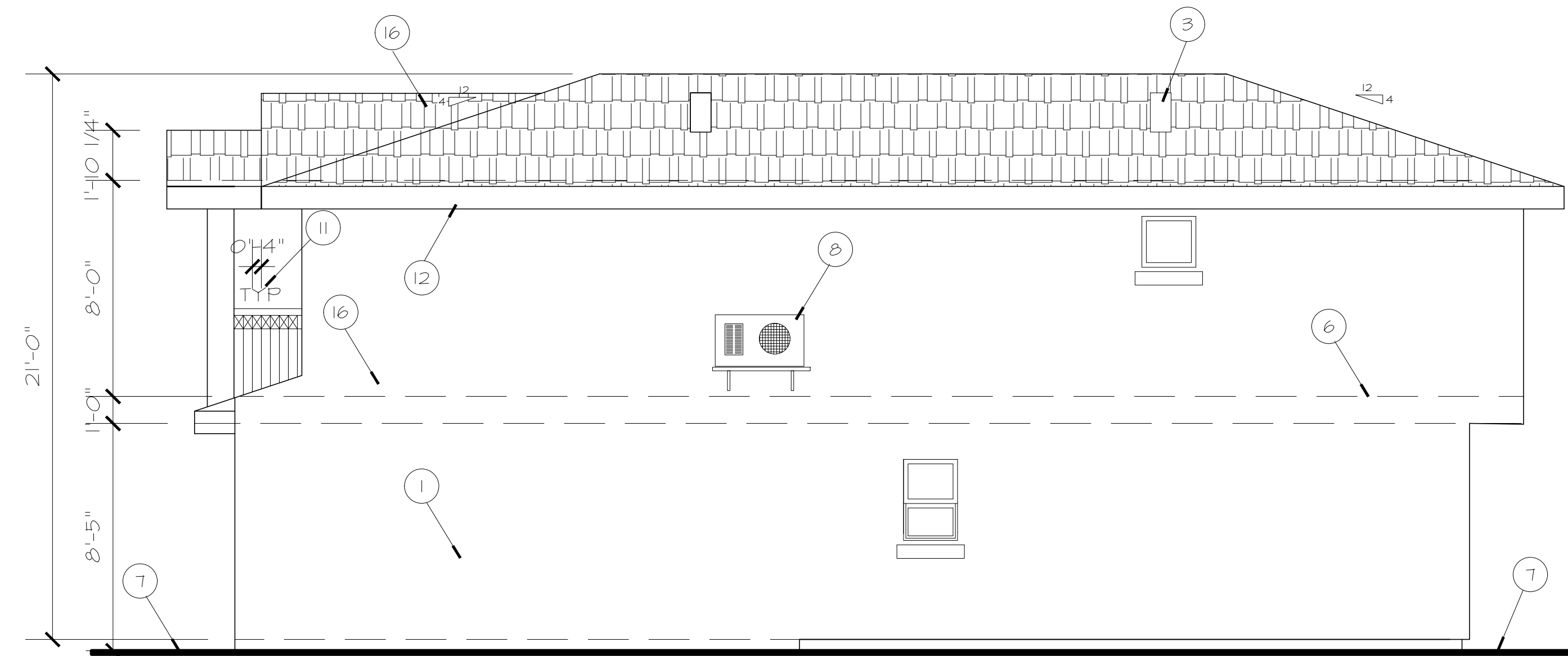
PLANNING AND DESIGN

4655 Ruffner Street, Ste L, San Diego, Ca. 92116, Tel. 619-427-6161
Email Address: joemartinezarchitects.com



FRONT ELEVATION

SCALE: 1/4"=1'-0"



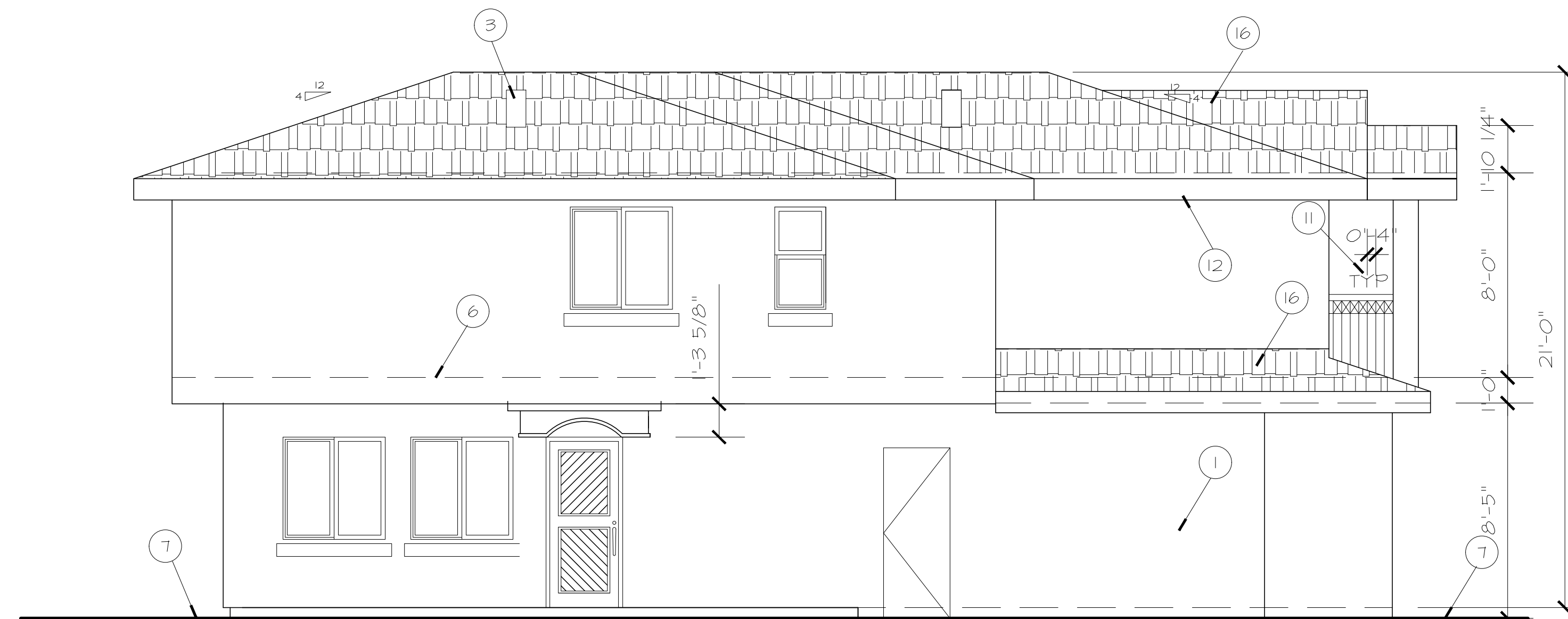
RIGHT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

NOTES:

1. IN ROOF COVERINGS WHERE THE PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACE AT THE EAVE ENDS SHALL BE FIRE STOPPED TO PRECLUDE ENTRY OF FLAMES OR EMBERS.
2. PAPER FACED INSULATION IS NOT PERMITTED IN ATTICS OR OTHER VENTILATED SPACES.
3. EXTERIOR DOORS SHALL BE APPROVED IGNITION RESISTANT CONSTRUCTION, SOLID-CORE WOOD NOT LESS THAN 1 3/4" THICK, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
4. THE FIRST FIVE FEET OF FENCES AND OTHER ITEMS ATTACHED TO A STRUCTURE SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL OR MEET THE SAME FIRE-RESISTIVE STANDARDS AS THE EXTERIOR WALLS OF THE STRUCTURE.
5. ALL VENTS MUST BE LOUVERED AND COVERED WITH 1/4" NONCOMBUSTIBLE, CORROSION-RESISTANT METAL MESH, TURBINE VENTS SHALL TURN IN ONE DIRECTION ONLY.

6. ALL PROJECTIONS SHALL BE OF NON-COMBUSTIBLE CONSTRUCTION, FIRE RETARDANT TRATED WOOD, HEAVY TIMBER CONSTRUCTION.
7. ATTIC VENTILATION SHALL NOT BE PERMITTED IN SOFFITS, RAKES, OR EAVE OVERHANGS.
8. GUTTERS AND DOWN SPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL, AND DESIGNED TO REDUCE ACCUMULATION OF LEAF LETTERM AND DEBRIS.
9. COMBUSTIBLE EAVES, SOFFITS AND FASCIAS SHALL BE CONSTRUCTED AS REQUIRED IN GUIDANCE DOCUMENT DPLU# 19B.
10. ATTIC VENTILATION SHALL NOT BE PERMITTED IN SOFFITS, RAKES, OR EAVE OVERHANGS.
11. ROOFING SHALL HAVE A MINIMUM CLASS 'A' FIRE RATING
12. SURFACE WATER WILL DRAIN AWAY FROM BUILDING.

- | | | | |
|---|---|----|--|
| 1 | STUCCO PLASTER, COLOR AND TEXTURED BY ARCHITECT | 9 | LOUVER VENT WITH BIRD TRAP |
| 2 | DOOR GARAGE BY OWNER | 10 | NOT USED |
| 3 | 0' HIGGINS ROOF VENTS | 11 | PORCH |
| 4 | LOUVER VENTS | 12 | TI-11 ON CEILING |
| 5 | CRICKET | 13 | R-13 INSULATION |
| 6 | FINISH FLOOR | 14 | R-30 INSULATION |
| 7 | FINISH GRADE | 15 | R-19 INSULATION |
| 8 | FASCIA BOARD | 16 | ASPHALT SHINGLES TO 30 LBS., FOR UNDERLAYMENT, TO BE CLASS "A", BY OWENS CORNING, GRRC ID 0890-0006 ESR-1372 |

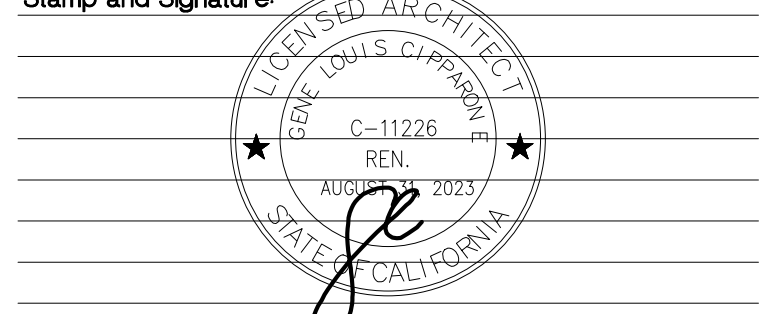
Lot 6 BUILDING C ELEVATIONS

SCALE: 1/4"=1'-0"

Issues and Revisions

No.	Date	Issues and Revisions
03/15/21		Preliminary Design
12/18/21		City Submittal
040622		House Pad Corrections
04/28/22		City Submittal Second Review

Stamp and Signature:



Project Name: 8504 Fanita Drive, Santee
Project No: 106R2021
Date: 03/15/2021
Cad File:
Description:

Sheet No.

Fanita Drive Villas

PROJECT: *A new Residential Development*

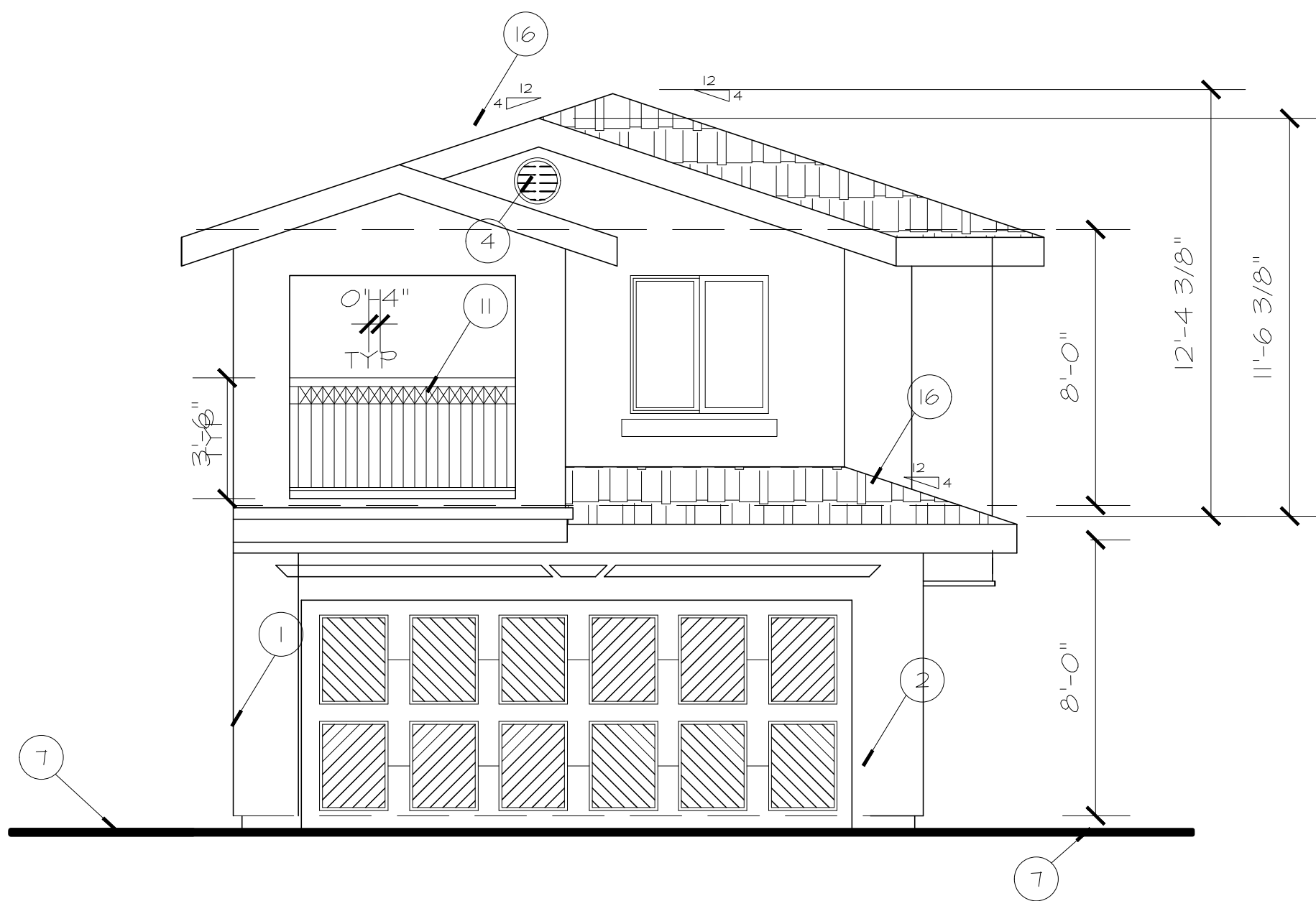
ADDRESS:
8504 Fanita Drive
Santee Ca. 92071

BUILDING DATA:
APN: 386-690-38

Taller de Arquitectura

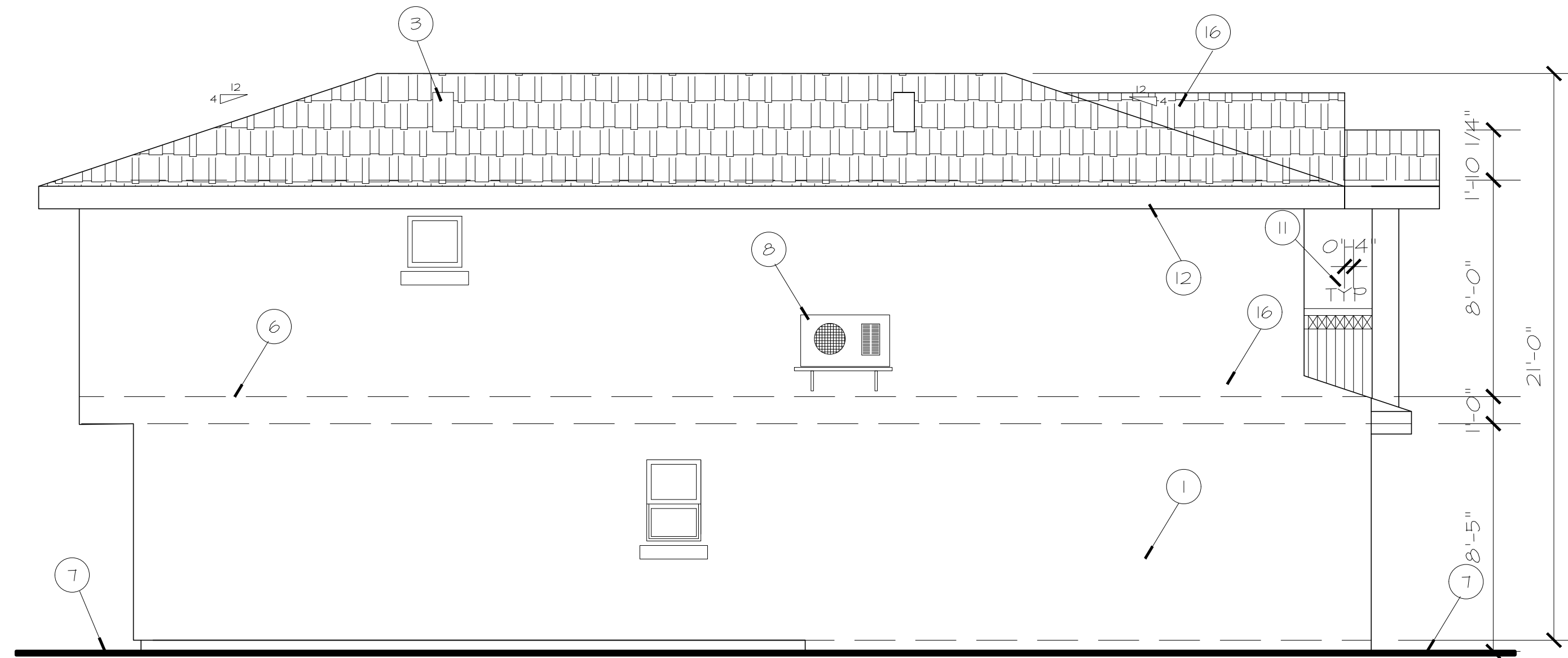
PLANNING AND DESIGN

4655 Ruffner Street, Ste L, San Diego, Ca. 92116, Tel. 619-427-6161
Email Address: joemartinezarchitects.com



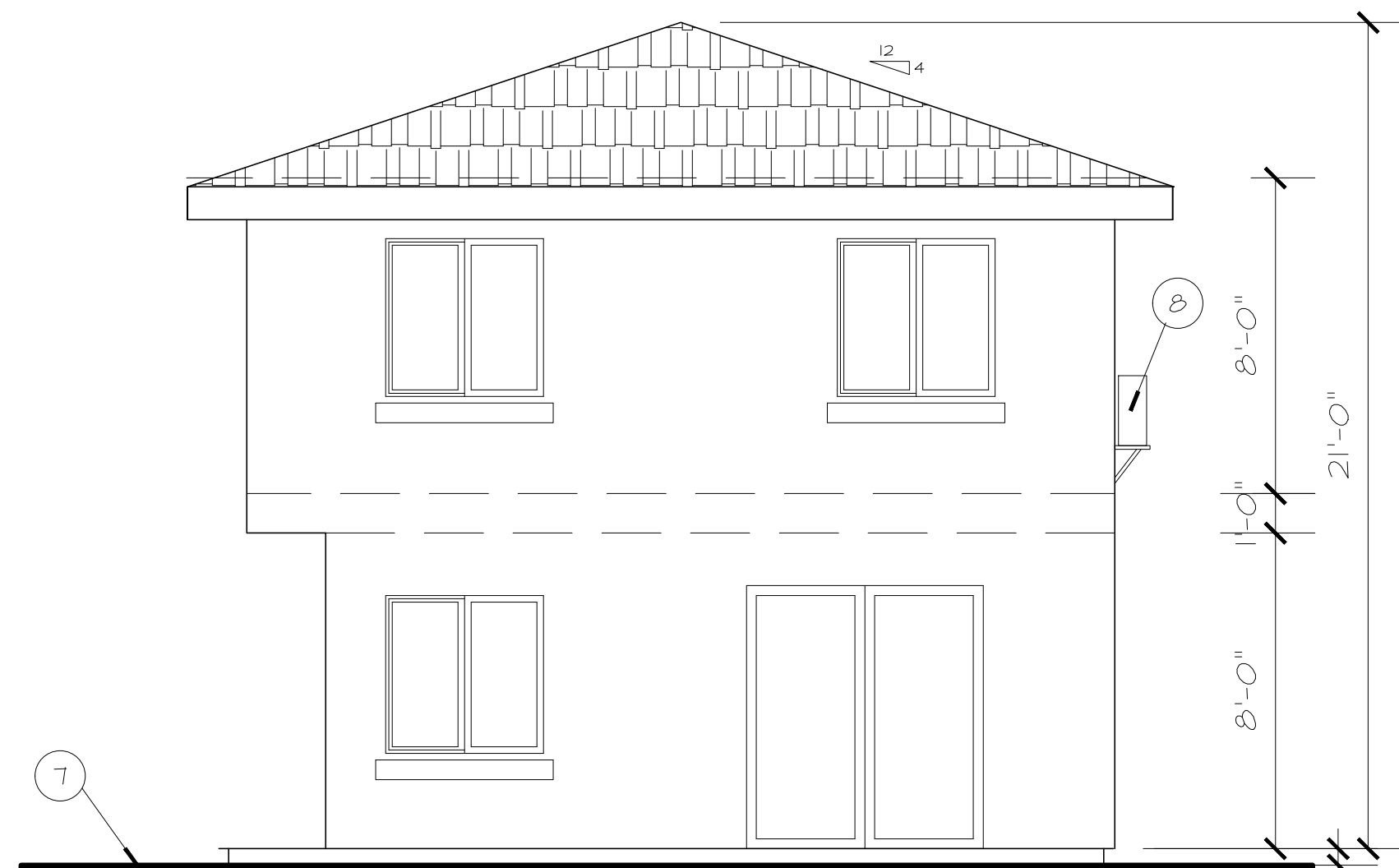
FRONT ELEVATION

SCALE: 1/4"=1'-0"



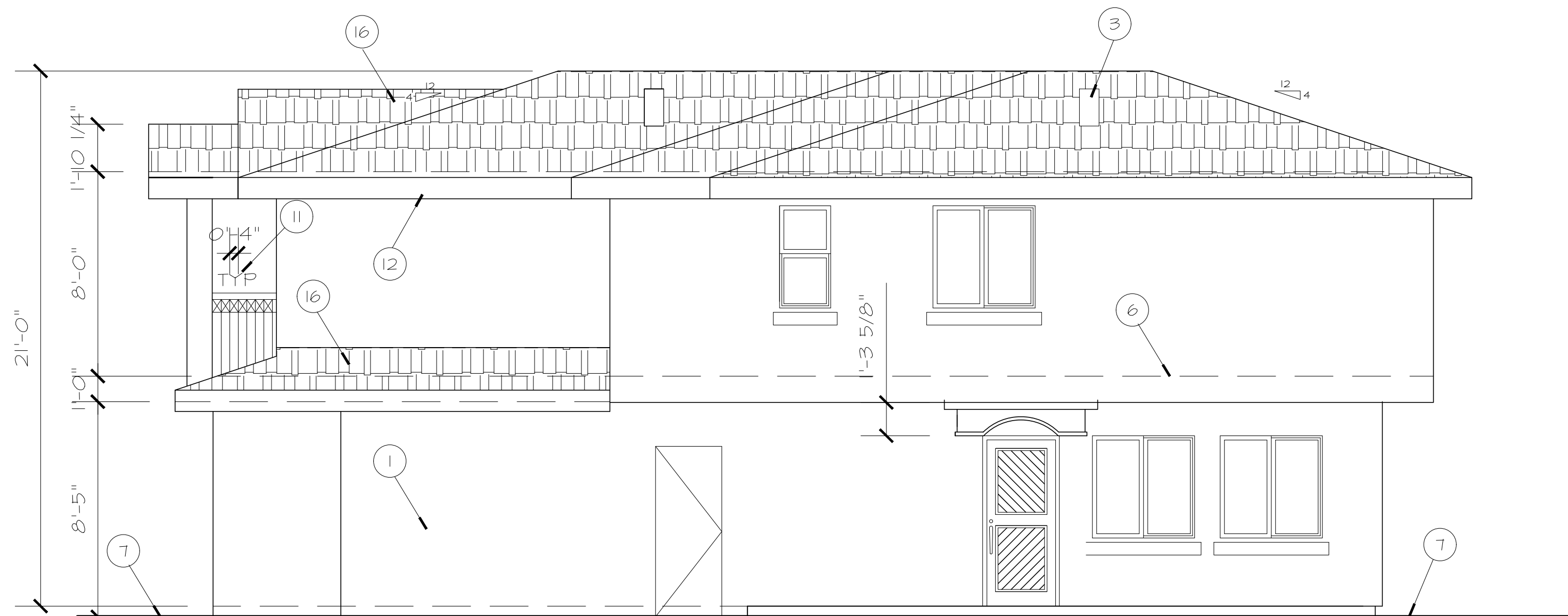
RIGHT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

NOTES:

1. IN ROOF COVERINGS WHERE THE PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACE AT THE EAVE ENDS SHALL BE FIRE STOPPED TO PRECLUDE ENTRY OF FLAMES OR EMBERS.
2. PAPER FACED INSULATION IS NOT PERMITTED IN ATTICS OR OTHER VENTILATED SPACES.
3. EXTERIOR DOORS SHALL BE APPROVED IGNITION RESISTANT CONSTRUCTION, SOLID-CORE WOOD NOT LESS THAN 1 3/4" THICK, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
4. THE FIRST FIVE FEET OF FENCES AND OTHER ITEMS ATTACHED TO A STRUCTURE SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL OR MEET THE SAME FIRE-RESISTIVE STANDARDS AS THE EXTERIOR WALLS OF THE STRUCTURE.
5. ALL VENTS MUST BE LOUVERED AND COVERED WITH 1/4" NONCOMBUSTIBLE, CORROSION-RESISTANT METAL MESH, TURBINE VENTS SHALL TURN IN ONE DIRECTION ONLY.

6. ALL PROJECTIONS SHALL BE OF NON-COMBUSTIBLE CONSTRUCTION, FIRE RETARDANT TRATED WOOD, HEAVY TIMBER CONSTRUCTION.
7. ATTIC VENTILATION SHALL NOT BE PERMITTED IN SOFFITS, RAKES, OR EAVE OVERHANGS.
8. GUTTERS AND DOWN SPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL, AND DESIGNED TO REDUCE ACCUMULATION OF LEAF LETTERM AND DEBRIS.
9. COMBUSTIBLE EAVES, SOFFITS AND FASCIAS SHALL BE CONSTRUCTED AS REQUIRED IN GUIDANCE DOCUMENT DPLU# 19B.
10. ATTIC VENTILATION SHALL NOT BE PERMITTED IN SOFFITS, RAKES, OR EAVE OVERHANGS.
11. ROOFING SHALL HAVE A MINIMUM CLASS 'A' FIRE RATING
12. SURFACE WATER WILL DRAIN AWAY FROM BUILDING.

- 1 STUCCO PLASTER, COLOR AND TEXTURED BY ARCHITECT
- 2 DOOR GARAGE BY OWNER
- 3 0" HIGGINS ROOF VENTS
- 4 LOUVER VENTS
- 5 MOLDING
- 6 FINISH FLOOR
- 7 FINISH GRADE
- 8 FASCIA BOARD

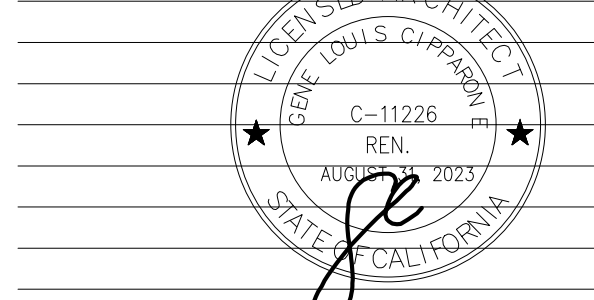
- 9 LOUVER VENT WITH BIRD TRAP
- 10 NOT USED
- 11 PORCH
- 12 TI-11 ON CEILING
- 13 R-13 INSULATION
- 14 R-30 INSULATION
- 15 R-19 INSULATION
- 16 ASPHALT SHINGLES TO 30 LBS. FOR UNDERLAYMENT, TO BE CLASS "A", BY OWENS CORNING, GRRC ID 0890-0006 ESR-1372

Lot 1 BUILDING C ELEVATIONS

SCALE: 1/4"=1'-0"

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