

DE LA RIVA DESIGN & BUILD LLC.
LIC # B-1077043
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619-554-6422

2305 SWEETWATER RD
SPRING VALLEY CA 91977
CELL 619.554.6422

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SANTEE CA 92071

Drawn By GERARDO
Date 02.16.24
Recheck #1 07.25.24
Recheck #2
Recheck #3
APN: 378-461-18-00
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BMP LEGEND

PDS 659	BROW DITCH	⇒⇒⇒
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DIRECTION OF LOT DRAINAGE ⇒⇒⇒		
MATERIALS & WASTE MANAGEMENT BMPs:		
WM-1	MATERIAL DELIVERY & STORAGE	
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SS-2	PRESERVATION OF EXISTING VEGETATION	PEV~PEV~
SS-3	BONDED OR STABILIZED FIBER MATRIX (WINTER)	~M~M~
SS-4	HYDROSEEDING (SUMMER)	TSP~TSP~
SS-6	SS-8 STRAW OR WOOD MULCH	~S/W~S/W~
SS-7	PHYSICAL STABILIZATION (WINTER)	~EBM~EBM~
SS-10	ENERGY DISSIPATOR	
SC-1	SILT FENCE	■
SC-2	PDS 659 SEDIMENT / DESILTING BASIN	
SC-5	FIBER ROLLS	FR~FR~
SC-6	SC-8 GRAVEL OR SAND BAGS	○○○○
SC-7	STREET SWEEPING AND VACUUMING	
SC-10	STORM DRAIN INLET PROTECTION	
NS-2	DEWATERING FILTRATION	○~○~
TC-1	STABILIZED CONSTRUCTION ENTRANCE	▨
TC-2	CONSTRUCTION ROAD STABILIZATION	▨
TC-3	ENTRANCE / EXIT TIRE WASH	▨
BASELINE BMPs FOR EXISTING AND PROPOSED SITE FEATURES		
SD-B	DIRECT RUNOFF TO PERVIOUS AREAS	
SD-C	INSTALL GREEN ROOF	
SD-E	INSTALL RAIN BARRELS	
SD-G	CONSERVE NATURAL FEATURES	
SD-H	PROVIDE BUFFERS AROUND WATER BODIES	
SD-I	CONSTRUCT SURFACES FROM PERMEABLE MATERIALS	
SD-K	SUSTAINABLE LANDSCAPING	

Storm Water Notes

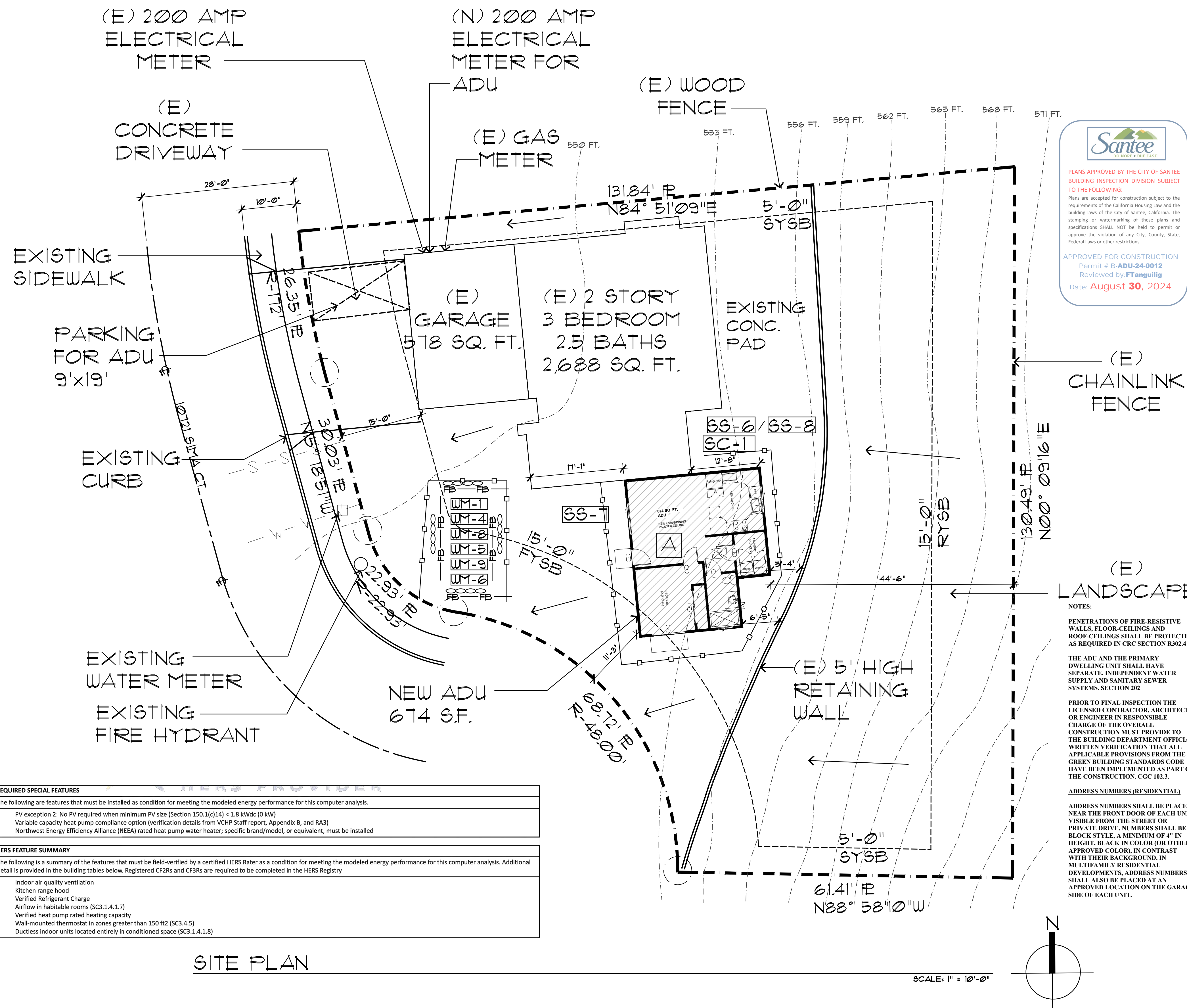
- This project shall comply with all requirements of the City of Santee and State of California Water Quality Control Board, San Diego Region.
- The contractor shall implement best management practices (BMPs) during all phases of construction.
 - Sufficient BMPs must be installed to prevent silt, mud, or other construction debris from being tracked into the adjacent street(s) or storm water conveyance systems due to construction vehicles or any other construction activity. The contractor shall be responsible for cleaning any such debris that may be in the street or conveyance system at the end of each work day or after a storm event that causes a breach in the installed construction BMPs.
 - Storm water pollution prevention devices and/or practices shall be modified as needed as the project progresses to ensure effectiveness. If at any time, BMPs are found to be intentionally disabled, run-over, removed, or otherwise ineffective, they shall be modified and replaced immediately.
 - Trash and construction solid wastes shall be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind. The storage of all construction materials and construction wastes must be protected against the potential release of pollutants into the environment.
 - A concrete washout shall be provided on all projects which propose the construction of any concrete improvements that are to be poured in place on the site.
 - All BMPs shall be maintained in working order at all times. All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
 - If trenching/digging activities are not completed within one day, proper BMPs will be implemented.
 - If debris or materials will be stored for longer than one day, proper BMPs will be implemented.

DESIGN BASIS

CONVENTIONAL LIGHT FRAME CONSTRUCTION

ROOF LIVE LOAD: 20 PSF
ULTIMATE WIND SPEED: 110 MPH
EXPOSURE CATEGORY: C

SITE CLASS: D
RISK CATEGORY: II
S_w: 1.25
SEISMIC DESIGN CATEGORY: D_s
ALLOW SOIL VERTICAL BEARING PRESSURE: 1500 PSF
ALLOW SOIL LATERAL BEARING PRESSURE: 100 PSF/FT

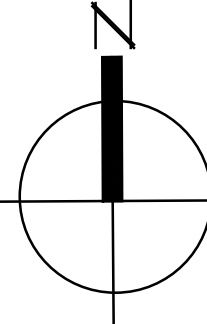


REQUIRED SPECIAL FEATURES
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
• PV exception 2: No PV required when minimum PV size (Section 150.1(c)(14) < 1.8 kWdc (0 kW)
• Variable capacity heat pump compliance option (verification details from VCHP Staff report, Appendix B, and RA3)
• Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed

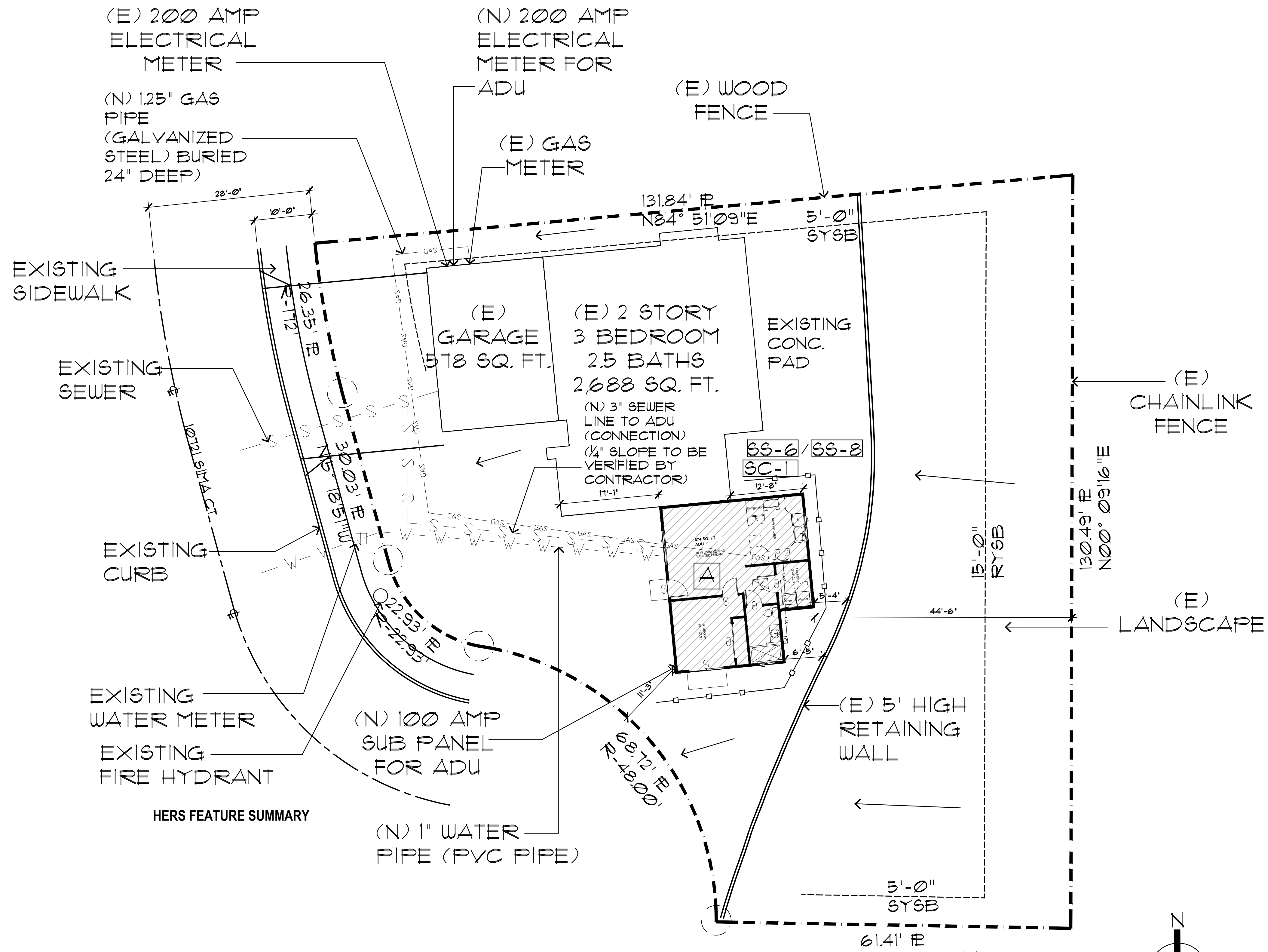
HERS FEATURE SUMMARY
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry
• Indoor air quality ventilation
• Kitchen range hood
• Verified Refrigerant Charge
• Airflow in habitable rooms (SC3.1.4.1.7)
• Verified heat pump rated heating capacity
• Wall-mounted thermostat in zones greater than 150 ft ² (SC3.4.5)
• Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8)

SITE PLAN

SCALE: 1" = 10'-0"

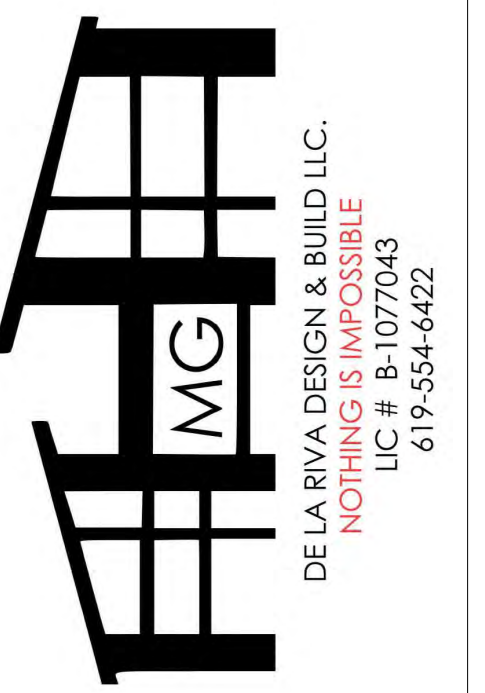
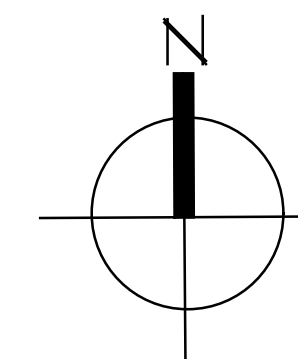


VICINITY MAP	GENERAL CODES	CONTACT INFORMATION	OWNER INFORMATION	PROJECT SCOPE	ZONING INFO	IMPERVIOUS AREA INFORMATION																									
	<p>THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND ASSOCIATED CITY OF SANTEE AMENDMENTS:</p> <ul style="list-style-type: none"> 2022 EDITION OF THE CALIFORNIA BUILDING CODE 2022 EDITION OF THE CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 EDITION OF THE CALIFORNIA PLUMBING CODE 2022 EDITION OF THE CALIFORNIA ELECTRICAL CODE 2022 EDITION OF THE CALIFORNIA FIRE CODE 2022 EDITION OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 EDITION OF THE CALIFORNIA ENERGY CODE 2022 EDITION OF THE CALIFORNIA EXISTING BUILDING CODE 2009 EDITION OF THE URBAN-WILDLAND INTERFACE CODE 1991 EDITION OF THE UNIFORM HOUSING CODE 1991 EDITION OF THE UNIFORM CODE FOR ABATEMENT OF DANGEROUS BUILDINGS <p>THIS PROJECT WILL BE IN COMPLIANCE WITH THE CURRENT EDITIONS OF NFPA, CGC TITLE 19 AND LOCAL CITY MUNICIPAL CODES.</p>	<p>NAME: Gerardo De La Riva</p> <p>ADDRESS: 2305 SWEETWATER RD SPRING VALLEY CA, 91977</p> <p>PHONE: 619-554.6422</p> <p>EMAIL: delariva_design@yahoo.com</p>	<p>NAME: PAT COOK ADDRESS: 10721 SIMA CT SANTEE, CA 92071</p> <p>PHONE: -</p> <p>PARCEL INFORMATION APN: 378-461-18-00 SITE ADDRESS: 10721 SIMA CT SANTEE CA 92071 PROPERTY CONNECTED TO THE ELECTRICAL GRID (Y) PROPERTY SERVICED BY NATURAL GAS (Y) ENTIRE LOT IS FUEL MODIFIED (Y) IF SO, DIMENSION 100' FUEL MODIFICATION ZONE</p> <p>BUILDING CODE DATA LEGEND OCCUPANCY CLASSIFICATIONS R-3/U SINGLE FAMILY DWELLING TYPE OF CONSTRUCTION V-B WOOD FRAMED CONSTRUCTION FIRE SPRINKLERS (NO) NUMBER OF STORIES 1 HEIGHT 14'-4" FLOOR AREA 674 S.F.</p>	<p>A. PROPOSED 1 STORY 674 SF ADU NEW 100 AMP SUBPANEL FOR ADU</p> <p>NO LANDSCAPING TO BE MORE THAN 500 SQ. FT. PROPERTY IS ON SEWER</p> <p>EXISTING HOME HAS FIRE SPRINKLERS.</p> <p>ANY ADDITIONS/ALTERATIONS OR PROPOSED ADU'S WILL BE PROVIDED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM. SECTION R313.2.</p>	<p>ZONE R-2</p> <p>LOT COVERAGE 40% LOT SIZE 12,812 S.F. = 5,124.8 S.F. ALLOWED 2,787 S.F. PROVIDED</p> <p>SETBACKS HOME 15'-0" FYSB 5'-0" SYSB 15'-0" RYSB</p> <p>SETBACKS ADU 4'-0" SYSB 4'-0" RYSB</p> <p>HOME BUILT 2000</p>	<p>IMPERVIOUS SURFACE AREA TABLE</p> <table border="1"> <thead> <tr> <th>SITE ID</th> <th>IMPERVIOUS ITEM</th> <th>DIMENSIONS</th> <th>NEW OR REPLACED AREA (sf)</th> <th>EXISTING AREA (sf)</th> </tr> </thead> <tbody> <tr><td>1</td><td>ADU</td><td></td><td>674 S.F.</td><td></td></tr> <tr><td>2</td><td>EXISTING HOME</td><td></td><td></td><td>2688 S.F.</td></tr> <tr><td>3</td><td>DRIVEWAY</td><td></td><td></td><td>400 SF</td></tr> <tr><td>4</td><td>EXISTING GARAGE</td><td></td><td></td><td>578 SF</td></tr> </tbody> </table> <p>LAND DISTURBANCE: 674 SF</p>	SITE ID	IMPERVIOUS ITEM	DIMENSIONS	NEW OR REPLACED AREA (sf)	EXISTING AREA (sf)	1	ADU		674 S.F.		2	EXISTING HOME			2688 S.F.	3	DRIVEWAY			400 SF	4	EXISTING GARAGE			578 SF
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UTILITIES PLAN

SCALE: 1" = 10'-0"



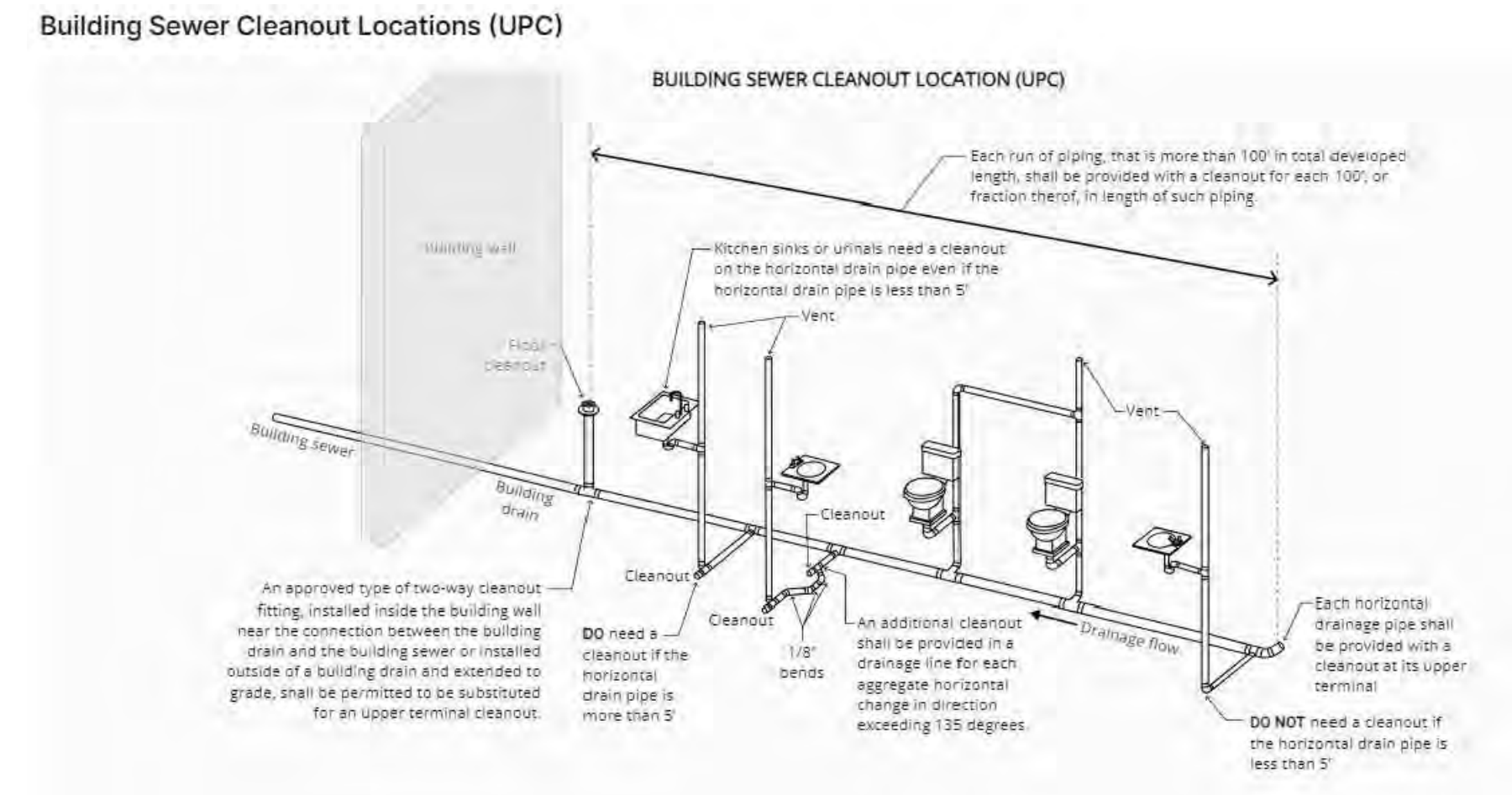
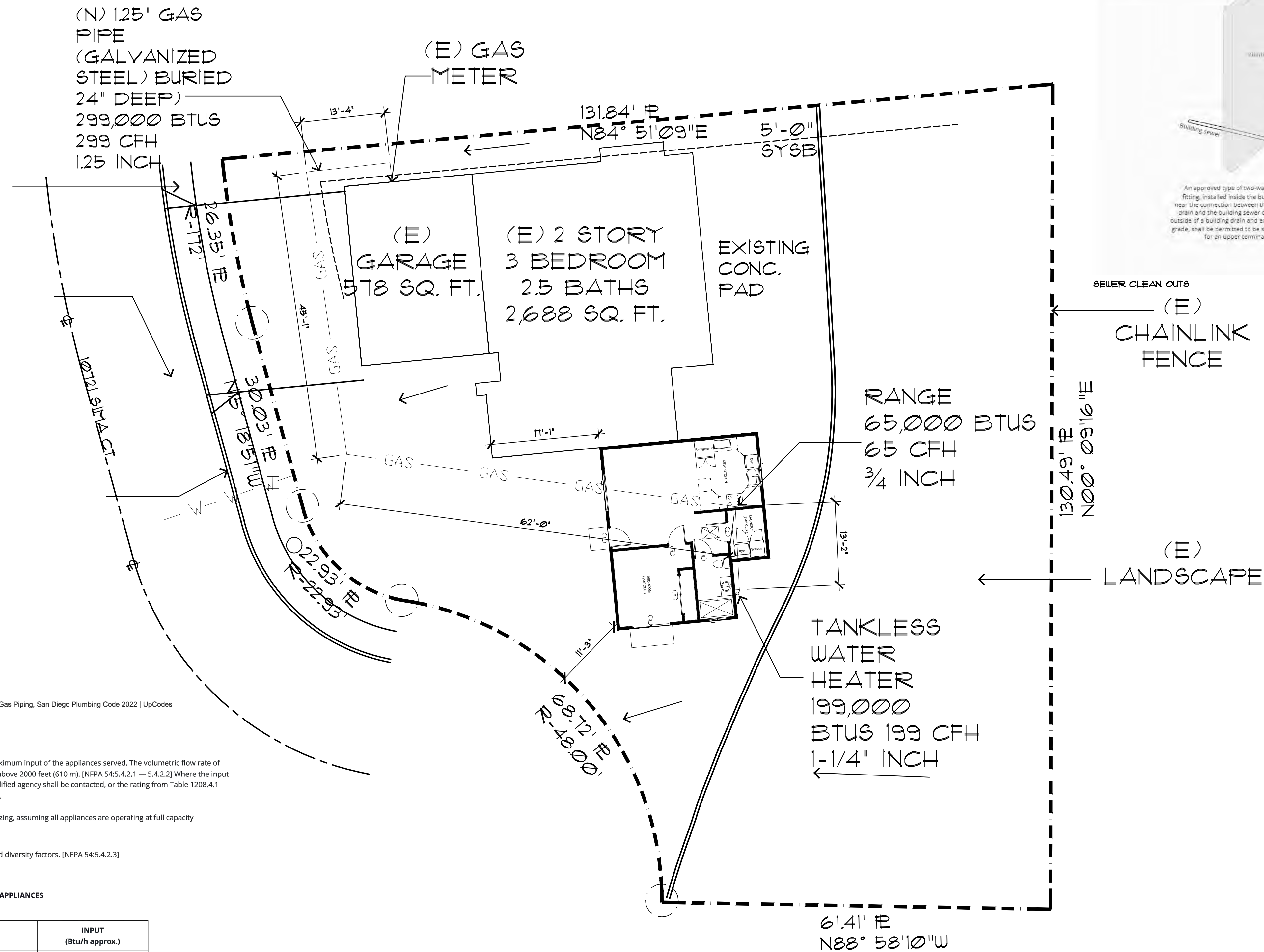
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4/24/24, 1:29 AM Chapter 12 Fuel Gas Piping: Fuel Gas Piping, San Diego Plumbing Code 2022 | UpCodes

San Diego Plumbing Code 2022

1208.4.1 Maximum Gas Demand

The volumetric flow rate of gas to be provided shall be the sum of the maximum input of the appliances served. The volumetric flow rate of gas to be provided shall be adjusted for altitude where the installation is above 2000 feet (610 m). (NFPA 54:5.4.2.1 – 5.4.2.2) Where the input rating is not indicated, the gas supplier, appliance manufacturer, or a qualified agency shall be contacted, or the rating from Table 1208.4.1 shall be used for estimating the volumetric flow rate of gas to be supplied.

The total connected hourly load shall be used as the basis for piping sizing, assuming all appliances are operating at full capacity simultaneously.

Exception: Sizing shall be permitted to be based upon established load diversity factors. (NFPA 54:5.4.2.3)

TABLE 1208.4.1 APPROXIMATE GAS INPUT FOR TYPICAL APPLIANCES [NFPA 54:TABLE A.5.4.2.1]

APPLIANCE	INPUT (Btu/h approx.)
Space Heating Units	
Warm air furnace	
Single family	100 000
Multifamily, per unit	60 000
Hydronic boiler	
Single family	100 000
Multifamily, per unit	60 000
Space and Water Heating Units	
Hydronic boiler	
Single-family	120 000
Multifamily, per unit	75 000
Water Heating Appliances	
Water heater, automatic storage	
30 to 40 gallon tank	35 000
50 gallon tank	50 000
Water heater, automatic instantaneous	
Capacity at 2 gallons per minute	142 800
Capacity at 4 gallons per minute	285 000
Capacity at 6 gallons per minute	428 400
Water heater, domestic, circulating or side-arm	35 000

https://up.codes/viewer-export/san-diego/ca-plumbing-code-2022/chapter/12/fuel-gas-piping?query=TABLE 1208.4.1#1208.4.1 1/2

GAS/PLUMBING PLAN

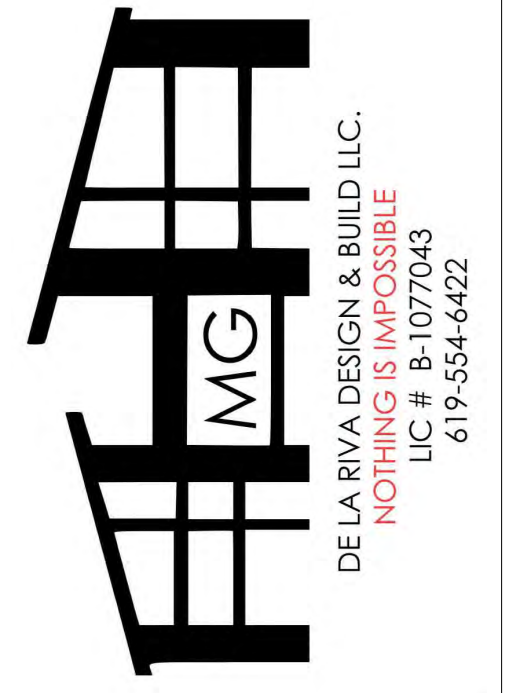
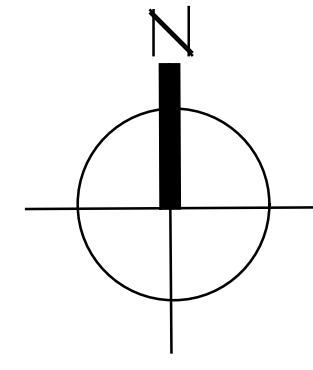
4/24/24, 1:29 AM Chapter 12 Fuel Gas Piping: Fuel Gas Piping, San Diego Plumbing Code 2022 | UpCodes

Cooking Appliances	
Range, freestanding, domestic	65 000
Built-in oven or broiler unit, domestic	25 000
Built-in top unit, domestic	40 000
Other Appliances	
Refrigerator	3000
Clothes dryer, Type 1 (domestic)	35 000
Gas fireplace direct-vent	40 000
Gas log	80 000
Barbecue	40 000
Gaslight	2500

For SI units: 1000 British thermal units per hour = 0.293 kW

299,000 TOTAL BTUS
133'1" TOTAL DEVELOPED LENGTH

SCALE: 1" = 10'-0"



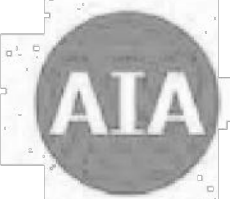
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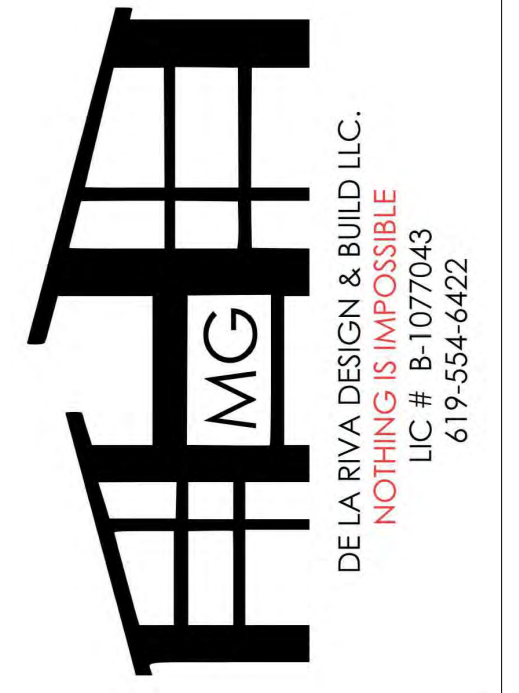
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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)



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Main table with columns for 'N/A RESPON PARTY' and 'Y' for various sections: CHAPTER 3 GREEN BUILDING, DIVISION 4.1 PLANNING AND DESIGN, CHAPTER 4 RESIDENTIAL MANDATORY MEASURES, SECTION 4.102 DEFINITIONS, SECTION 4.103 GRADING AND PAVING, SECTION 4.104 ELECTRIC VEHICLE CHARGING, SECTION 4.105 WATER EFFICIENCY AND CONSERVATION, SECTION 4.106 SITE DEVELOPMENT, SECTION 4.107 WATER EFFICIENCY AND CONSERVATION, SECTION 4.108 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING.

Santee logo and text: PLANS APPROVED BY THE CITY OF SANTEE BUILDING INSPECTION DIVISION SUBJECT TO THE FOLLOWING: Plans are approved for construction subject to the requirements of the California Housing Law and the building laws of the City of Santee, California.

iw INTEREST logo and text: Approved 08/13/2024 9:16:40 AM

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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

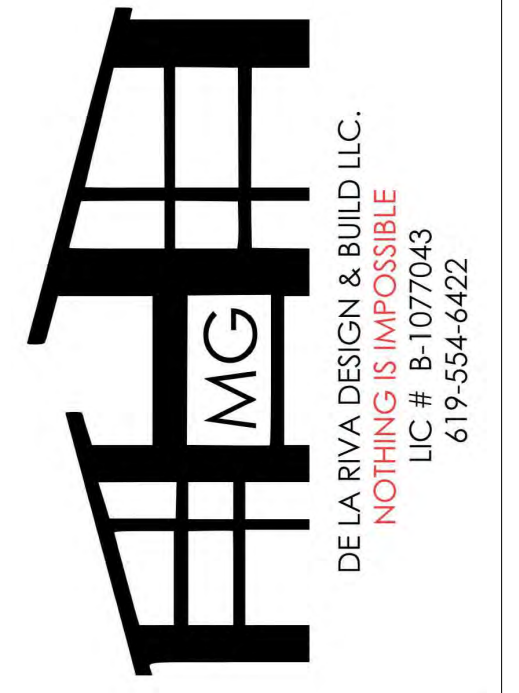


Table with columns for Y, N/A, RESPON, PARTY. Contains text for MAXIMUM INCREMENTAL REACTIVITY (MIR), MOISTURE CONTENT, PRODUCT-WEIGHTED MIR (PVMIR), REACTIVE ORGANIC COMPOUND (ROC), VOC, and various sections (4.503, 4.504) regarding fireplaces, pollutant control, adhesives, sealants, and coatings.

Table with columns for Y, N/A, RESPON, PARTY. Contains TABLE 4.504.2 - SEALANT VOC LIMIT, TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS, and TABLE 4.504.1 - ADHESIVE VOC LIMIT. Includes detailed VOC limits for various materials and coatings.

Table with columns for Y, N/A, RESPON, PARTY. Contains TABLE 4.504.5 - FORMALDEHYDE LIMITS, DIVISION 4.5 ENVIRONMENTAL QUALITY (continued), and various sections (4.504.3, 4.504.4, 4.504.5) regarding carpet systems, resilient flooring, composite wood products, and documentation.

Table with columns for Y, N/A, RESPON, PARTY. Contains CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS, 702 QUALIFICATIONS, 702.1 INSTALLER TRAINING, 702.2 SPECIAL INSPECTION [HCD], 703 VERIFICATIONS, 703.1 DOCUMENTATION, 4.505 INTERIOR MOISTURE CONTROL, 4.505.1 General, 4.505.2 CONCRETE SLAB FOUNDATIONS, 4.505.2.1 Capillary break, 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS, 4.506 INDOOR AIR QUALITY AND EXHAUST, 4.506.1 Bathroom exhaust fans, and 4.507 ENVIRONMENTAL COMFORT.

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CAL.2

Door Schedule				
Door Tag	Dimensions		Operation	Comments
	Width	Height		
1	3'-0"	8'-0"		
2	6'-0"	8'-0"		TEMPERED
3	2'-4"	6'-8"		
3	6'-0"	8'-0"		
4	2'-8"	8'-0"		
5	2'-8"	8'-0"		
6	3'-0"	8'-0"		LOUVERED
528	0"	0"		

Window Schedule							
Window Tag	Dimensions			Operation	Heat Transfer		Comments
	Width	Height	Sill Height		U-Fact or MAX	SHGC or MAX	
A	6'-0"	5'-0"	3'-0"	SLIDING	0.3	0.23	
B	3'-0"	1'-6"	6'-6"	SLIDING	0.3	0.23	TEMPERED
C	5'-0"	4'-6"	3'-0"	SLIDING	0.3	0.23	

MULTI-PANED GLASS WITH MINIMUM ONE TEMPERED PANE (GLAZED FRAMED MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN INTERLOCK AREA, AND BE CERTIFIED TO ANSI/AAMA/NWDA 101/1.S.2-97 STRUCTURAL REQUIREMENTS

KEY NOTES

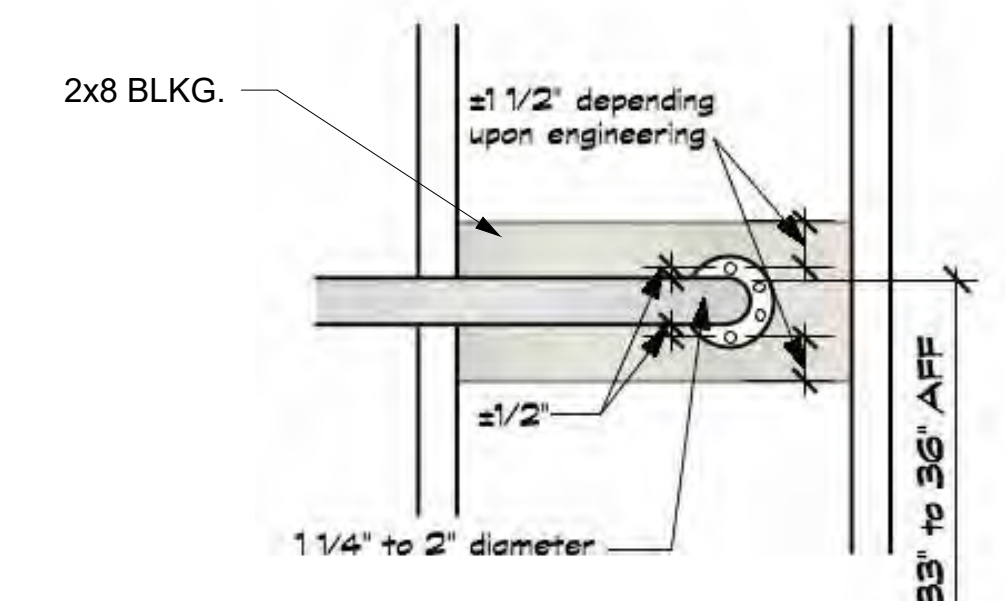
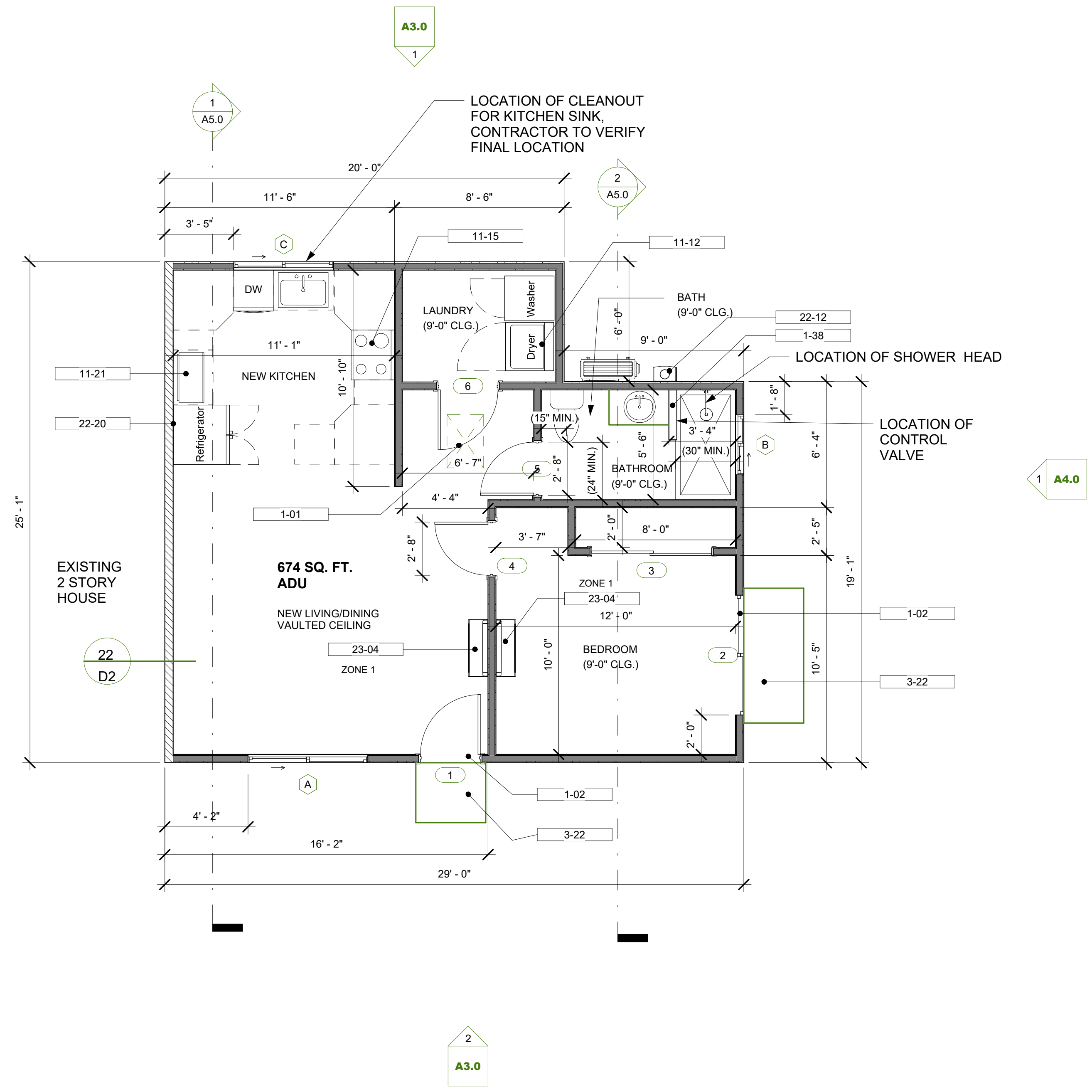
- 1-01 22x32 ATTIC ACCESS. THE LARGEST PIECE OF EQUIPMENT
- 1-02 1.5 INCH MIN. 7.75 INCH MAX STEP DN.
- 1-38 42" HIGH PONY WALL.
- 3-22 NEW CONCRETE STOOP MINIMUM 3'-0" 1/8" SLOPE AWAY FROM BUILDING.
- 11-12 NEW GAS DRYER
- 11-15 NEW GAS STOVE, STYLE BY OWNER.
- 11-21 MICROWAVE BUILT IN.
- 22-12 NEW GAS TANKLESS WATER HEATER (BRADFORD WHITE INFINITY K SERIES) OR SIMILAR
- 22-20 WATER LINE FOR FRIDGE.
- 23-04 NEW MINI-SPLIT



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2305 SWEETWATER RD
 SPRING VALLEY CA 91977

PROJECT TITLE:



A- GRAB BAR DETAIL



NOTES:
 THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOTE LESS THAN 6" (5 PERCENT SLOPE) IN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF BUILDING SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM BUILDING. R401.3

WOOD BLOCKING MUST BE INSTALLED IN WALLS FOR FUTURE GRAB BAR INSTALLATION AT TOILETS, SHOWERS, AND BATHTUBS IN AT LEAST ONE BATHROOM ON THE ENTRY LEVEL OF THE ADU. CRC R327.1.1.

DOORBELL BUTTONS OR CONTROLS MAY NOT EXCEED 48" ABOVE THE FLOOR OR LANDING. CRC R327.1.4.

WINDOW OPENING CONTROL DEVICES AND FALL PREVENTION DEVICES SHALL BE NOT MORE THAN 70 INCHES ABOVE THE FINISHED FLOOR PER CRC R310.

SHOWERS AND TUB/SHOWERS ARE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS.

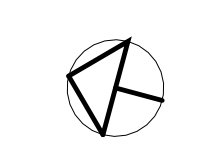
THE BATHROOM WILL COMPLY WITH THE AGING-IN-PLACE REQUIREMENTS IN ACCORDANCE WITH CRC R327.

REINFORCEMENT FOR GRAB BARS: AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH SECTION R327.1.1 REINFORCEMENT SHALL BE MINIMUM 2x8 SOLID LUMBER, LOCATED BETWEEN 32" AND 39-1/4" ABOVE THE FINISHED FLOOR FLUSH WITH WALL FRAMING ON BOTH SIDE WALLS OF THE FIXTURE.

WALL LEGEND

- NEW 2X4 STUD WALL @ 16" O.C.
- 2X6 STUD WALL @ 16" O.C.
- 1-HR RATED WALL PER DETAIL 22/D2

1 PROPOSED ADU
 1/4" = 1'-0"



COOK ADU
 CONSTRUCTION DOCUMENTATION

10721 SIMA CT
 SANTEE CA 92071

DESIGN PHASE	DATE
PLAN CHECK	02.16.24
RE CHECK CHECK	07.25.24

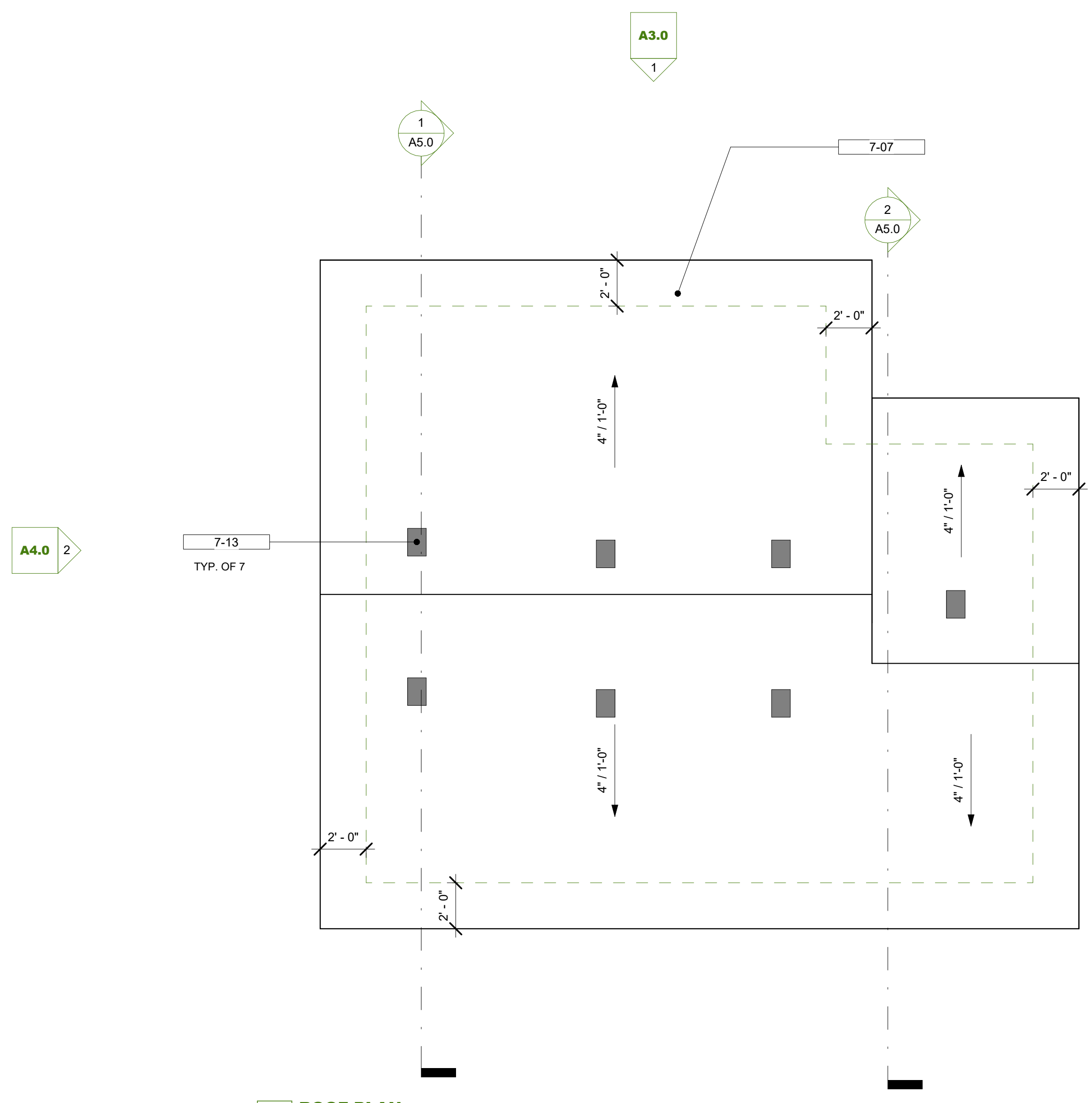
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 Author

CHECKED BY: DATE:
 Checker 04/29/2022

SHEET NAME:
 PROPOSED

A1.0



1 ROOF PLAN
1/4" = 1'-0"

KEY NOTES

- 7-07 NEW CLASS "A" CONCRETE TILE ROOFING TO MATCH EXISTING AS CLOSE AS POSSIBLE (REGULAR WEIGHT).
- 7-13 NEW ROOF VENT

ROOF ATTIC VENT CALCULATION

ROOF AREA
 AREA - SQ. FT. 674 SQ. FT.
 VENTS REQUIRED 7
 VENT CALCULATION ROOF AREA: 674 S.F. / 150 = 4.49 S.F.

O'HAGIN VENT @ 0.69 SQ. FT. (NFVA) EACH
 4.83 / 0.69 = 7 VENTS REQUIRED

- VENT - O'HAGIN ATTIC VENTS
- MODLE - LOW-PROFILE FLAT
- O'HAGIN FIRE & ICE LINE-
- FLAME AND EMBE RESISTANT

NOTE: ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/8 TO 1/4 INCH MAXIMUM IN DIMENSION (CRC R806.1)
 -ROOF ATTIC VENTS @ GARAGE ARE OPTIONAL

ONE LAYER OF 72 POUND (32.4 KG) MINERAL-SURFACED NONPERFORATED CAP SHEET COMPLYING WITH ASTM D 2909 INSTALLED OVER THE COMBUSTIBLE DECKING.

ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL RESIST THE INTRUSION OF FLAMES AND EMBERS. (COUNTY BUILDING CODE 92.1.706A.1)



2305 SWEETWATER RD
 SPRING VALLEY CA 91977

PROJECT TITLE:

COOK ADU
 CONSTRUCTION DOCUMENTATION
 10721 SIMA CT
 SANTEE CA 92071

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PLAN CHECK	02.16.24
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SHEET NAME:
ROOF PLAN

A2.0

KEY NOTES

- 7-07 NEW CLASS "A" CONCRETE TILE ROOFING TO MATCH EXISTING AS CLOSE AS POSSIBLE (REGULAR WEIGHT).
- 7-94 NEW 7/8" EXTERIOR CEMENT PLASTER FINISH O/2 LAYERS OF GRADE "D" PAPER (MATERIALS & COLOR TO MATCH EXISTING HOUSE)

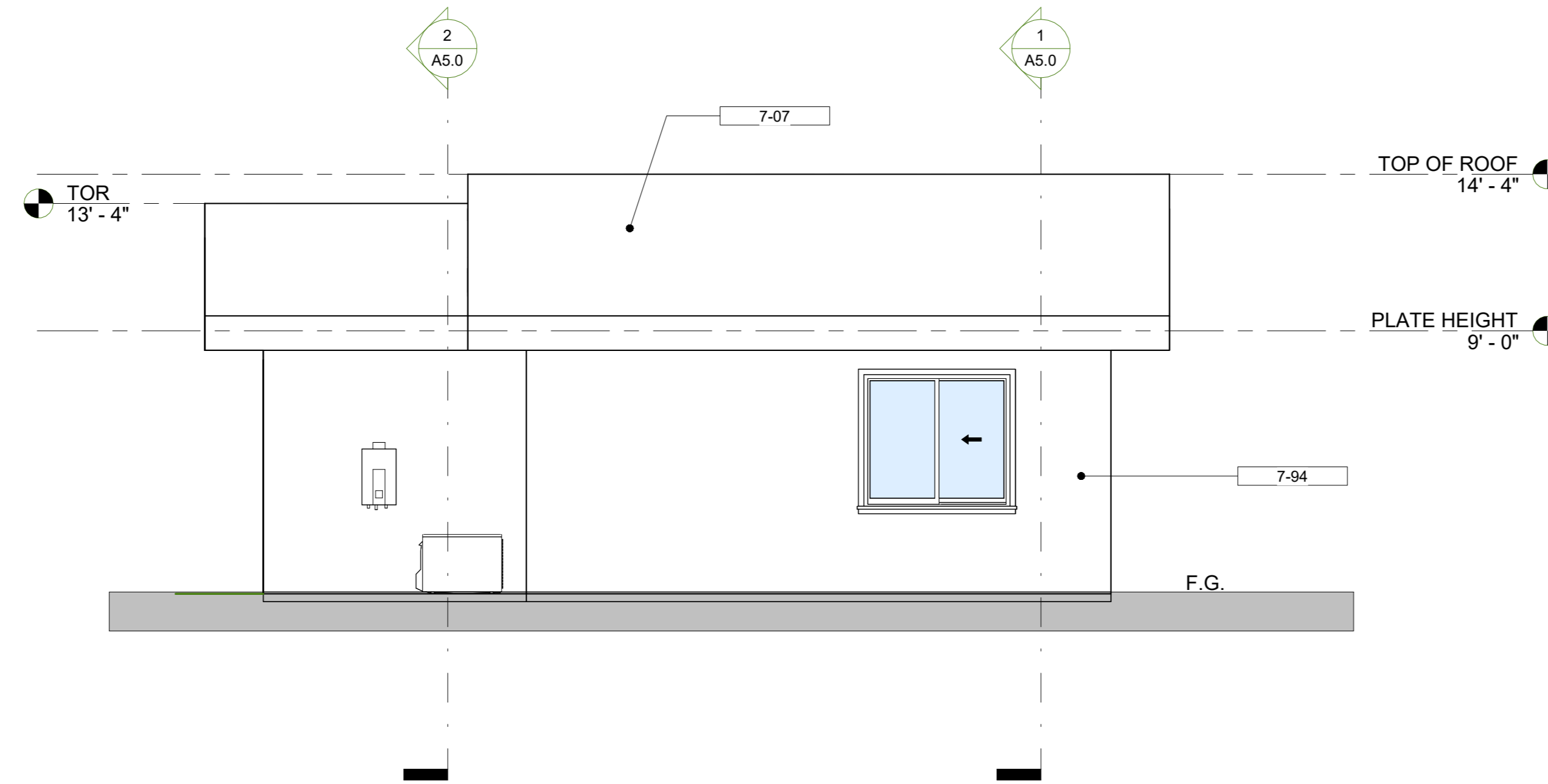


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 NOTHING IS IMPOSSIBLE
 LIC # B-1077043
 619-554-6422

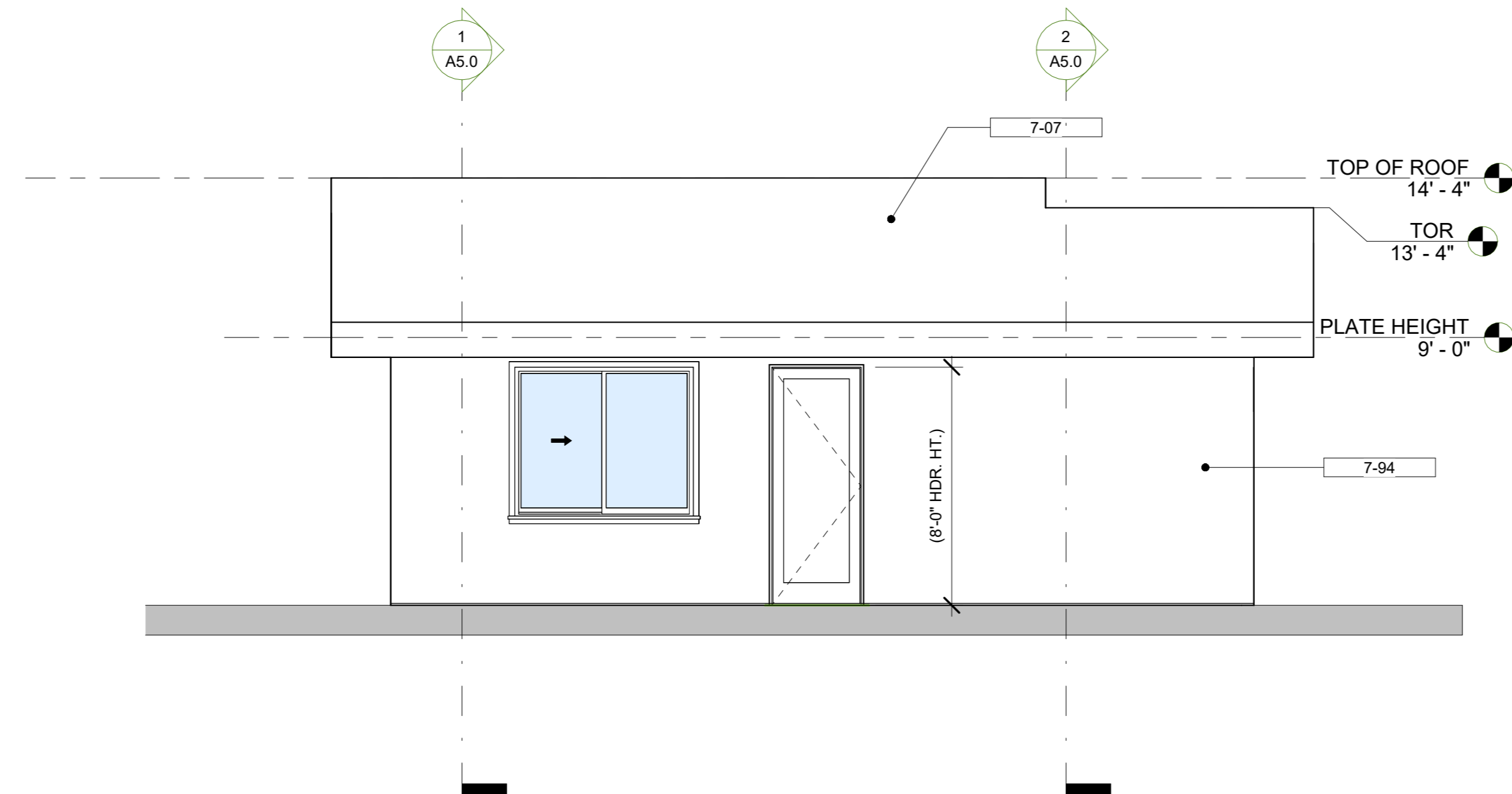
2305 SWEETWATER RD
 SPRING VALLEY CA 91977

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COOK ADU
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1 EAST ELEVATION
 1/4" = 1'-0"



2 WEST ELEVATION
 1/4" = 1'-0"

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SHEET NAME:
ELEVATIONS - NORTH AND SOUTH

A3.0

WILD ZONE PLAN NOTES

1. IN ROOF COVERINGS WHERE THE PROFILE CREATES SPACE BETWEEN THE ROOF COVERING AND COMBUSTIBLE ROOF DECKING, SPECIFY ONE OF THE FOLLOWING MEANS OF PROTECTING SPACES AT EAVES ENDS.
 - a. FIRE-STOPPING WITH APPROVED MATERIALS
 - b. ONE LAYER OF NO. 72 ASTM CAP SHEET INSTALLED OVER COMBUSTIBLE DECKING
 - c. OTHERWISE CONSTRUCTED TO PREVENT INTRUSION OF FLAMES AND EMBERS
2. EXPOSED VALLEY FLASHING SHALL BE CONSTRUCTED WITH MINIMUM 26-GAUGE CORROSION-RESISTANT METAL INSTALLED OVER MINIMUM 36-INCH-WIDE SINGLE LAYER OF NO. 72 ASTM CAP SHEET RUNNING FULL LENGTH OF VALLEY
3. ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS
4. SKYLIGHTS SHALL BE TEMPERED GLASS.
5. ALL VENTS SHALL COMPLY WITH THE FOLLOWING:
 - a. PROTECTED BY LOUVERS AND 1/8-INCH NON-COMBUSTIBLE, CORROSION RESISTANT MESH
 - EXCEPTION: APPROVED VENTS RESISTING INTRUSION OF FLAMES AND EMBERS
 - b. TURBINE ATTIC VENTS EQUIPPED TO ALLOW ROTATION IN ONLY ONE DIRECTION
6. VENTS PROHIBITED IN EAVES, EAVE OVERHANGS, SOFFITS, OR CORNICES.
 - EXCEPTION: APPROVED VENTS RESISTING INTRUSION OF FLAMES AND EMBERS
 - EXCEPTION: GABLE-END VENTS ALLOWED IF LOCATED MINIMUM 12 INCHES BELOW LOWEST EAVE/RAKE PROJECTION
 - EXCEPTION: AS ALLOWED BY BUILDING OFFICIAL AND LOCAL FIRE AUTHORITY AND PER EAVE DETAILS IN FORM PDS #198.
7. 7/8" EXTERIOR CEMENT PLASTER FINISH O/ 2 LAYERS OF GRADE "D" PAPER
8. PATIO COVER, CARPORT AND TRELLIS CONSTRUCTION SHALL COMPLY WITH ANY OF THE FOLLOWING:
 - NON-COMBUSTIBLE MATERIAL
 - 1-HOUR FIRE-RATED MATERIAL
 - APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - MODIFIED HEAVY TIMBER (MIN 2X TONGUE-AND-GROOVE SHEATHING, 4X8 RAFTERS/BEAMS, 6X6 POSTS)
9. DECK, BALCONY, AND EXTERIOR STAIR CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
 - a. FRAMING
 - NON-COMBUSTIBLE MATERIAL
 - 1-HOUR FIRE-RATED MATERIAL
 - APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - MODIFIED HEAVY TIMBER (MIN 2X JOISTS, 4X10 OR 6X8 BEAMS, 6X6 POSTS)
 - b. DECKING AND TREAD MATERIAL (ANY OF THE FOLLOWING):
 - NON-COMBUSTIBLE MATERIAL
 - APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - APPROVED ALTERNATIVE DECKING MATERIAL MEETING TESTS REQ'S OF COUNTY BUILDING CODE 92.1.709A.1.4)
10. EXTERIOR GARAGE DOORS SHALL INCLUDE WEATHER STRIPPING AS NECESSARY TO REDUCE ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8" OR LESS
11. PAPER-FACED INSULATION PROHIBITED IN ATTICS OR OTHER VENTILATED SPACES
12. FENCES OR ANY STRUCTURE WITHIN 5 FEET OF BUILDING SHALL BE CONSTRUCTED PER ONE OF THE FOLLOWING:
 - a. NON-COMBUSTIBLE MATERIAL
 - b. APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - c. MATERIAL MEETING SAME FIRE-RESISTIVE STANDARDS AS EXTERIOR WALLS OF BUILDINGS

KEY NOTES

1-03
7-94
WEEP SCREENED
NEW 7/8" EXTERIOR CEMENT PLASTER FINISH
O/ 2 LAYERS OF GRADE "D" PAPER (MATERIALS & COLOR TO MATCH EXISTING HOUSE)

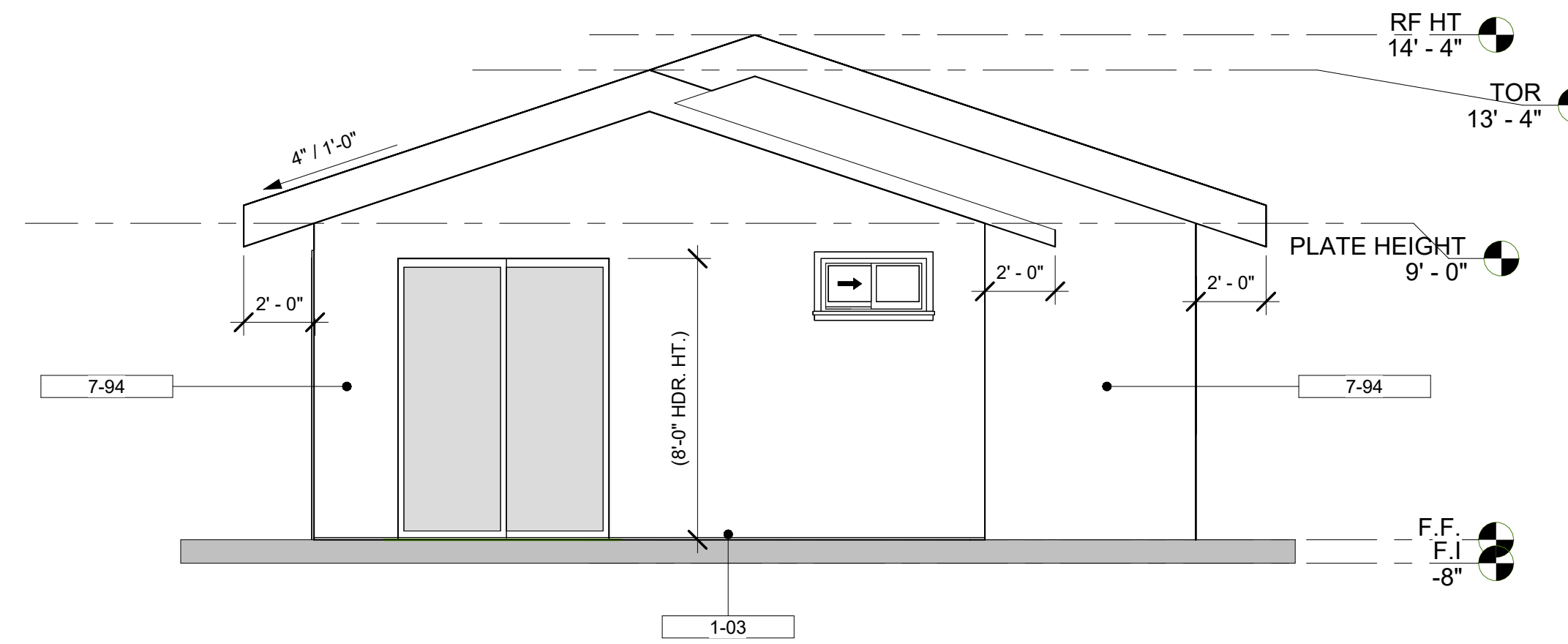


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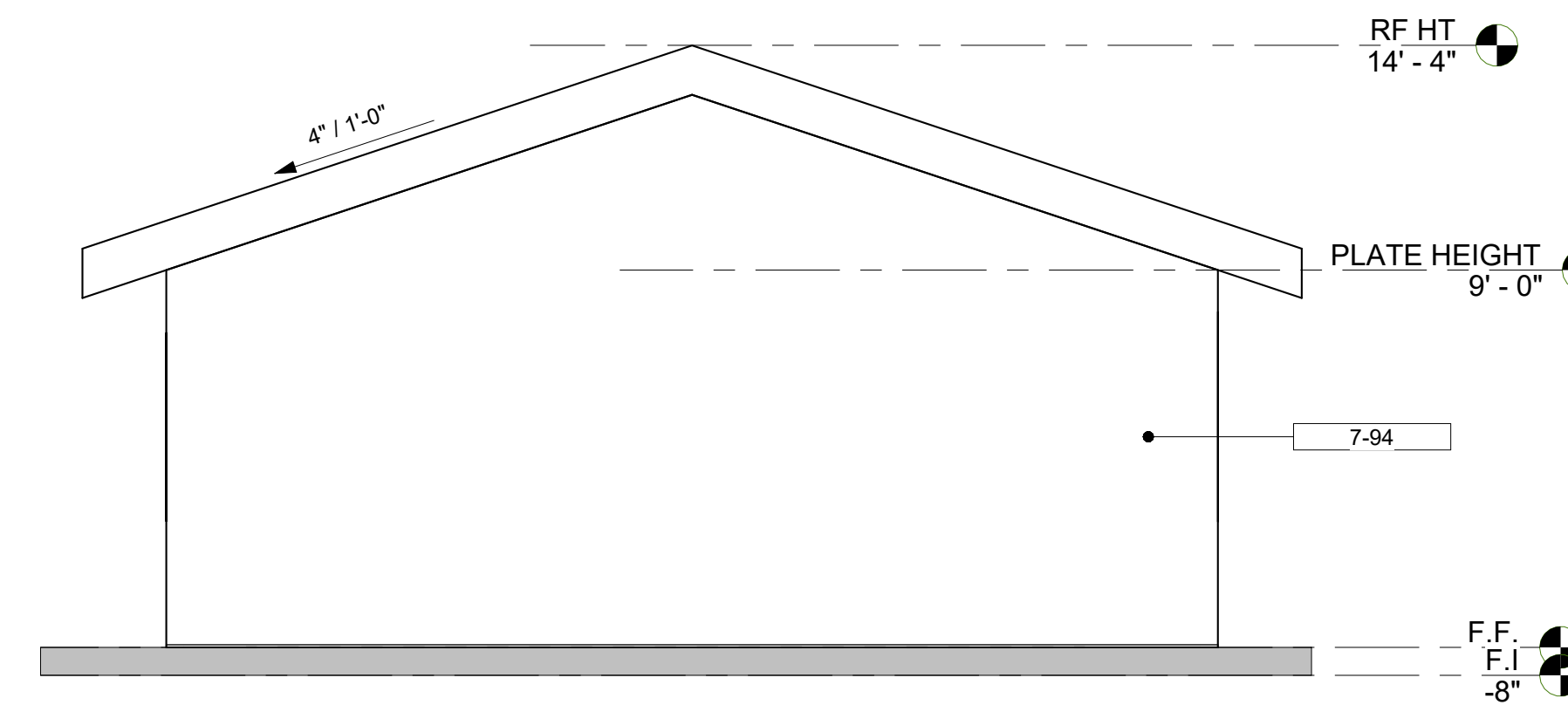
2305 SWEETWATER RD
SPRING VALLEY CA 91977

PROJECT TITLE:

COOK ADU
 CONSTRUCTION DOCUMENTATION
 10721 SIMA CT
 SANTEE CA 92071



1 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

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SHEET NAME:
ELEVATIONS-EAST AND WEST

A4.0

KEY NOTES

- 1-06 NEW TRUSSES AT 24" O.C. PER ROOF FRAMING PLAN.
- 1-07 1/2" GAP WITH STC CLIP TYPICAL.
- 1-08 NEW 2x4 INTERIOR STUDS @ 16" O.C.
- 1-09 NEW SCISSOR TRUSSES @ 24" O.C.
- 1-10 NEW 2x4 EXTERIOR STUDS @ 16" O.C. W/ R-15 INSULATION PER TITLE 24.
- 1-22 NEW R-15 INSULATION AT ROOF PER TITLE 24.
- 1-25 NEW R-38 INSULATION AT CEILING LEVEL PER TITLE 24.
- 3-01 NEW CONCRETE SLAB PER STRUCTURAL.
- 3-07 NEW 1 STORY FOOTING PER STRUCTURAL.
- 9-05 1/2" GYPSUM BOARD AT WALLS.
- 9-07 1/2" GYPSUM BOARD AT CEILING.

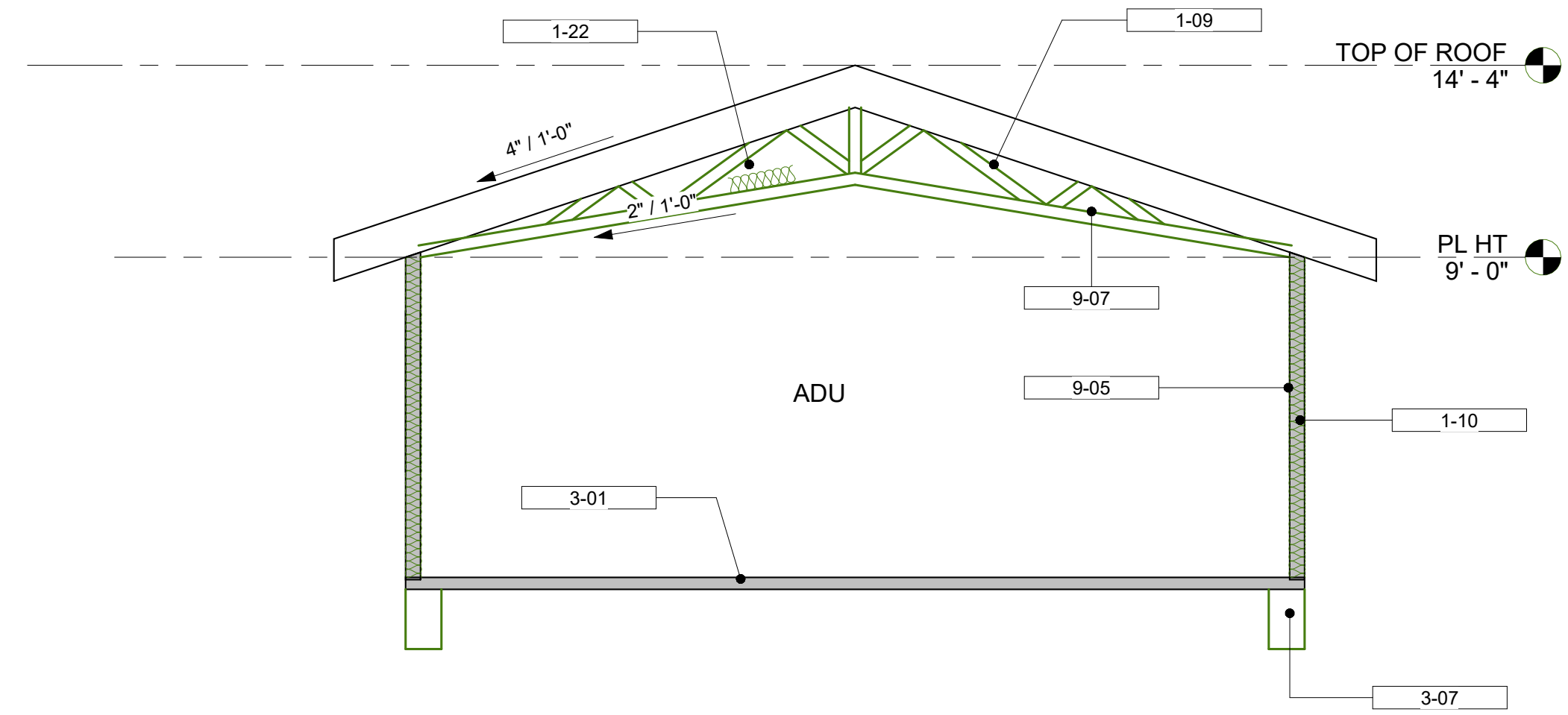


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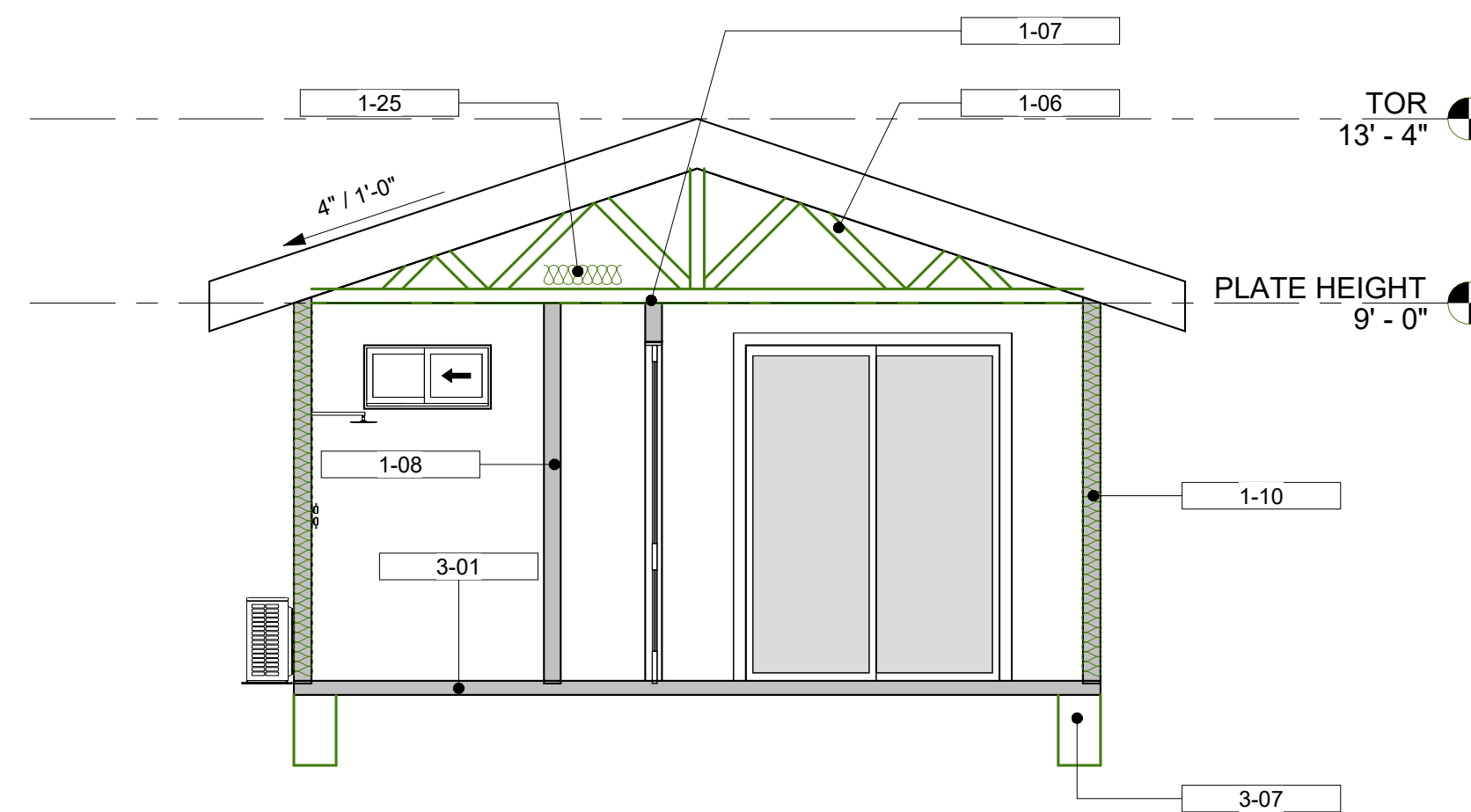
2305 SWEETWATER RD
 SPRING VALLEY CA 91977

PROJECT TITLE:

COOK ADU
 CONSTRUCTION DOCUMENTATION
 10721 SIMA CT
 SANTEE CA 92071



1 Section 1
 1/4" = 1'-0"



2 Section 2
 1/4" = 1'-0"

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SHEET NAME:
 BUILDING SECTIONS

A5.0

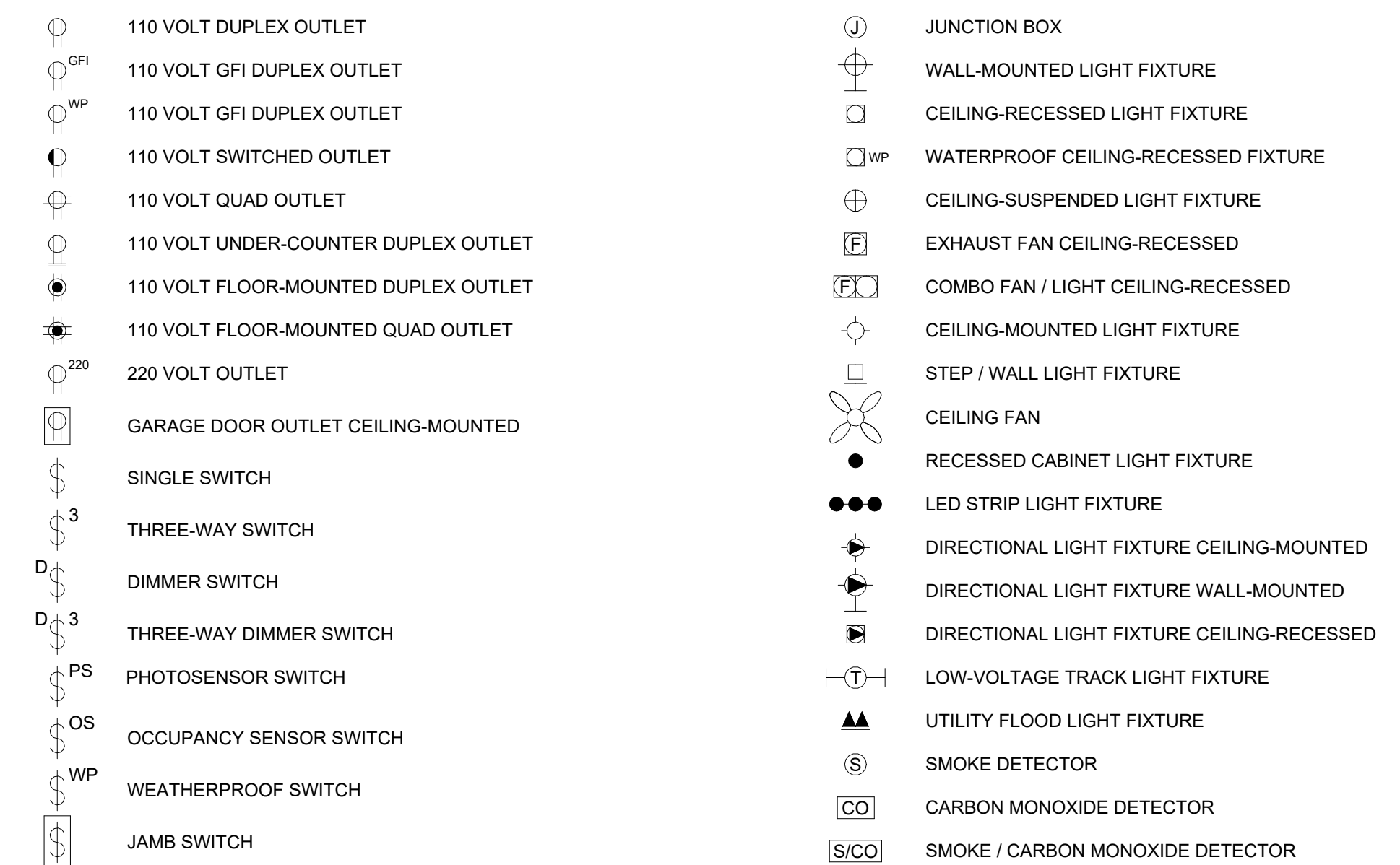
UTILITY PLAN NOTES

- LOCAL EXHAUST FANS TO EXTERIOR TO PROVIDE MINIMUM 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS VENTILATION.
- SMOKE DETECTORS TO BE INTERCONNECTED PER CRC R314.4 AND HARD-WIRED WITH BATTERY BACK-UP PER CRC R314.6
- CARBON MONOXIDE ALARMS TO BE INTERCONNECTED PER CRC R315.7 AND HARD-WIRED WITH BATTERY BACK-UP PER CRC R315.5
- 4" DRYER VENT WITH MAXIMUM 14 FOOT COMBINED HORIZONTAL AND VERTICAL LENGTH WITH TWO 90 DEGREE ELBOWS.
- A MECHANICAL EXHAUST VENTILATION SYSTEM, SUPPLY VENTILATION SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
- AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VENTILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHTUB, SHOWER, OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHENS BASED ON KITCHEN VOLUME.
- WATER HEATER OR FURNACE SHALL BE A DIRECT-VENT APPLIANCE
- LISTED GASKETED SELF CLOSING DOOR REQUIRED FOR GAS FAU

LIGHTING PLAN NOTES

- ALL LUMINARIES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH CBEEES TABLE 150.0-A
- ALL LED LUMINARIES AND LAMPS SHALL BE MARKED "JA8-2019" AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERT/APPLIANCES.ENERGY.CA.GOV/PAGES/APPLIANCESEARCH.ASPX](https://cacerat.appliances.energy.ca.gov/pages/appliancesearch.aspx)
- ALL RECESSED DOWNLIGHT AND ENCLOSED LUMINARIES SHALL BE MARKED "JA8-2019-E" AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERT/APPLIANCES.ENERGY.CA.GOV/PAGES/APPLIANCESEARCH.ASPX](https://cacerat.appliances.energy.ca.gov/pages/appliancesearch.aspx)
- RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL NOT BE SCREW-BASED
- BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS: AT LEAST ONE LUMINAIRE IN EACH SPACE SHALL BE CONTROLLED BY A VACANCY SENSOR
- ALL LUMINARIES REQUIRING "JA8-2019" OR "JA8-2019-E" MARKING SHALL BE CONTROLLED BY A DIMMER OR VACANCY SENSOR
EXCEPTION: CLOSETS LESS THAN 70 S.F. & HALLWAYS
- OUTDOOR LIGHTING PERMANENTLY MOUNTED TO BUILDINGS SHALL BE CONTROLLED BY ONE OF THE FOLLOWING:
- PHOTOCONTROL AND MOTION SENSOR
- PHOTOCONTROL AND AUTOMATIC TIME-SWITCH CONTROL
- ASTRONOMICAL TIME CLOCK
- ENERGY MANAGEMENT CONTROL SYSTEM PER CBEEES 150.0(K)3A(11C)

ELECTRICAL SYMBOLS



KEY NOTES

- 10-08 4" DIA. DRYER VENT EYEBROW W/ BACKDRAFT DAMPER.
- 11-10 ADD SWITCH AND LIGHT FOR ATTIC ACCESS
- 23-11 NEW HOOD VENT (100 CFM MINIMUM) CONDENSING UNIT.
- 23-19 RECEPTACLE OUTLET READILY ACCESSIBLE FROM GRADE AND NOT MORE THAN 6.5 FEET ABOVE GRADE. THE RECEPTACLE WILL BE WEATHER-RATED WITH GFCI PROTECTION, AS APPLICABLE. CEC 210.52(E)
- 26-04

- CEC ARTICLE 210 & 406:
- TAMPER RESISTANT RECEPTACLES FOR ALL LOCATIONS DESCRIBED IN 210.52 AND 550.13.(I.E. ALL RECEPTACLES IN A DWELLING).
 - WEATHER RESISTANT TYPE FOR RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS (OUTSIDE). 406.4(D)(6).
 - ARC-FAULT PROTECTION FOR ALL OUTLETS (NOT JUST RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NEC 210.12(A): KITCHENS, LAUNDRY AREAS, FAMILY, LIVING, BEDROOMS, DINING, HALLS, ETC.
 - GFCI PROTECTED OUTLETS FOR LOCATIONS DESCRIBED IN NEC 210.89(A): LAUNDRY AREAS, KITCHEN DISHWASHERS, KITCHENS, GARAGES, BATHROOMS, OUTDOORS, WITHIN 6' OF A SINK, ETC.

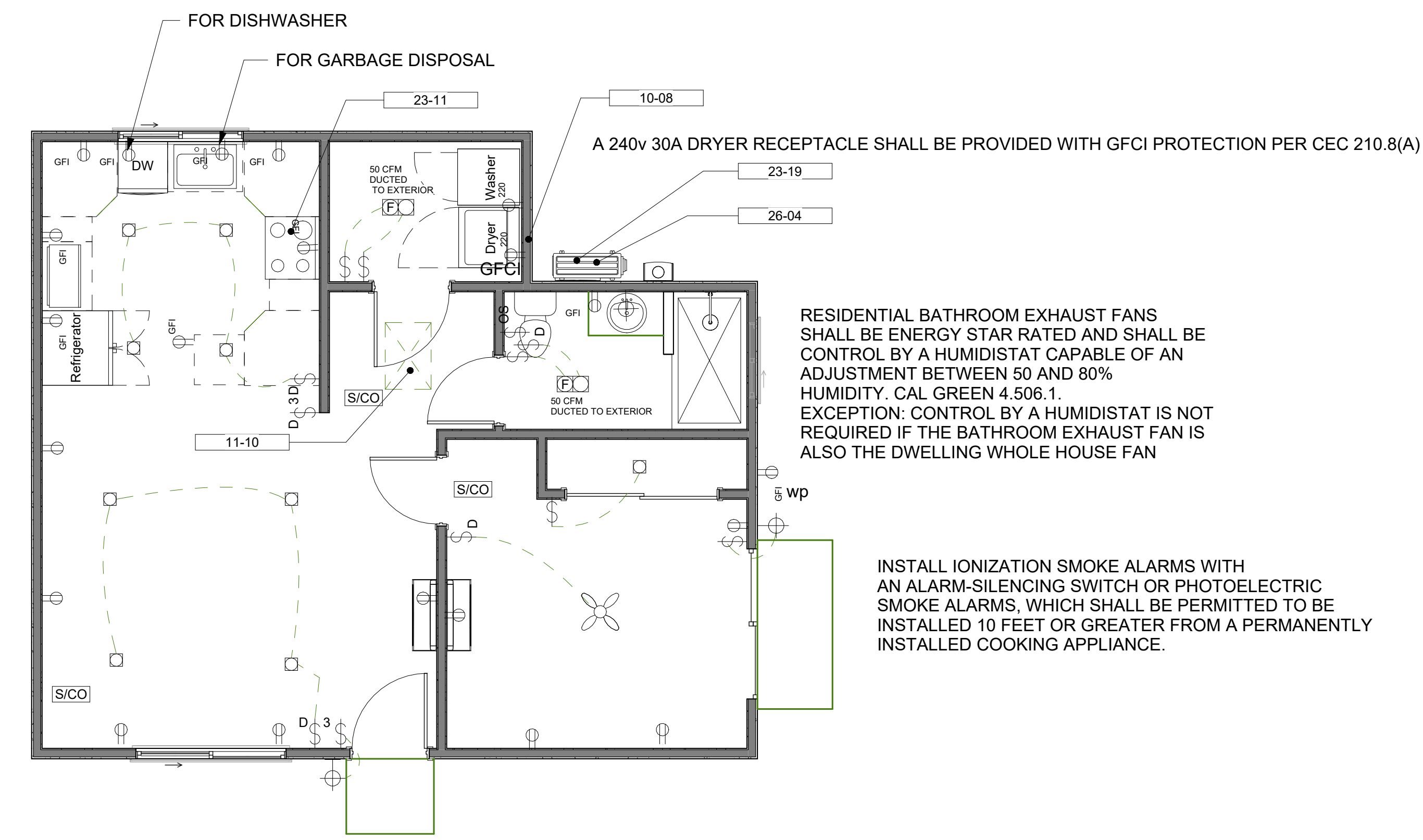
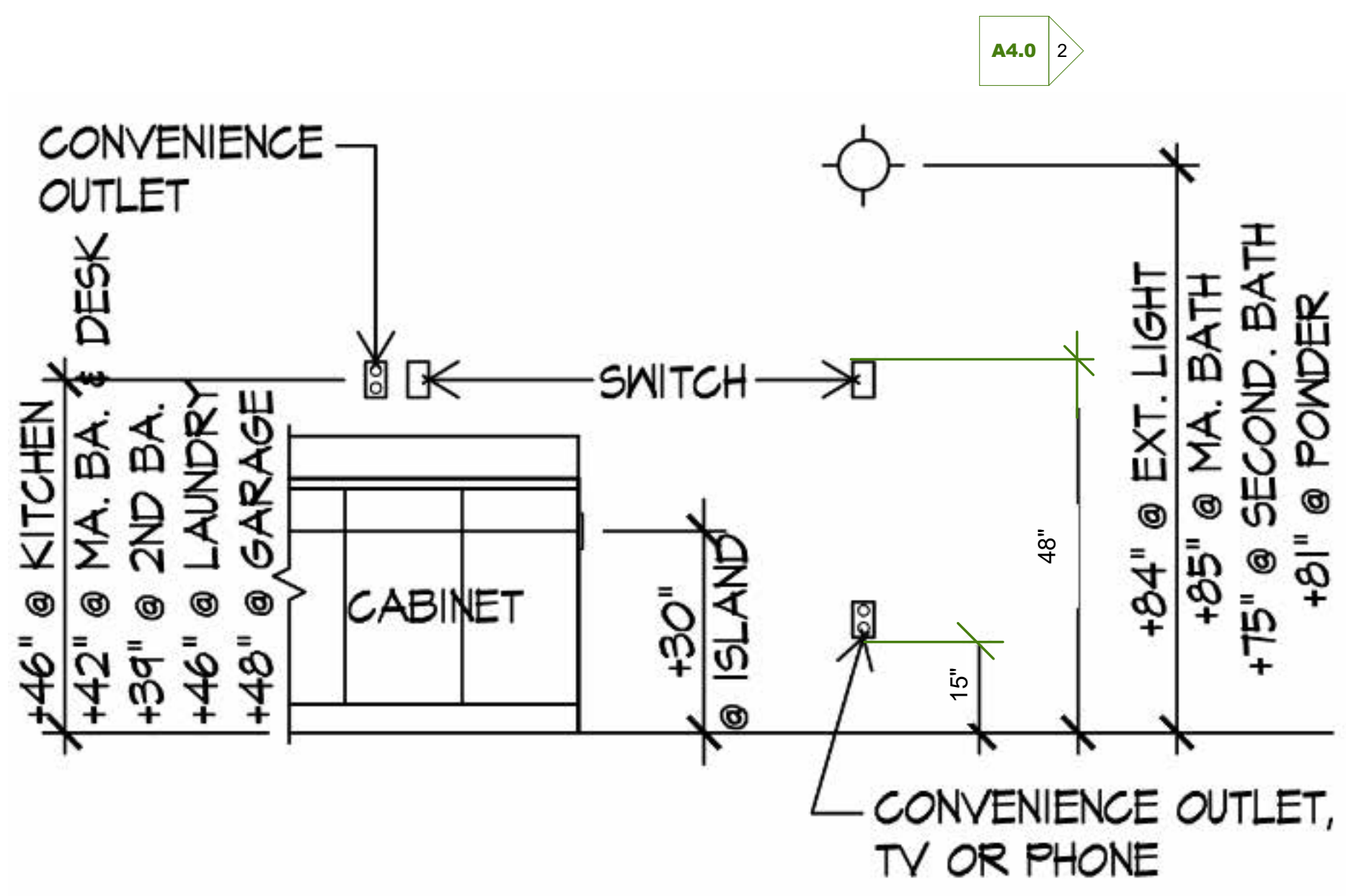
THE READILY ACCESSIBLE OUTDOOR SERVICE DISCONNECTING MEANS SHALL BE CLEARLY LABELED "EMERGENCY DISCONNECT" OR "SERVICE DISCONNECT", IN COMPLIANCE WITH CEC 230.85.

SOLAR READY KEY NOTES

- THE MAIN ELECTRICAL SERVICE PANEL SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF A CIRCUIT BREAKER FOR A FUTURE ELECTRIC VEHICLE CHARGING SYSTEM. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS EV CAPABLE.
- APPROVED MINIMUM 4-INCH SQUARE ELECTRICAL JUNCTION BOX LOCATED ON THE INTERIOR OF THE GARAGE AT MINIMUM 30 INCHES AND MAXIMUM INCHES ABOVE THE GARAGE FLOOR.
- MINIMUM 1 INCH DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT THE MAIN ELECTRICAL SERVICE PANEL AND TERMINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX.
- ELECTRICAL JUNCTION BOX SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE ELECTRIC VEHICLE CHARGING"

NOTE: KITCHEN HOODS, BATHROOM FANS AND OTHER EXHAUST FAN DUCTS SHALL DETERMINE OUTSIDE THE BUILDING AND HAVE A BACKDRAFT DAMPER. WHEN THE EXHAUST FAN OPERATED CONTINUOUSLY A BACK DRAFT DAMPER IS NOT REQUIRED. CMC 504.1

ELECTRICAL OUTLETS, SWITCH, AND CONTROL HEIGHTS SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISHED FLOOR (SECTION R327.1.2)



NOTE: RECEPTACLE IN BATHROOMS SHALL BE NOT LESS THAN 3 FEET FROM RIM OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD. CEC 406.9

THE MAIN ELECTRICAL SERVICE PANEL SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF A CIRCUIT BREAKER FOR A FUTURE ELECTRIC VEHICLE CHARGING SYSTEM. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE."

1 LEVEL 1 PROPOSED ELECTRIC
1/4" = 1'-0"



DE LA RIVA DESIGN & BUILD LLC.
NOTHING IS IMPOSSIBLE
LIC # B-1077043
619-554-6422

2305 SWEETWATER RD
SPRING VALLEY CA 91977

PROJECT TITLE:

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SHEET NAME:
ELECTRICAL PLAN



2305 SWEETWATER RD
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CELL 619.554.6422

COOK ADU
10721 SIMA CT
SANTEE CA 92071

COOK ADU
10721 SIMA CT
SANTEE CA 92071

Drawn By GERARDO

Date 02.16.24

Recheck #1 07.25.24

Revision #2

Recheck #3

APN: 378-461-18-00

Scale PER DRAWING

Page #

T-1



PLANS APPROVED BY THE CITY OF SANTEE BUILDING INSPECTION DIVISION SUBJECT TO THE FOLLOWING:

Plans are accepted for construction subject to the requirements of the California Housing Law and the building laws of the City of Santee, California. The stamping or watermarking of these plans and specifications SHALL NOT be held to permit or approve the violation of any City, County, State, Federal Laws or other restrictions.

APPROVED FOR CONSTRUCTION Permit # B-ADU-24-0012 Reviewed by FTanguilig Date: August 30, 2024



CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: Sima Court ADU
Calculation Description: Title 24 Analysis
Calculation Date/Time: 2024-02-05T09:35:36-08:00
Input File Name: Sima Court ADU (10721).ribd22x

ENERGY USE SUMMARY table with columns: Energy Use, Standard Design Source Energy (EDR1), Standard Design TDV Energy (EDR2), Proposed Design Source Energy (EDR1), Proposed Design TDV Energy (EDR2), Compliance Margin (EDR1), Compliance Margin (EDR2). Rows include Space Heating, Space Cooling, IAQ Ventilation, Water Heating, Self Utilization/Flexibility Credit, Efficiency Compliance Total, Photovoltaics, Battery, Flexibility, Indoor Lighting, Appl. & Cooking, Plug Loads, Outdoor Lighting, TOTAL COMPLIANCE.

Registration Number: 224-P010015217A-000-000-0000000-0000
Registration Date/Time: 2024-02-05 09:51:08
HERS Provider: CalCERTS, Inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Report Generated: 2024-02-05 09:36:10

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FENESTRATION / GLAZING table with columns: 01-14. Rows include Name, Type, Surface, Orientation, Azimuth, Width (ft), Height (ft), Mult., Area (ft²), U-factor, U-factor Source, SHGC, SHGC Source, Exterior Shading.

OPAQUE DOORS table with columns: 01-04. Rows include Name, Zone, Surface, U-factor.

SLAB FLOORS table with columns: 01-08. Rows include Name, Zone, Area (ft²), Perimeter (ft), Edge Insul. R-value and Depth, Edge Insul. R-value and Depth, Carpeted Fraction, Heated.

OPAQUE SURFACE CONSTRUCTIONS table with columns: 01-08. Rows include Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, Assembly Layers.

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ENERGY DESIGN RATINGS table with columns: Energy Design Ratings (Source Energy (EDR1), Efficiency³ EDR (EDRzEfficiency), Total² EDR (EDRztotal)), Compliance Margins (Source Energy (EDR1), Efficiency³ EDR (EDRzEfficiency), Total² EDR (EDRztotal)). Rows include Standard Design, Proposed Design.

RESULT: PASS
¹Efficiency EDR includes improvements like a better building envelope and more efficient equipment
²Total EDR includes efficiency and demand response measures such as photovoltaic (PV) system and batteries
³Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded

Registration Number: 224-P010015217A-000-000-0000000-0000
Registration Date/Time: 2024-02-05 09:51:08
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CA Building Energy Efficiency Standards - 2022 Residential Compliance
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Input File Name: Sima Court ADU (10721).ribd22x

BUILDING - FEATURES INFORMATION table with columns: 01-07. Rows include Project Name, Conditioned Floor Area (ft²), Number of Dwelling Units, Number of Bedrooms, Number of Zones, Number of Ventilation Cooling Systems, Number of Water Heating Systems.

ZONE INFORMATION table with columns: 01-07. Rows include Zone Name, Zone Type, HVAC System Name, Zone Floor Area (ft²), Avg. Ceiling Height, Water Heating System 1, Status.

OPAQUE SURFACES table with columns: 01-08. Rows include Name, Zone, Construction, Azimuth, Orientation, Gross Area (ft²), Window and Door Area (ft²), TIR (deg).

ATTIC table with columns: 01-08. Rows include Name, Construction, Type, Roof Rise (x in 12), Roof Reflectance, Roof Emittance, Radiant Barrier, Cool Roof.

Registration Number: 224-P010015217A-000-000-0000000-0000
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Calculation Date/Time: 2024-02-05T09:35:36-08:00
Input File Name: Sima Court ADU (10721).ribd22x

GENERAL INFORMATION table with columns: 01-23. Rows include Project Name, Run Title, Project Location, City, Zip code, Climate Zone, Building Type, Project Scope, Addition Cond. Floor Area (ft²), Existing Cond. Floor Area (ft²), Total Cond. Floor Area (ft²), ADU Bedroom Count, Fuel Type.

COMPLIANCE RESULTS table with columns: 01-03. Rows include Building Complies with Computer Performance, This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider, This building incorporates one or more Special Features shown below.

Registration Number: 224-P010015217A-000-000-0000000-0000
Registration Date/Time: 2024-02-05 09:51:08
HERS Provider: CalCERTS, Inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Report Generated: 2024-02-05 09:36:10

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
Project Name: Sima Court ADU
Calculation Description: Title 24 Analysis
Calculation Date/Time: 2024-02-05T09:35:36-08:00
Input File Name: Sima Court ADU (10721).ribd22x

ENERGY USE INTENSITY table with columns: Standard Design (kBtu/ft² - yr), Proposed Design (kBtu/ft² - yr), Compliance Margin (kBtu/ft² - yr), Margin Percentage. Rows include Gross EU1, Net EU2.

Notes
1. Gross EU1 is Energy Use Total (not including PV) / Total Building Area.
2. Net EU1 is Energy Use Total (including PV) / Total Building Area.

REQUIRED PV SYSTEMS table with columns: 01-12. Rows include DC System Size (kWdc), Exception, Module Type, Array Type, Power Electronics, CFI, Azimuth (deg), Tilt Input, Array Angle (deg), Tilt: (x in 12), Inverter Eff. (%), Annual Solar Access (%).

REQUIRED SPECIAL FEATURES
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.
• PV exception 2: No PV required when minimum PV size (Section 150.1(c)(14)) < 1.8 kWdc (0 kW)
• Variable capacity heat pump compliance option (verification details from VCHP Staff report, Appendix B, and RA3)
• Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater; specific brand/model, or equivalent, must be installed

HERS FEATURE SUMMARY
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry
• Indoor air quality ventilation
• Kitchen range hood
• Verified Refrigerant Charge
• Airflow in habitable rooms (SC3.1.4.1.7)
• Verified heat pump rated heating capacity
• Wall-mounted thermostat in zones greater than 150 ft² (SC3.4.5)
• Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8)

Registration Number: 224-P010015217A-000-000-0000000-0000
Registration Date/Time: 2024-02-05 09:51:08
HERS Provider: CalCERTS, Inc.
CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220901
Report Generated: 2024-02-05 09:36:10

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Sima Court ADU Calculation Date/Time: 2024-02-05T09:35:36-08:00
Calculation Description: Title 24 Analysis Input File Name: Sima Court ADU (10721).rbd22x

CF1R-PRF-01E (Page 7 of 10)

Table with 8 columns: 01 Construction Name, 02 Surface Type, 03 Construction Type, 04 Framing, 05 Total Cavity R-value, 06 Interior / Exterior Continuous R-value, 07 U-Factor, 08 Assembly Layers

Table with 5 columns: 01 Quality Insulation Installation (QII), 02 High R-value Spray Foam Insulation, 03 Building Envelope Air Leakage, 04 CFM50, 05 CFM50

Table with 9 columns: 01 Name, 02 System Type, 03 Distribution Type, 04 Water Heater Name, 05 Number of Units, 06 Solar Heating System, 07 Compact Distribution, 08 HERS Verification, 09 Water Heater Name (#)

Table with 8 columns: 01 Name, 02 # of Units, 03 Tank Vol. (gal), 04 NEEA Heat Pump Brand, 05 NEEA Heat Pump Model, 06 Tank Location, 07 Duct Inlet Air Source, 08 Duct Outlet Air Source

Registration Number: 224-P010015217A-000-000-0000000-0000 Registration Date/Time: 2024-02-05 09:51:08 HERS Provider: CaCERTS inc.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Sima Court ADU Calculation Date/Time: 2024-02-05T09:35:36-08:00
Calculation Description: Title 24 Analysis Input File Name: Sima Court ADU (10721).rbd22x

CF1R-PRF-01E (Page 10 of 10)

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I, I certify that this Certificate of Compliance documentation is accurate and complete.

Table with 2 columns: Documentation Author Name/Signature, Company/Address/Phone

RESPONSIBLE PERSON'S DECLARATION STATEMENT

- I certify the following under penalty of perjury under the laws of the State of California:
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Table with 2 columns: Responsible Designer Name/Signature, Company/Address/Phone

Digitally signed by CaCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 224-P010015217A-000-000-0000000-0000 Registration Date/Time: 2024-02-05 09:51:08 HERS Provider: CaCERTS inc.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Sima Court ADU Calculation Date/Time: 2024-02-05T09:35:36-08:00
Calculation Description: Title 24 Analysis Input File Name: Sima Court ADU (10721).rbd22x

CF1R-PRF-01E (Page 8 of 10)

Table with 7 columns: 01 Name, 02 Pipe Insulation, 03 Parallel Piping, 04 Compact Distribution, 05 Compact Distribution Type, 06 Recirculation Control, 07 Shower Drain Water Heat Recovery

Table with 9 columns: 01 Name, 02 System Type, 03 Heating Unit Name, 04 Heating Equipment Count, 05 Cooling Unit Name, 06 Cooling Equipment Count, 07 Fan Name, 08 Distribution Name, 09 Required Thermostat Type

Table with 13 columns: 01 Name, 02 System Type, 03 Number of Units, 04 Heating Efficiency Type, 05 HSPF/HSPF2/COP, 06 Cap 47, 07 Cap 17, 08 Cooling Efficiency Type, 09 SEER/SEER2, 10 EER/EER2/CEER, 11 Zonally Controlled, 12 Compressor Type, 13 HERS Verification

Table with 9 columns: 01 Name, 02 Verified Airflow, 03 Airflow Target, 04 Verified EER/EER2, 05 Verified SEER/SEER2, 06 Verified Refrigerant Charge, 07 Verified HSPF/HSPF2, 08 Verified Heating Cap 47, 09 Verified Heating Cap 17

Registration Number: 224-P010015217A-000-000-0000000-0000 Registration Date/Time: 2024-02-05 09:51:08 HERS Provider: CaCERTS inc.

RESIDENTIAL MEASURES SUMMARY

Project Name: Sima Court ADU Building Type: Single Family Addition Alone Date: 2/5/2024
Project Address: 10721 Sima Court, SanTEE California Energy Climate Zone: CA Climate Zone 10 Total Cond. Floor Area: 674 Addition: n/a # of Units: 1

Table with 5 columns: Construction Type, Cavity, Area (ft²), Special Features, Status

Table with 7 columns: Fenestration Orientation, Area (ft²), U-Fac, SHGC, Overhang, Sidesfins, Exterior Shades, Status

Table with 6 columns: HVAC Systems Qty, Heating, Min. Eff, Cooling, Min. Eff, Thermostat, Status

Table with 6 columns: HVAC Distribution Location, Heating, Cooling, Duct Location, Duct R-Value, Status

Table with 5 columns: Water Heating Qty, Type, Gallons, Min. Eff, Distribution, Status

EnergyPro 9.2 by EnergySoft User Number: 6249 ID: 24-20252 Page: 13 of 19

2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

Table with 2 columns: Building Envelope (110.6(a)1-110.8(j)), Fireplaces, Decorative Gas Appliances, and Gas Log (150.0(a)1-150.0(e)3), Space Conditioning, Water Heating, and Plumbing System (110.0-110.3, 110.2(a), 110.2(b), 110.2(c), 110.3(c)3, 110.3(c)6)

5/6/22

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

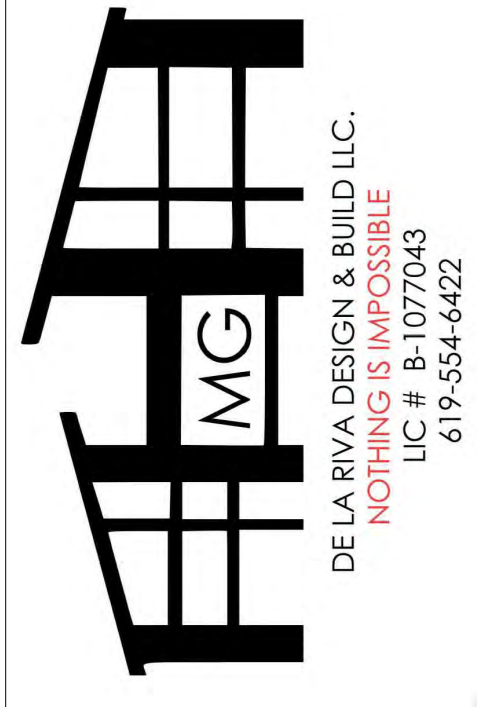
Project Name: Sima Court ADU Calculation Date/Time: 2024-02-05T09:35:36-08:00
Calculation Description: Title 24 Analysis Input File Name: Sima Court ADU (10721).rbd22x

CF1R-PRF-01E (Page 9 of 10)

Table with 10 columns: 01 Name, 02 Certified Low-Static VCHP System, 03 Airflow to Habitable Rooms, 04 Ductless Units in Conditioned Space, 05 Wall Mount Thermostat, 06 Air Filter Sizing & Pressure Drop Rating, 07 Low Leakage Ducts in Conditioned Space, 08 Minimum Airflow per IAQ.3 and SC3.3.4.1, 09 Certified non-continuous Fan, 10 Indoor Fan not Running Continuously

Table with 9 columns: 01 Dwelling Unit, 02 Airflow (CFM), 03 Fan Efficacy (W/CFM), 04 IAQ Fan Type, 05 Includes Heat/Energy Recovery?, 06 IAQ Recovery Effectiveness - SRE/ASRE, 07 Includes Fault Indicator Display?, 08 HERS Verification, 09 Status

Registration Number: 224-P010015217A-000-000-0000000-0000 Registration Date/Time: 2024-02-05 09:51:08 HERS Provider: CaCERTS inc.



2305 SWEETWATER RD
SPRING VALLEY CA 91977
CELL 619.554.6422

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COOK ADU
10721 SIMA CT
SANTEE CA 92071

Drawn By GERARDO
Date 02.16.24
Recheck #1 07.25.24
Revision #2
Recheck #3
APN: 378-461-18-00
Scale PER DRAWING
Page #

T-2



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code (e.g., § 110.5, § 150.0(h)1) and Description (e.g., Pilot Lights, Building Cooling and Heating Loads, Clearances).

Table with 2 columns: Code (e.g., § 110.8(i)3, § 150.0(m)1) and Description (e.g., Ducts and Fans, Ducts, CMV Compliance, Field-Fabricated Duct Systems).

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code (e.g., § 150.0(s), § 150.0(t)) and Description (e.g., Energy Storage System (ESS) Ready, Heat Pump Space Heater Ready).

*Exceptions may apply.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code (e.g., § 150.0(m)13) and Description (Space Conditioning System Airflow Rate and Fan Efficacy).

Table with 2 columns: Code (e.g., § 150.0(o)1, § 150.0(o)1B) and Description (Ventilation and Indoor Air Quality, Requirements for Ventilation and Indoor Air Quality).

Table with 2 columns: Code (e.g., § 110.4(a), § 110.4(b)1) and Description (Pool and Spa Systems and Equipment, Certification by Manufacturers).

Table with 2 columns: Code (e.g., § 110.9, § 150.0(k)1A) and Description (Lighting, Lighting Controls and Components, Luminaire Efficacy).

5/6/22

ROOM LOAD SUMMARY

Table with columns: Project Name, Date, System Name, Floor Area.

Table with columns: Zone Name, Room Name, Mult., ROOM COOLING PEAK, COIL COOLING PEAK, COIL HTG. PEAK.

Summary table with columns: PAGE TOTAL, TOTAL *.

* Total includes ventilation load for zonal systems.



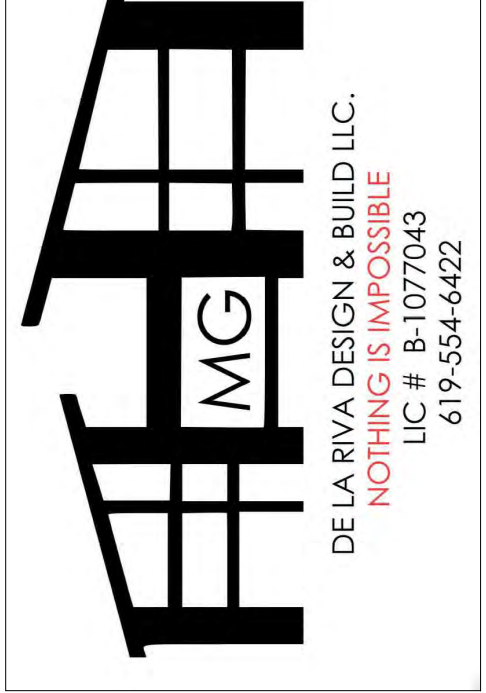
2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code (e.g., § 150.0(k)1G, § 150.0(k)1H) and Description (Screw based luminaires, Light Sources in Enclosed or Recessed Luminaires).

Table with 2 columns: Code (e.g., § 110.10(a)1, § 110.10(b)1A) and Description (Solar Readiness, Single-family Residences, Minimum Solar Zone Area).

Electric and Energy Storage Ready:

5/6/22



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COOK ADU
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SANTEE CA 92071



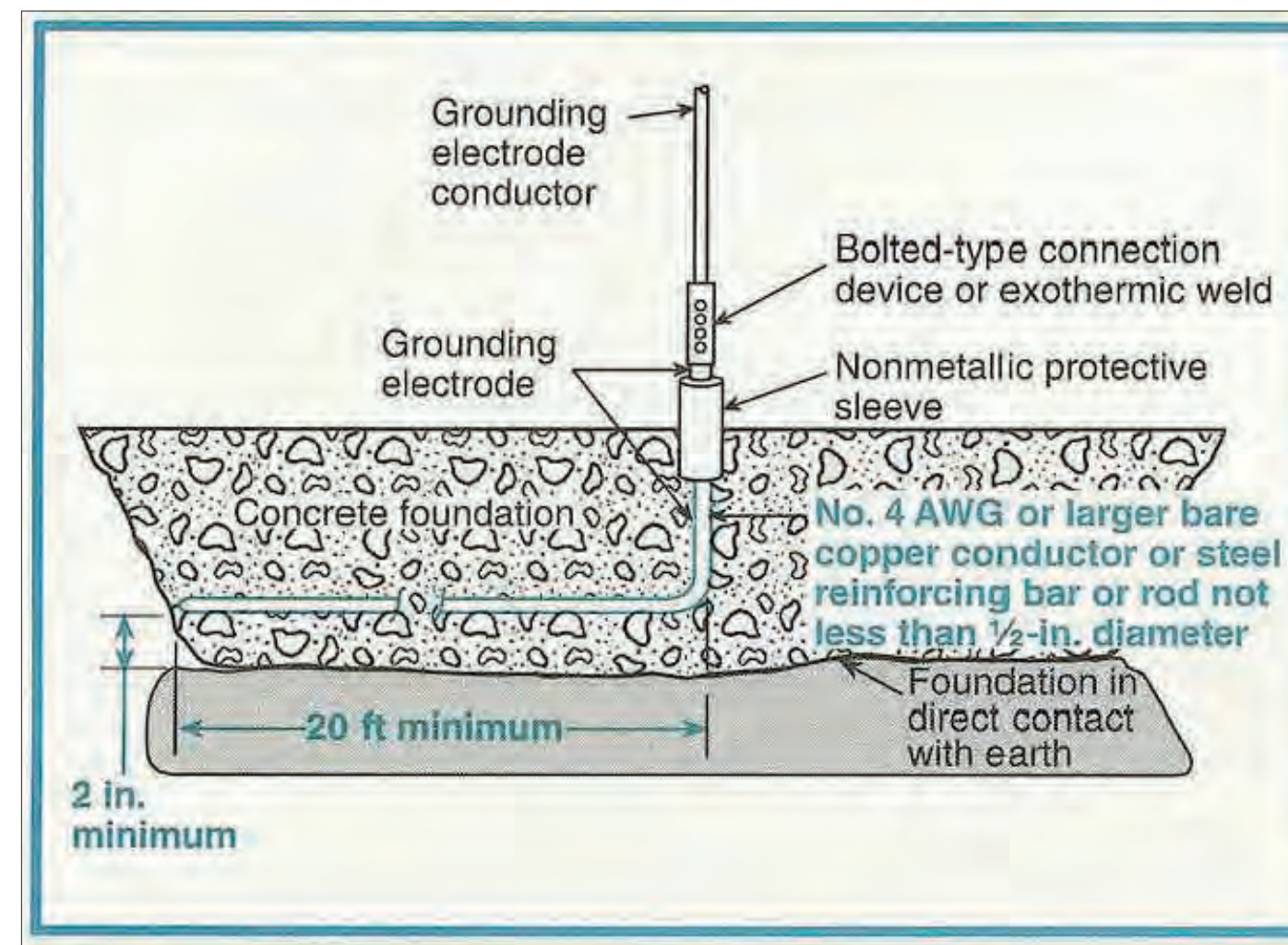
Table with columns: Drawn By, Date, Recheck #1, Revision #2, Recheck #3, APN, Scale, PER DRAWING.

Page #

T-3

FOUNDATION NOTES

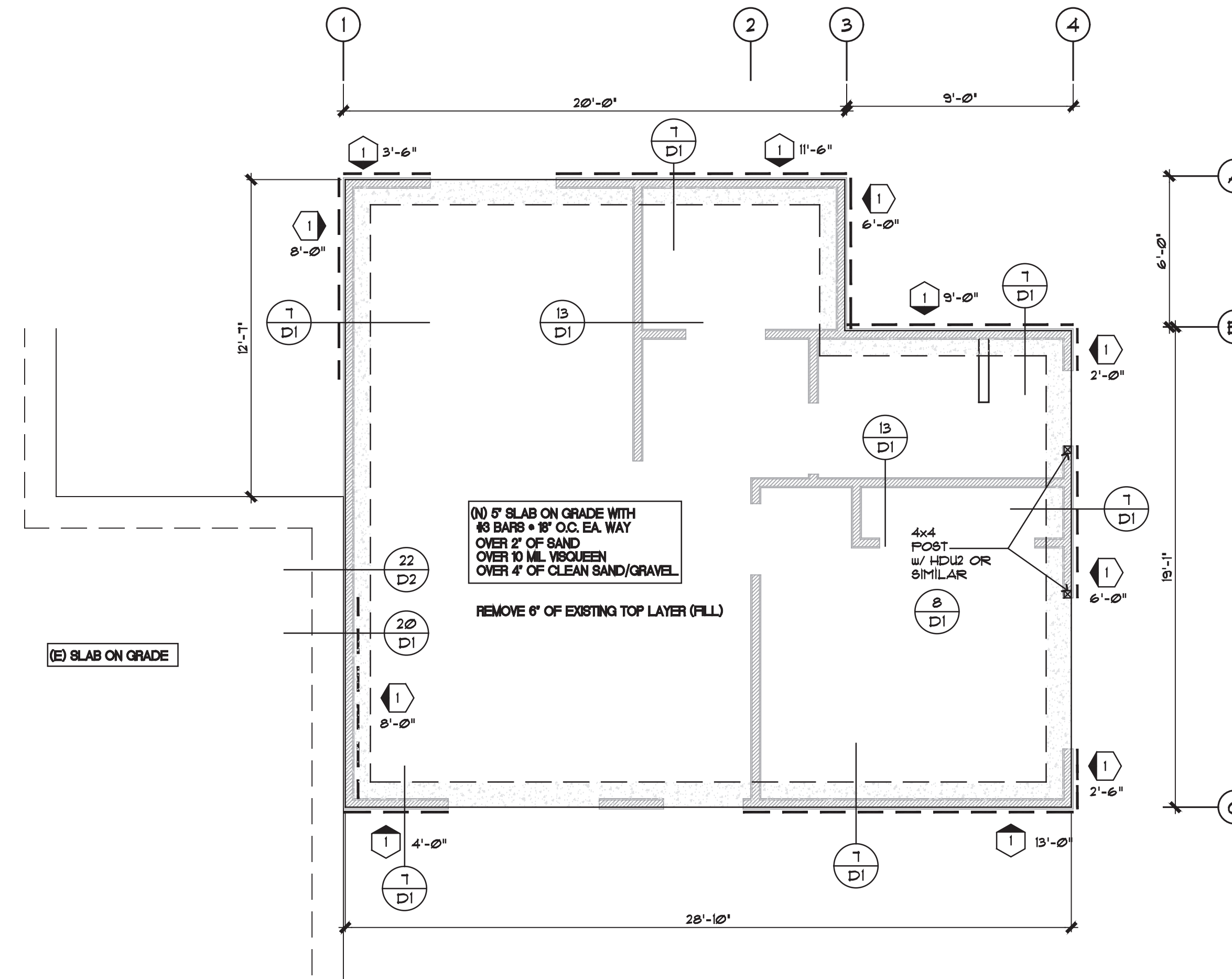
- ALL ANCHOR BOLTS SHALL BE $\frac{5}{8}$ " DIAMETER AND HAVE A MINIMUM EMBEDMENT OF 7 INCHES INTO CONCRETE (U.N.O.) AND NOT SPACED MORE THAN 6 FEET APART
- 3"x3"x0.229" PLATE WASHERS SHALL BE USED ON EACH SILL PLATE ANCHOR BOLT
- FOR STANDARD CUT WASHERS PLACED BETWEEN PLATE WASHER AND NUT, HOLE IN PLATE WASHER MAY BE DIAGONALLY SLOTTED WITH MAXIMUM $\frac{3}{16}$ " LARGER WIDTH THAN BOLT DIAMETER AND MAXIMUM 1-3/4" SLOT LENGTH
- PROVIDE A MINIMUM OF TWO ANCHOR BOLTS PER SILL PLATE WITH ONE BOLT LOCATED MAXIMUM 12" AND MINIMUM 7 BOLT DIAMETERS FROM EACH END OF EACH SECTION.
- BOLTS LOCATED IN THE MIDDLE THIRD OF THE SILL PLATE WIDTH
- FASTENERS FOR PRESSURE-PRESERVATIVE TREATED AND FIRE RETARDANT TREATED WOOD SHALL BE HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL OR COPPER
- NO LPG PIPING ASSEMBLIES ALLOWED IN OR BENEATH SLABS WITHIN THE STRUCTURE
- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET. SECTION R401.3, SECTION 1804.4



CONCRETE: 3,000psi WITH WATER/CEMENT RATIO 0.50
(NO SPECIAL INSPECTION REQUIRED)



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FOUNDATION PLAN

SCALE: 1/4"=1'-0"

MARK	MINIMUM NAIL		MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMUNAL PANEL THICKNESS (in)	MAXIMUM WALL STUD SPACING (in)	PANEL NAIL SPACING	
	SIZE	PENETRATION (in)				EDGES (inches o/c)	FIELD (inches o/c)
1	6D COMMON	1.5	24:0	$\frac{3}{8}$ "	16	6	12
	8D COMMON	1.75	24:16	$\frac{7}{16}$ "	16	6	12

WOOD STRUCTURAL PANELS SHALL CONFORM TO DOC. PS 1, DOC PS 2 OR ANSI/APA PRP 210, CSA O437 OR CSA O325. PANELS SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY AN APPROVED AGENCY

VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER AND BE FASTENED TO COMMON STUDS.
HORIZONTAL JOINTS IN BRACED WALL PANELS SHALL OCCUR OVER AND BE FASTENED TO COMMON BLOCKING OF A MINIMUM 1 1/2 INCH THICKNESS.

WALL LEGEND	
	EXISTING WALL TO BE REMOVED
	EXISTING 2 x 3 STUD WALL TO REMAIN
	NEW 2 x 3 STUD WALL TO MATCH EXISTING FRAMED @ 16" O.C.
	NEW 2 x 4 STUD WALL FRAMED @ 16" O.C.
	NEW 2 x 6 STUD WALL FRAMED @ 16" O.C.

COOK ADU
10721 SIMA CT
SANTEE CA 92071

Drawn By GERARDO

Date 02.16.24

Recheck #1 07.09.24

Revision #2

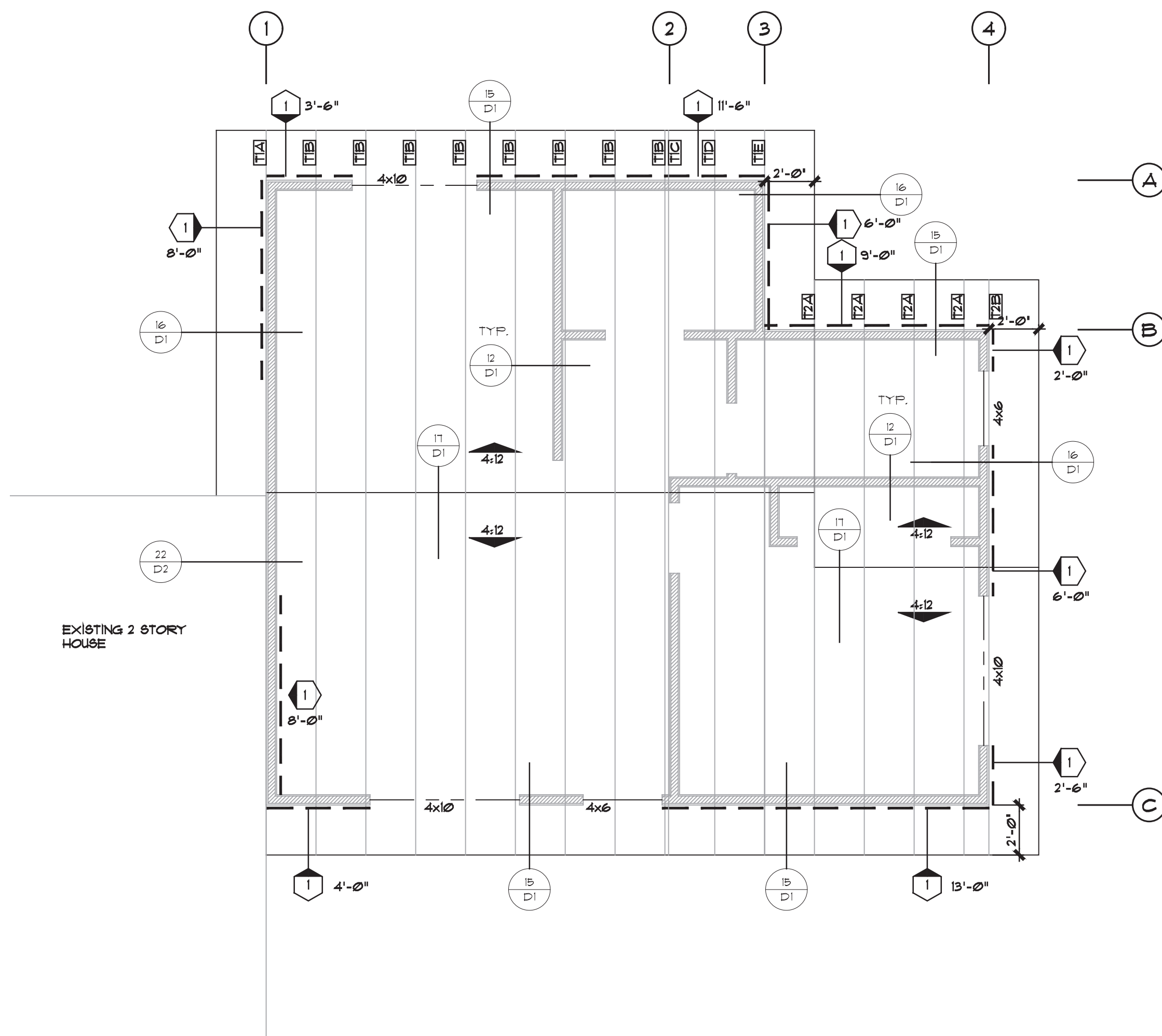
Recheck #3

APN: 378-461-18-00

Scale PER DRAWING

Page #

S.1



ROOF FRAMING PLAN

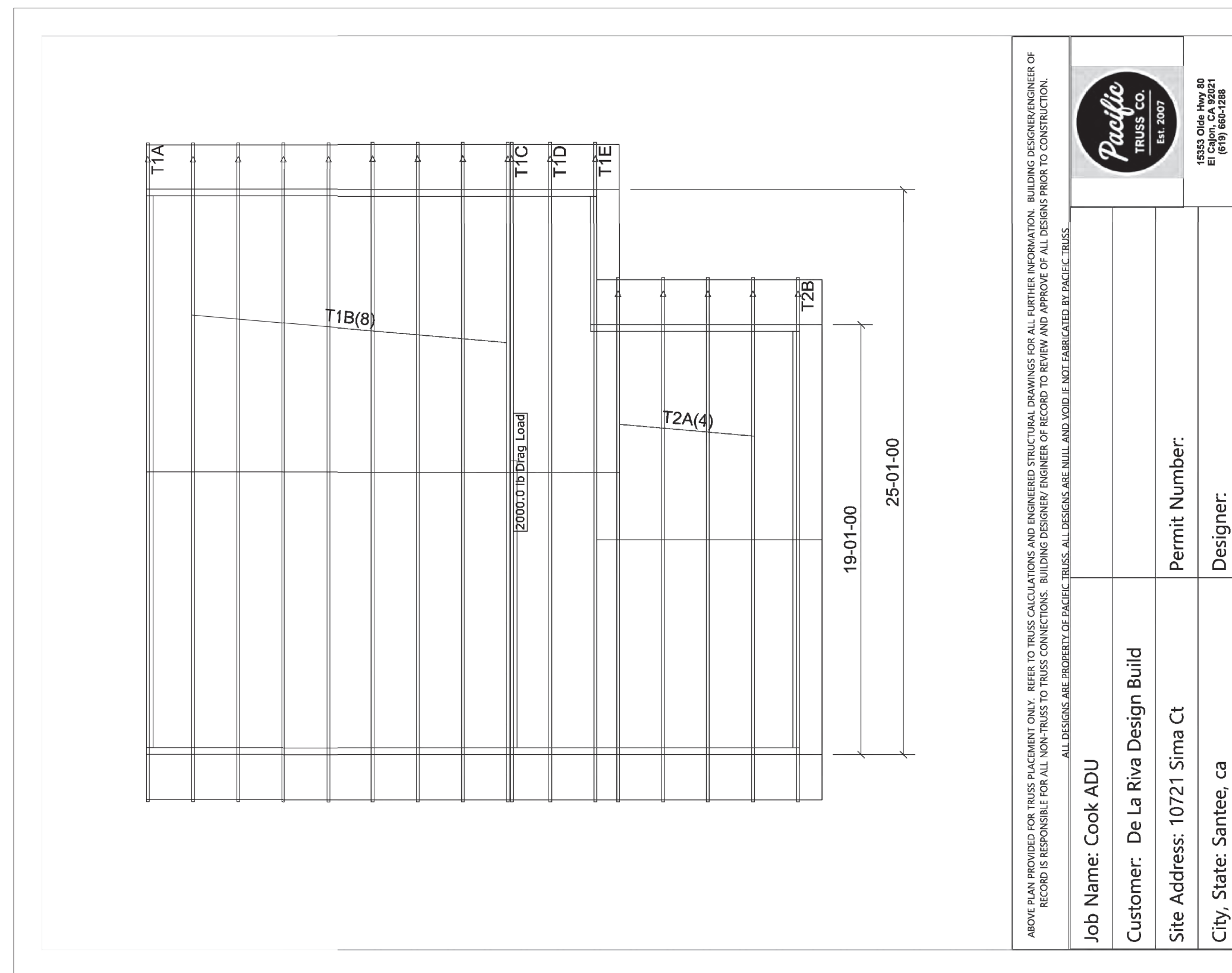
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WOOD STRUCTURAL PANEL SHEATHING							
MARK	MINIMUM NAIL		MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMUNAL PANEL THICKNESS (in)	MAXIMUM WALL STUD SPACING (in)	PANEL NAIL SPACING	
	SIZE	PENETRATION (in)				EDGES (inches o/c)	FIELD (inches o/c)
1	6D COMMON	1.5	24:0	3/8"	16	6	12
	8D COMMON	1.75	24:16	7/16"	16	6	12

WOOD STRUCTURAL PANELS SHALL CONFORM TO DOC PS 1, DOC PS 2 OR ANSI/APA PRP 210, CSA 0437 OR CSA 0325. PANELS SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY AN APPROVED AGENCY

VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER AND BE FASTENED TO COMMON STUDS.

HORIZONTAL JOINTS IN BRACED WALL PANELS SHALL OCCUR OVER AND BE FASTENED TO COMMON BLOCKING OF A MINIMUM 1 1/2 INCH THICKNESS.



APPROVAL FOR GENERAL COMPLIANCE WITH STRUCTURAL CONTRACT DOCUMENTS

APPROVED Fabrication may proceed as shown

APPROVED AS CORRECTED Fabrication may proceed based on corrections indicated

APPROVED AS CORRECTED RESUBMIT FILE COPY Fabrication may proceed based on corrections indicated. Correct submission to resubmit for record purposes only.

DISAPPROVED Resubmit for approval.

REVIEWED FOR INFORMATION Approval not required. Accepted for information purposes only.

Approval is for general compliance with the structural contract documents only. This approval assumes no responsibility for dimension, quantities and conditions that pertain to fabrication and installation or for processes and techniques of construction. The Contractor is responsible for coordination of the work of all trades and the performance of this work in a safe and satisfactory manner.

BY: M. Lovelace DATE: _____

LOVELACE ENGINEERING, INC.
5930 Cornerstone Court W. Suite 100 • San Diego, CA 92121

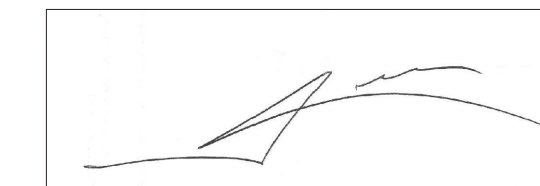
ROOF SHEATHING

15/32" APA-RATED SHEATHING, EXPOSURE 1,
24" MINIMUM SPAN RATING,
Bd COMMON NAILS @ 6" o.c. B.N. & E.N.,
Bd COMMON NAILS @ 12" o.c. INT. FRAMING

Approved
08/13/2024 9:16:41 AM

NOTE: BASIS OF DESIGN OF STRUCTURES IS CONVENTIONAL LIGHT-FRAME CONSTRUCTION USING DESIGN PARAMETERS PER CALIFORNIA RESIDENTIAL CODE

NOTE:
I GERARDO DE LA RIVA AS THE DESIGNER OF THIS PROJECT HAS REVIEWED THE TRUSS CALCULATIONS PREPARED BY OTHERS.



Santee
DO MORE • DUE EAST

PLANS APPROVED BY THE CITY OF SANTEE BUILDING INSPECTION DIVISION SUBJECT TO THE FOLLOWING:
Plans are accepted for construction subject to the requirements of the California Housing Law and the building laws of the City of Santee, California. The stamping or watermarking of these plans and specifications SHALL NOT be held to permit or approve the violation of any City, County, State, Federal Laws or other restrictions.

APPROVED FOR CONSTRUCTION
Permit # B-ADU-24-0012
Reviewed by Ftanguilig
Date: August 30, 2024

WALL LEGEND

--- EXISTING WALL TO BE REMOVED

==== EXISTING 2 x 2 STUD WALL TO REMAIN

==== NEW 2 x 3 STUD WALL TO MATCH EXISTING FRAMED @ 16" O.C.

==== NEW 2 x 4 STUD WALL FRAMED @ 16" O.C.

==== NEW 2 x 6 STUD WALL FRAMED @ 16" O.C.

MG

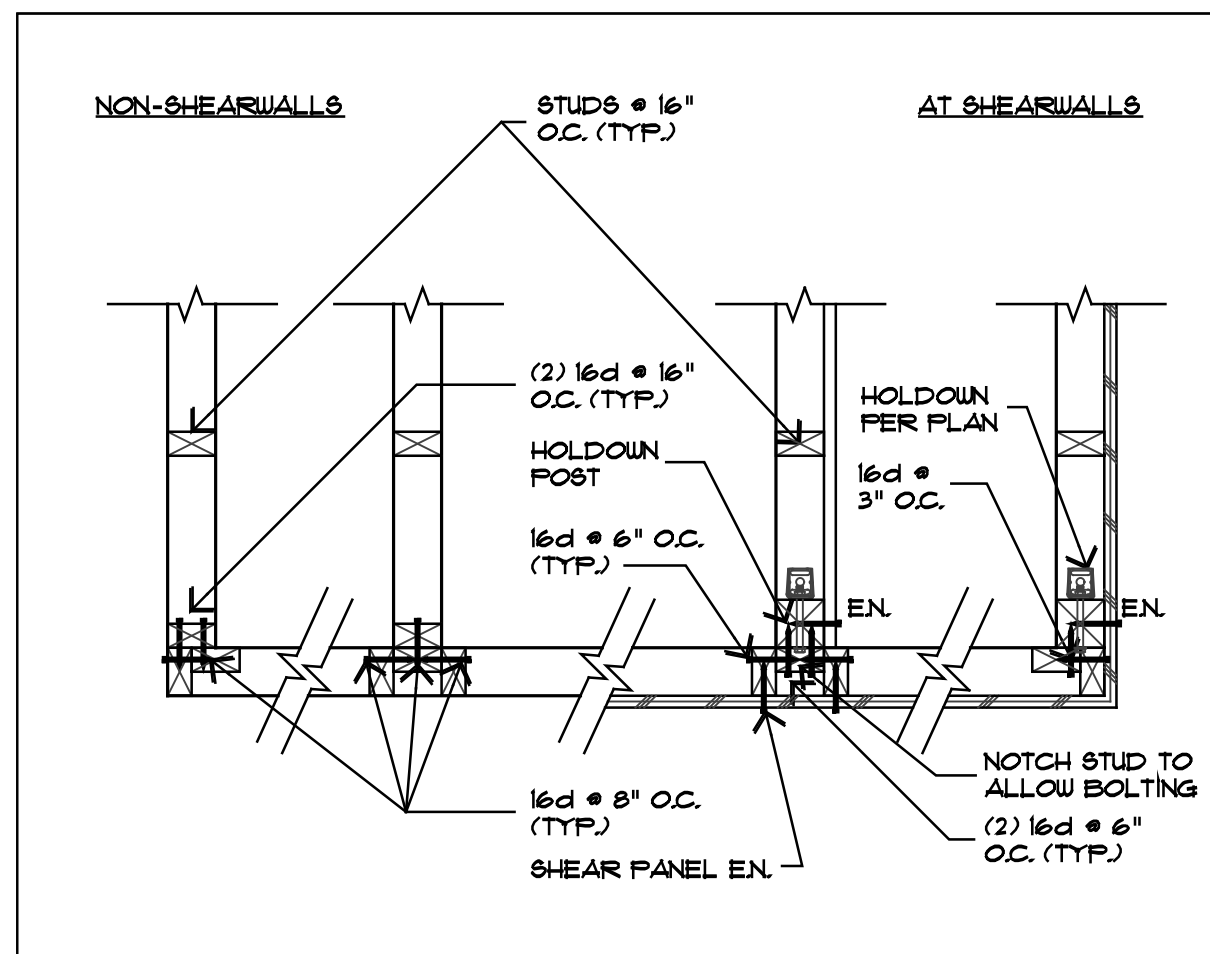
DE LA RIVA DESIGN & BUILD LLC.
NOTHING IS IMPOSSIBLE
LIC # B-1077043
619-554-6422

**2305 SWEETWATER RD
SPRING VALLEY CA 91977
CELL 619.554.6422**

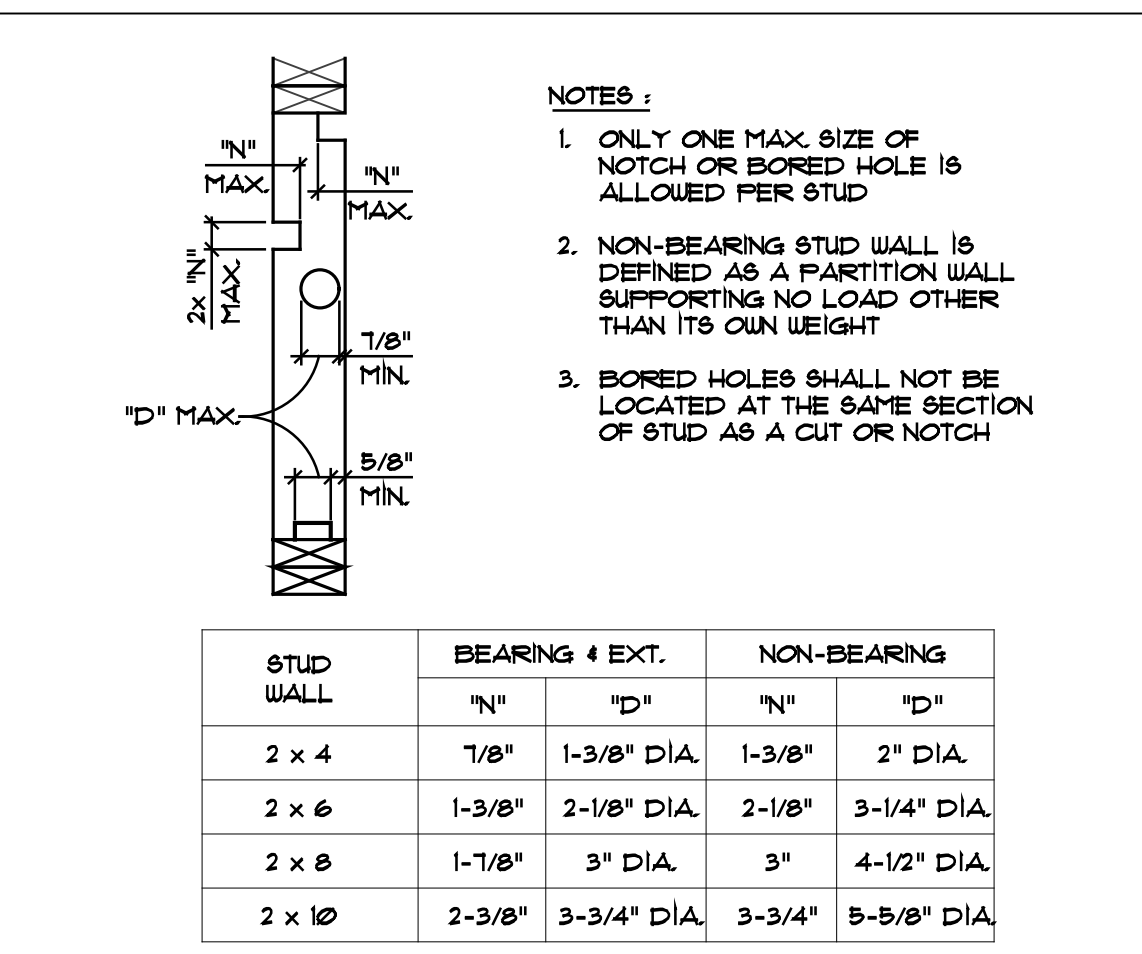
COOK ADU
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Recheck #3
APN: 378-461-18-00
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Page #

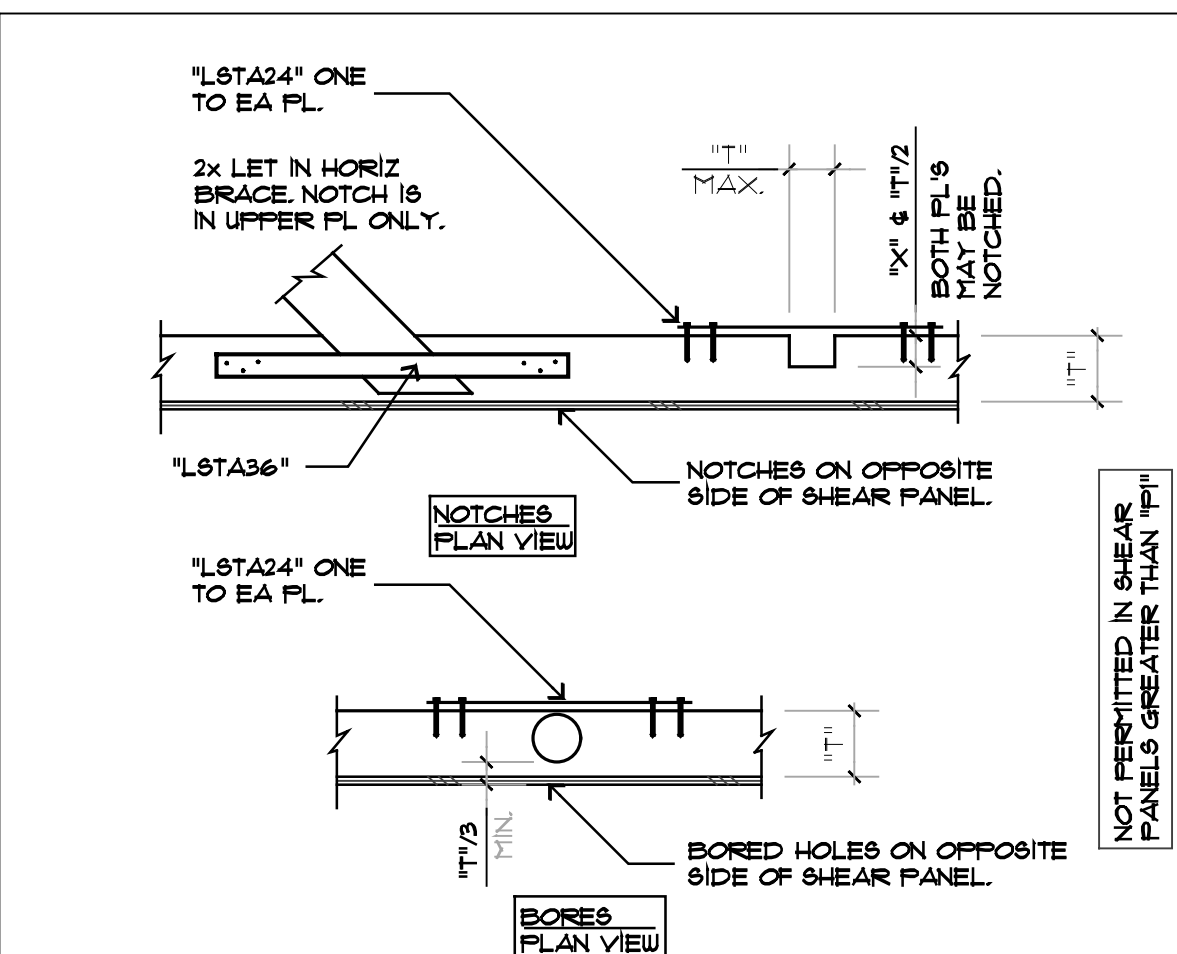
S.2



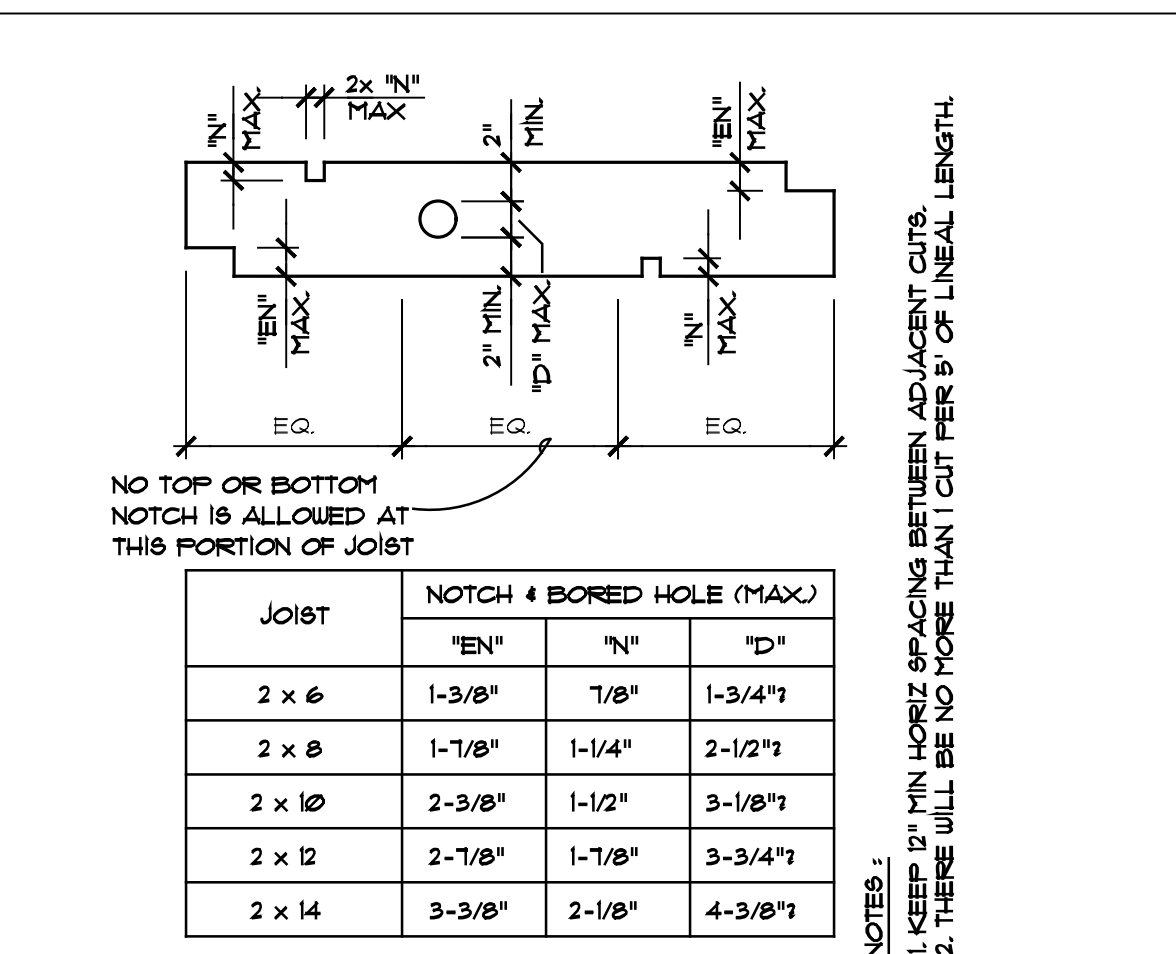
1 TYP. STUD PLACEMENT @ INT. (PLAN)
SCALE: NONE



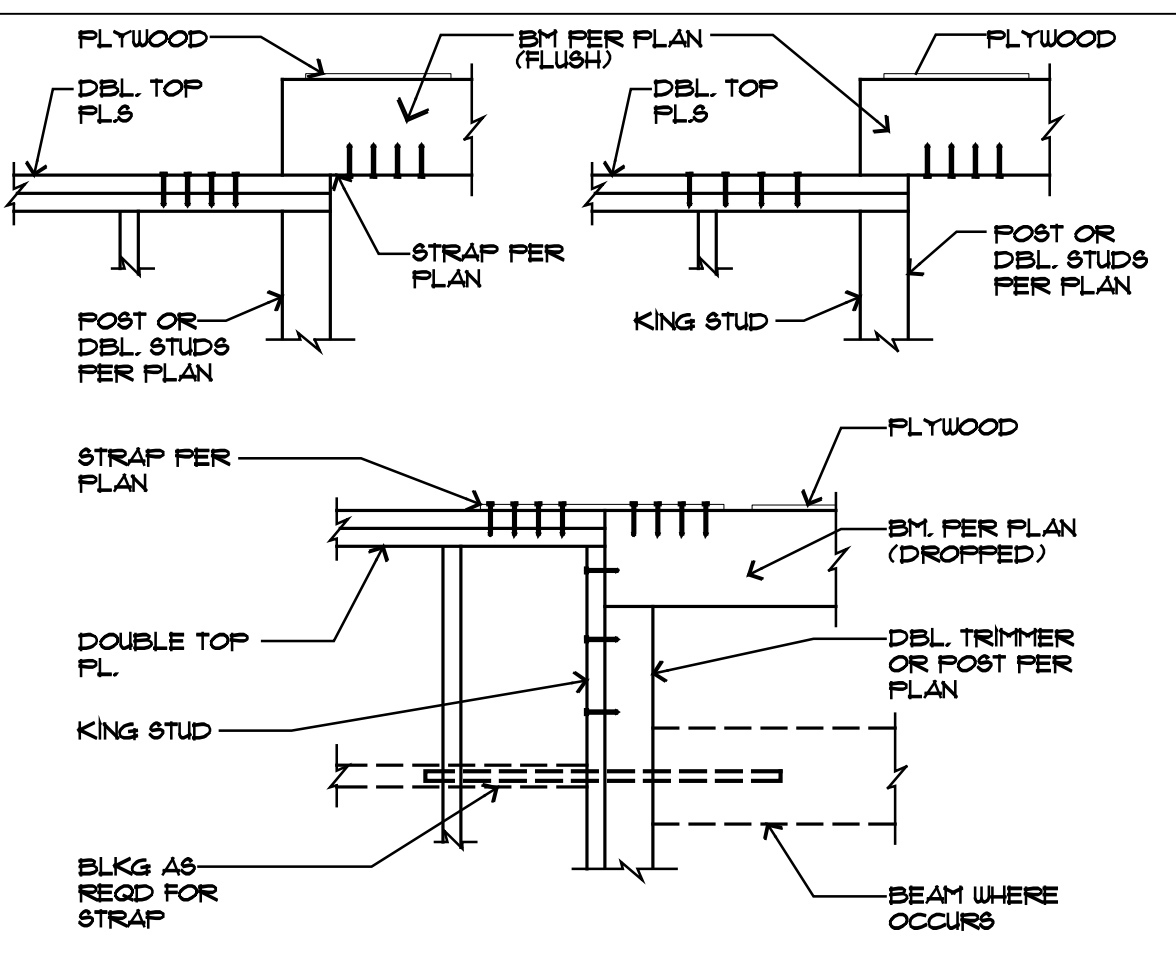
2 CUTS IN STUDS & DBL TOP PL'S
SCALE: NONE



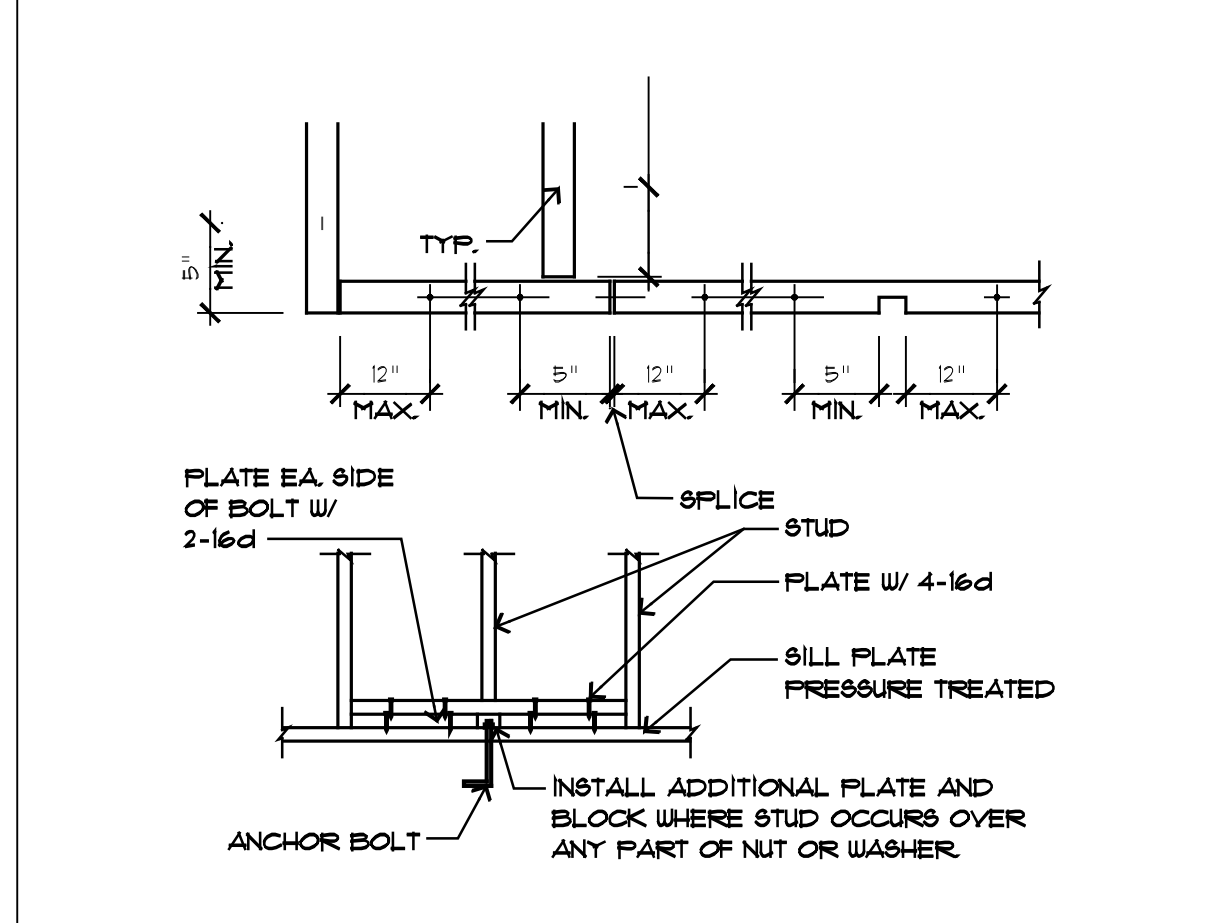
3 OVER-CUTS IN DBL. TOP PLATES
SCALE: NONE
CUT = NOTCH OR BORE



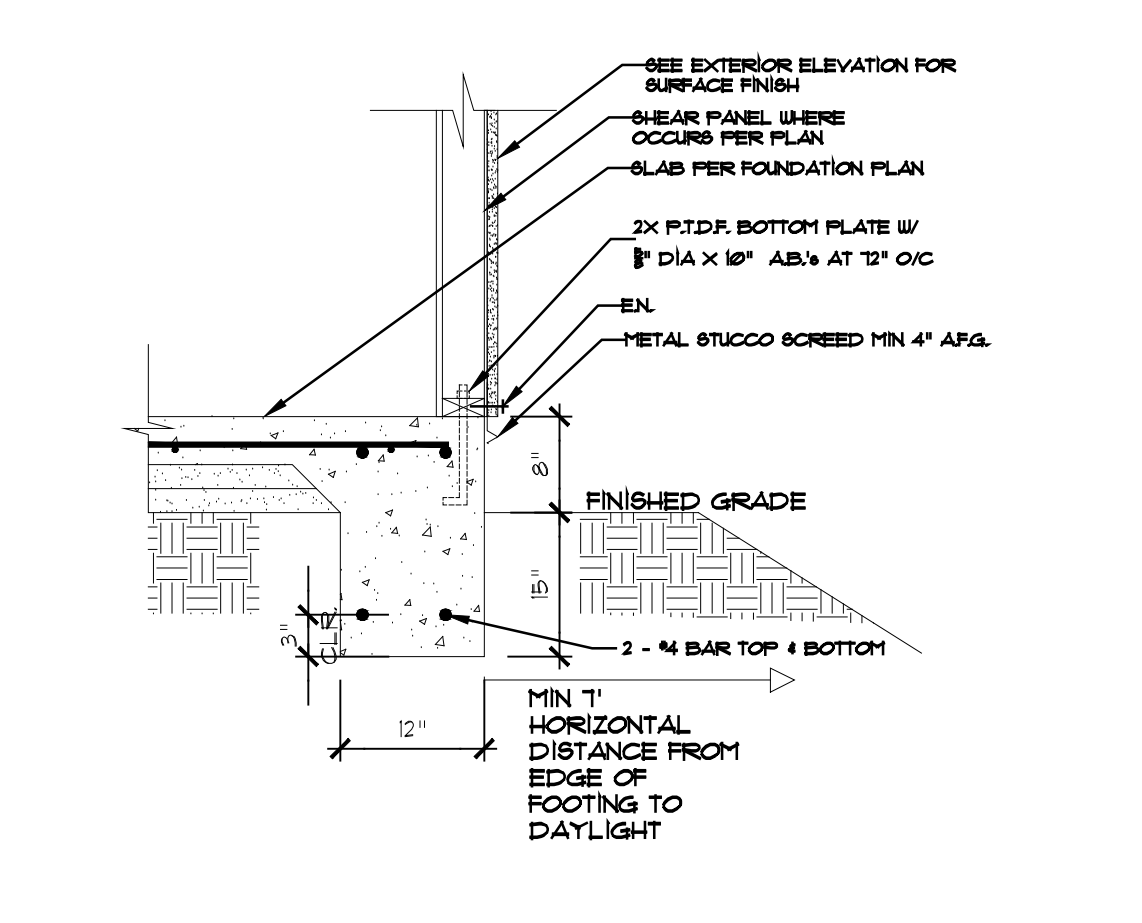
4 CUTS IN JOIST & RAFTERS
SCALE: NONE
CUT = NOTCH OR BORE



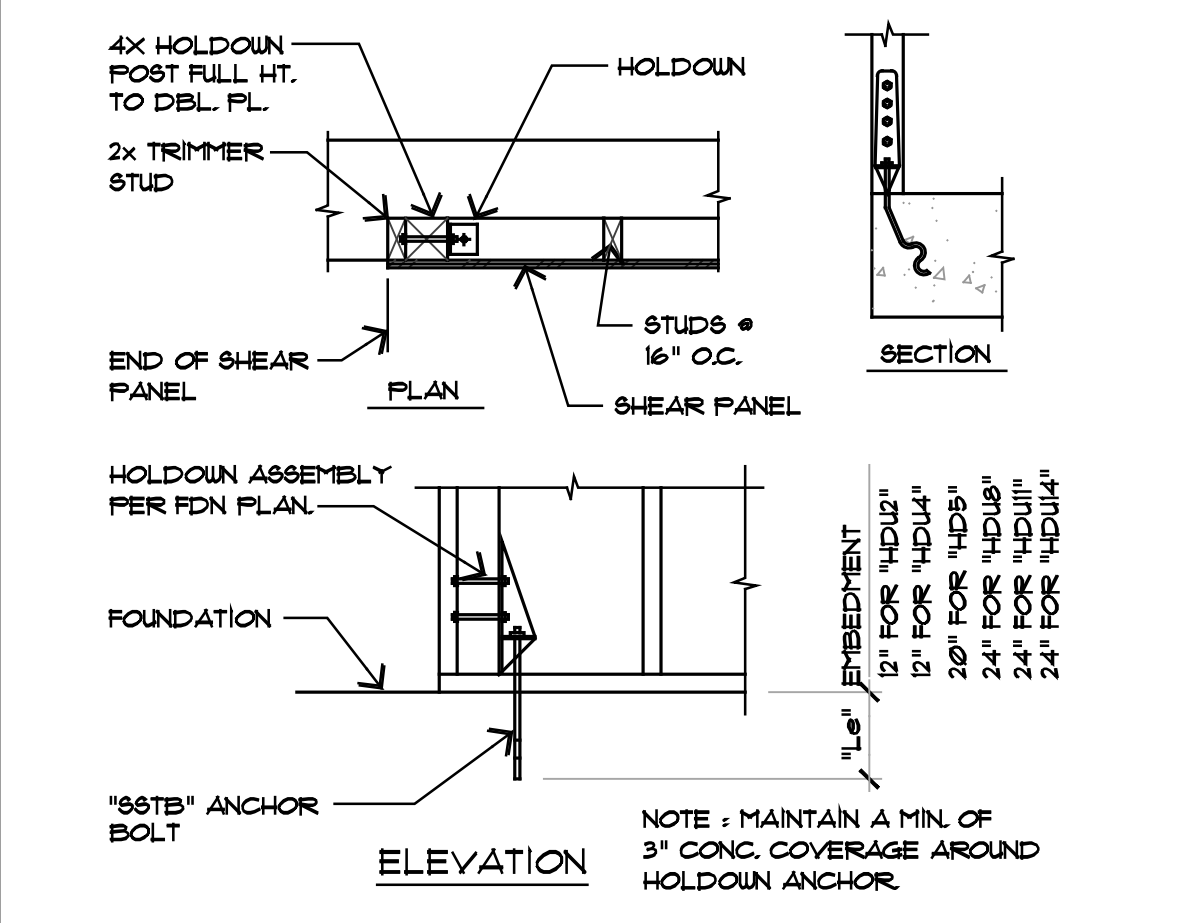
5 TYP. BM. TO TOP PLATE
SCALE: NONE



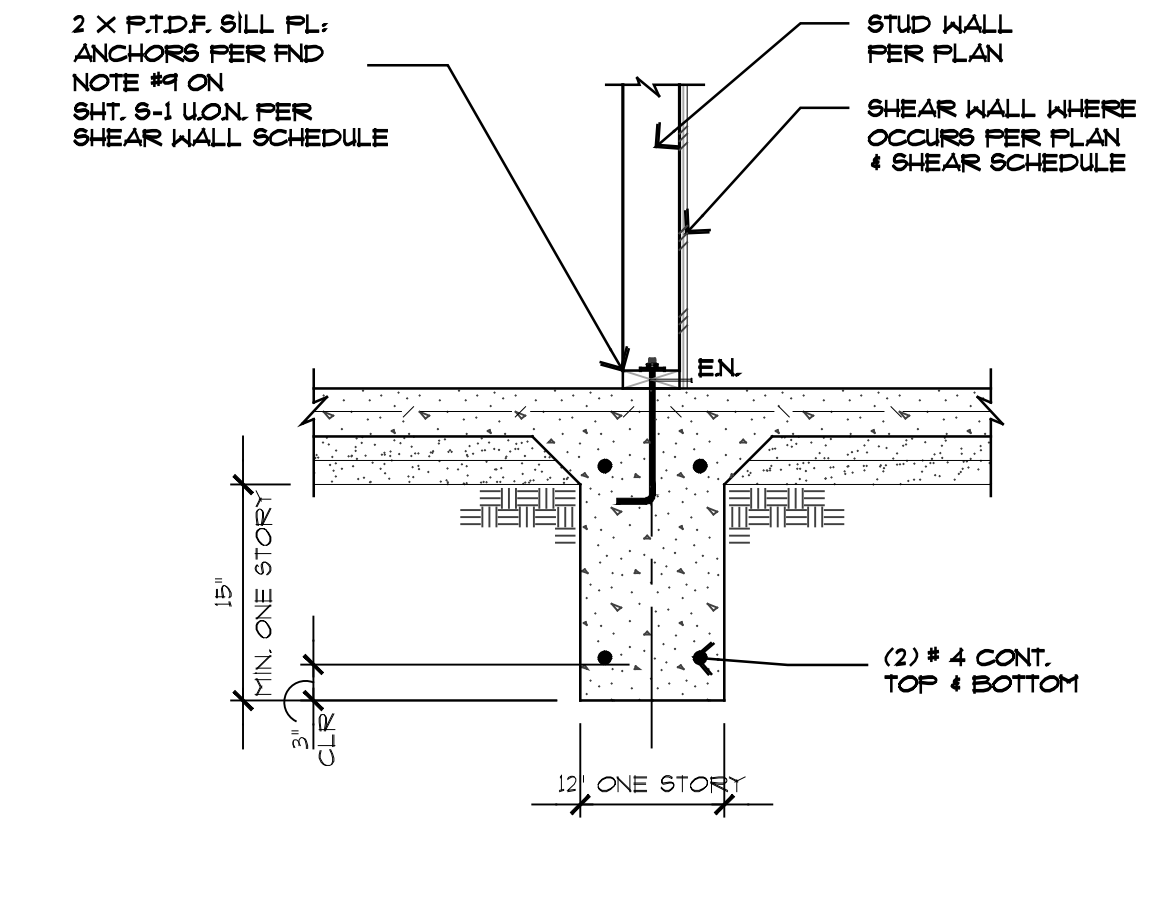
6 ANCHOR BOLTS LAYOUT
SCALE: NONE



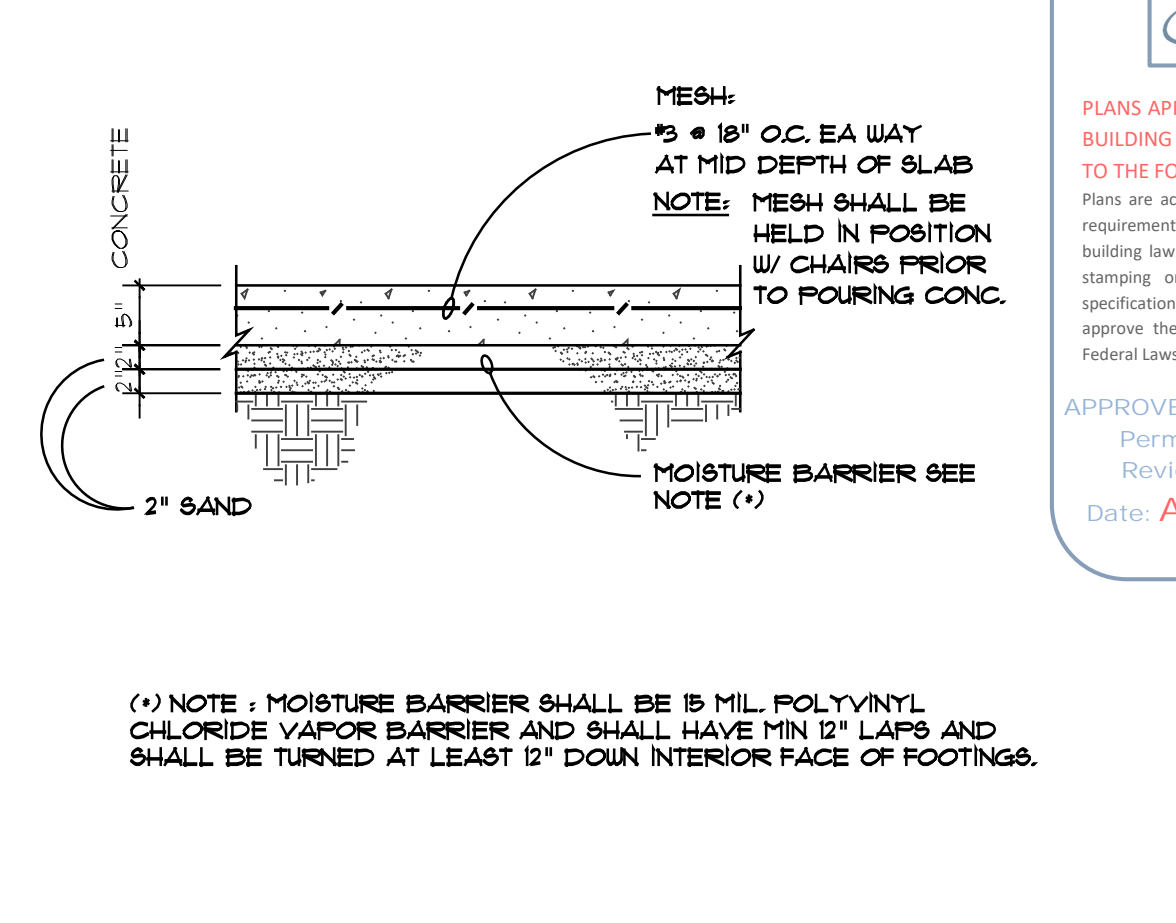
7 PERIMETER FOOTING
SCALE: NONE



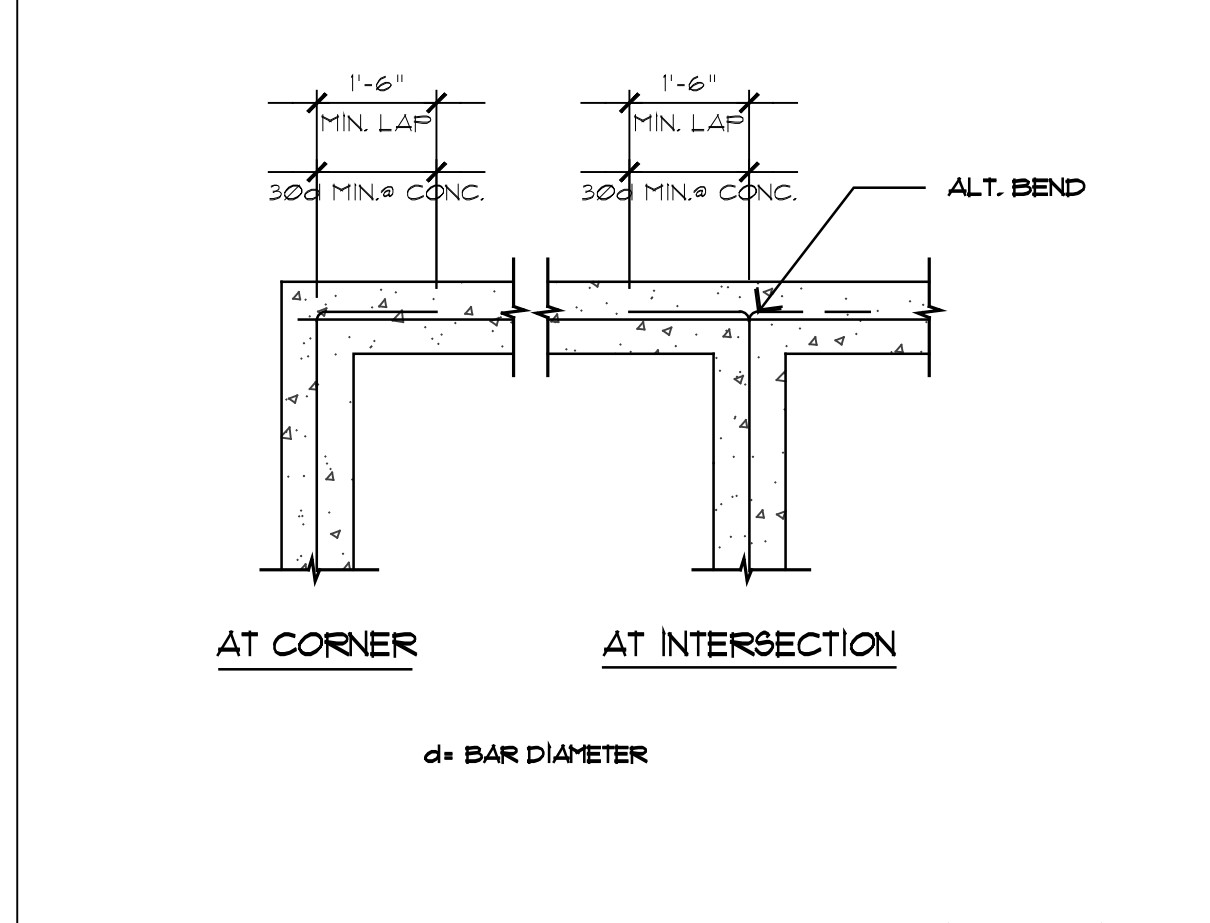
8 HOLDOWN ANCHOR DETAIL
SCALE: N.T.S.



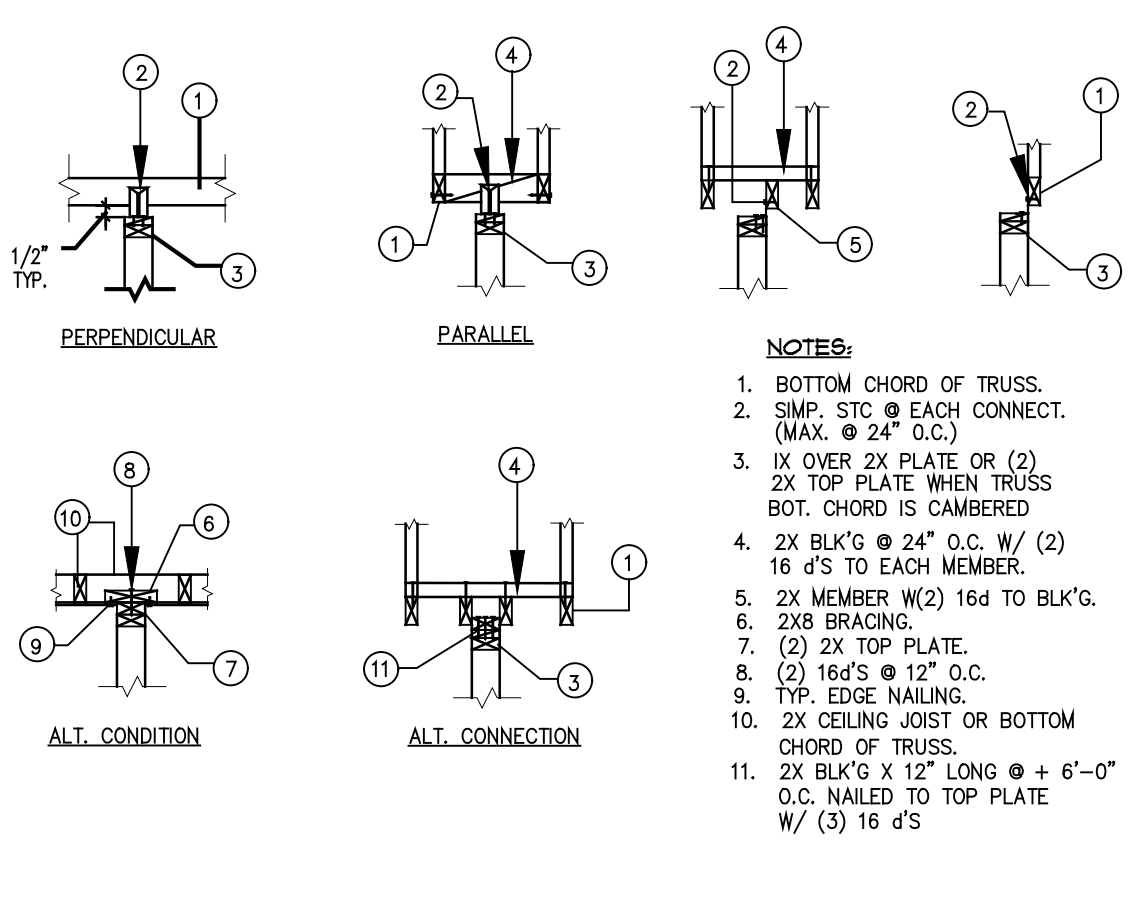
9 INT. STUD WALL FOOTING
SCALE: NONE



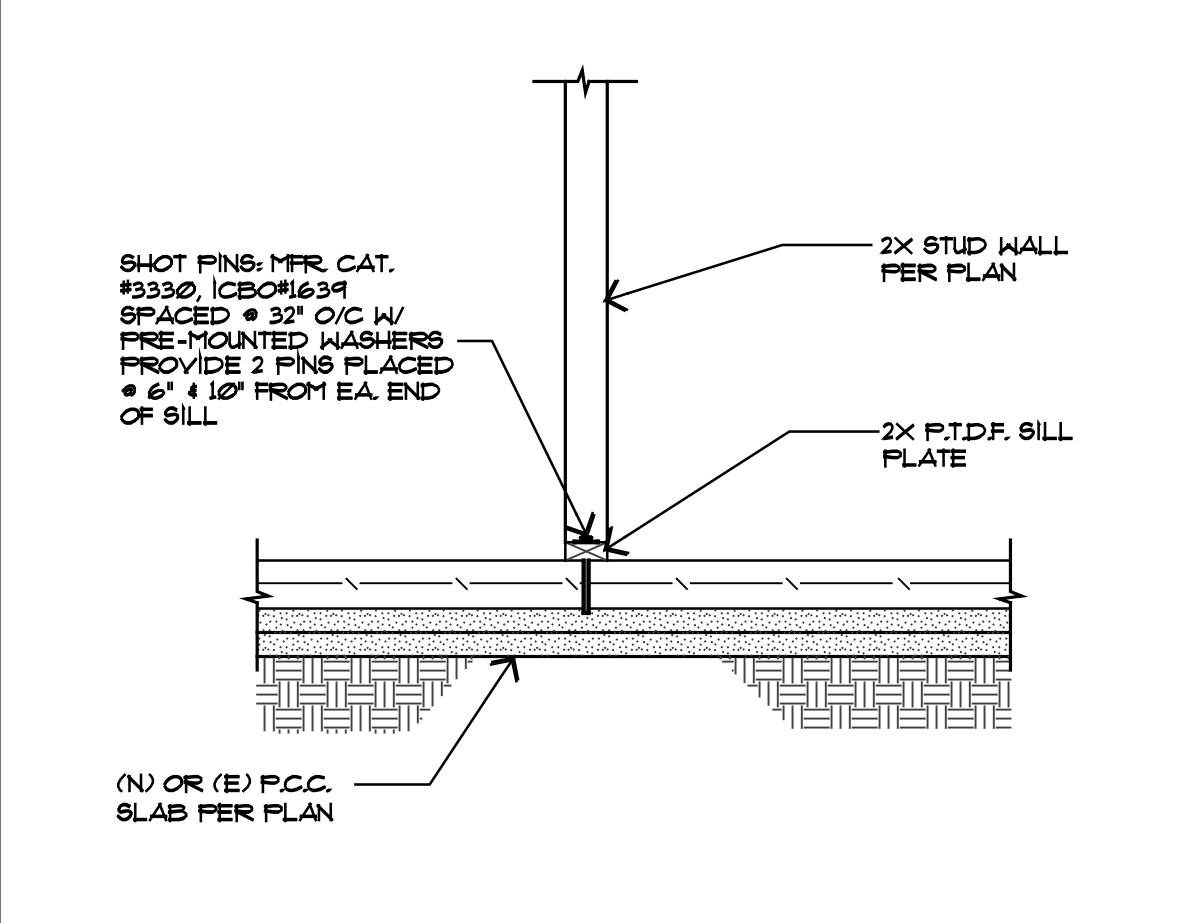
10 TYP. SLAB ON GRADE
NO SCALE



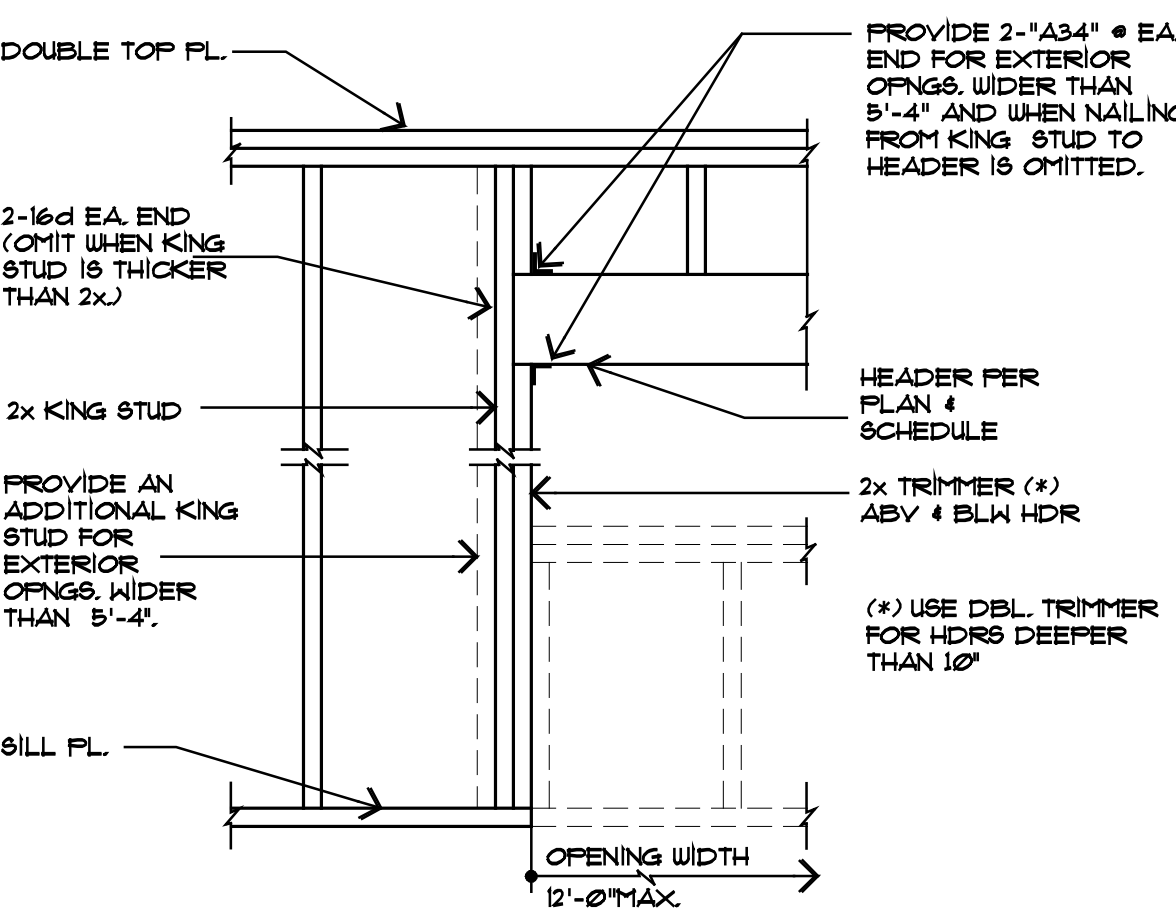
11 TYP. REINF. AT FTGS & WALLS INT.
SCALE: NONE



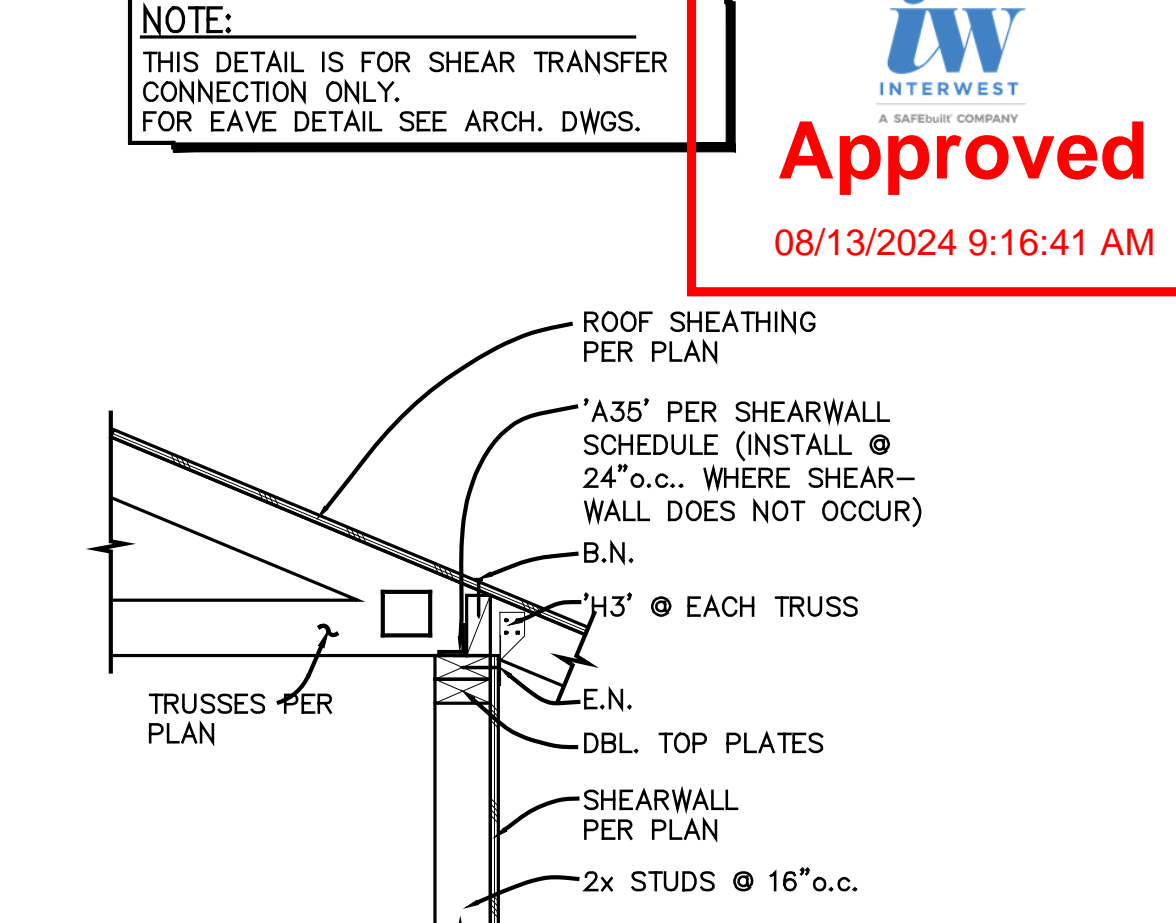
12 NON BEARING WALL CONNECTION
SCALE: NONE



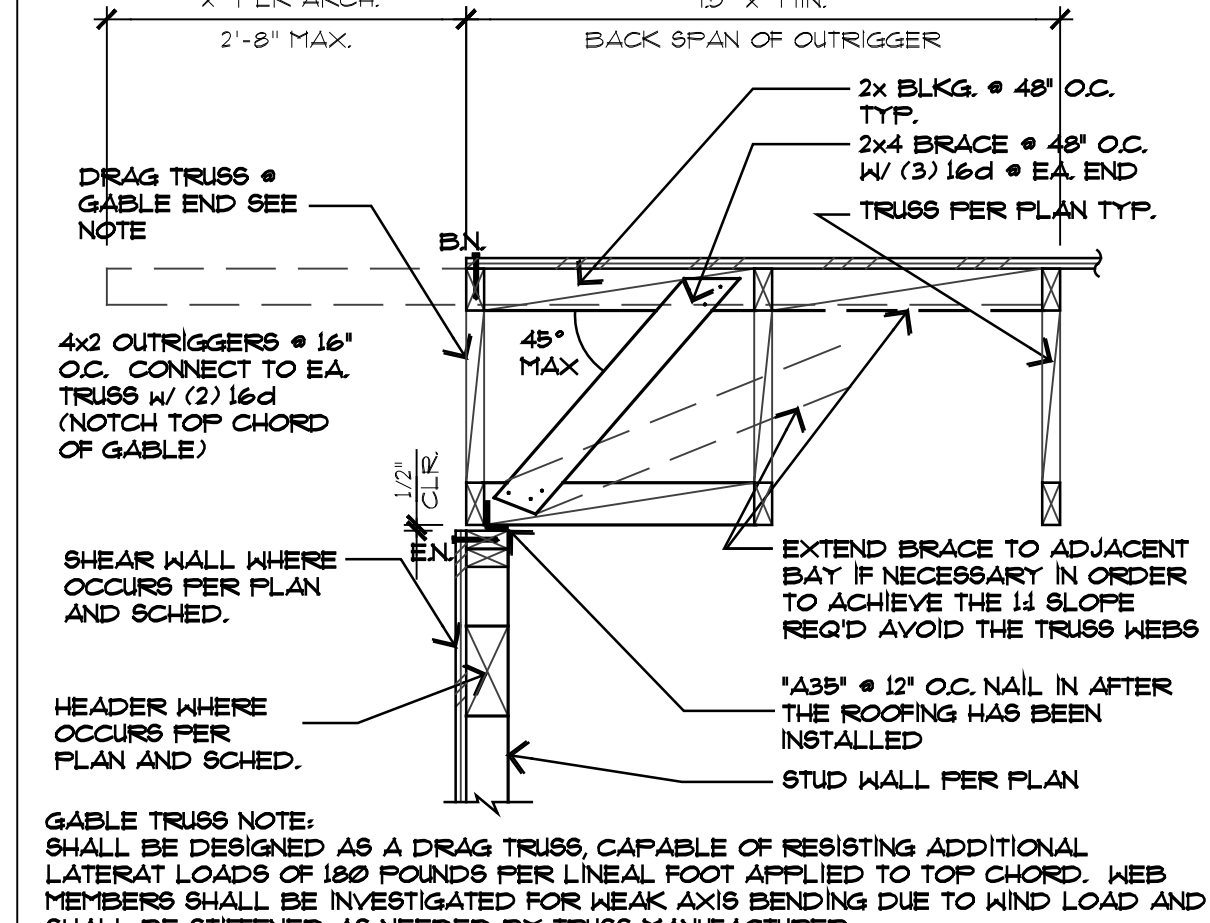
13 TYP. PARTITION WALL BASE
SCALE: NONE



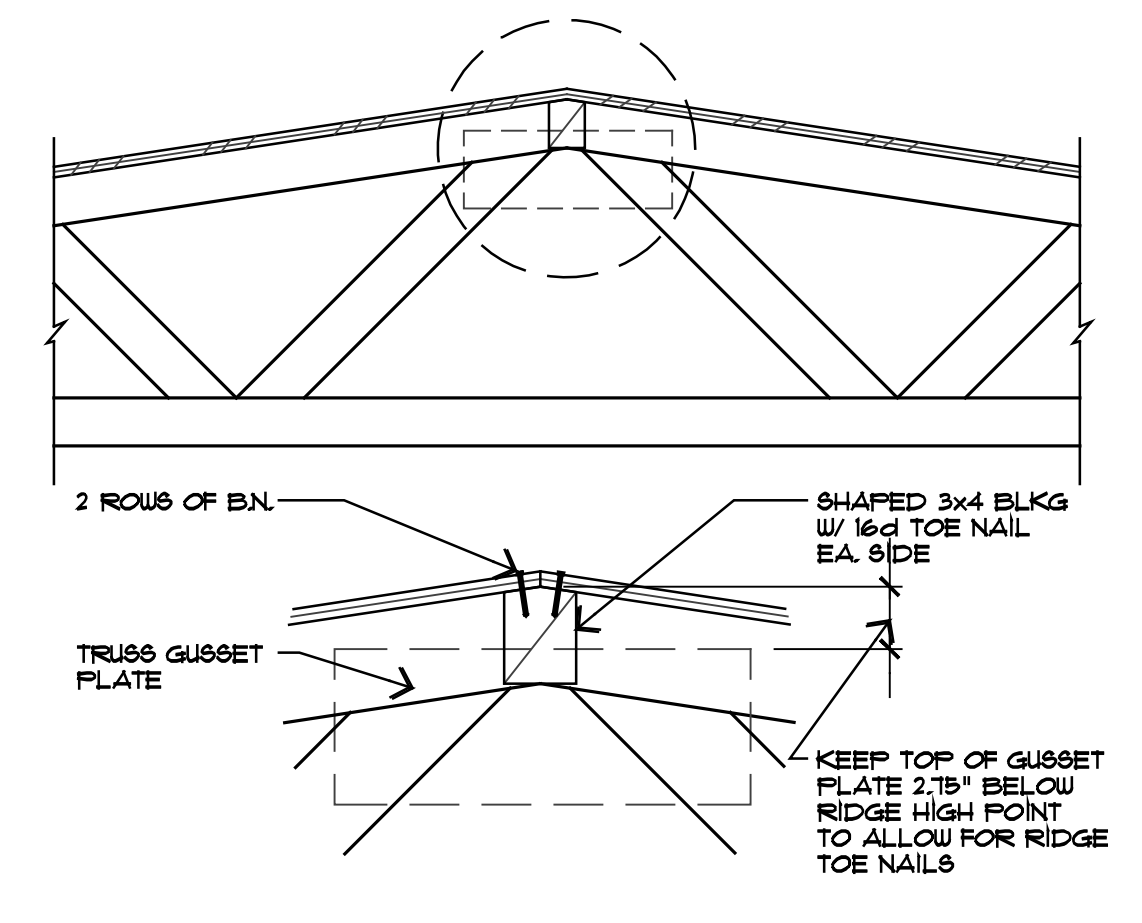
14 TYPICAL LINTEL DETAIL
SCALE: NONE



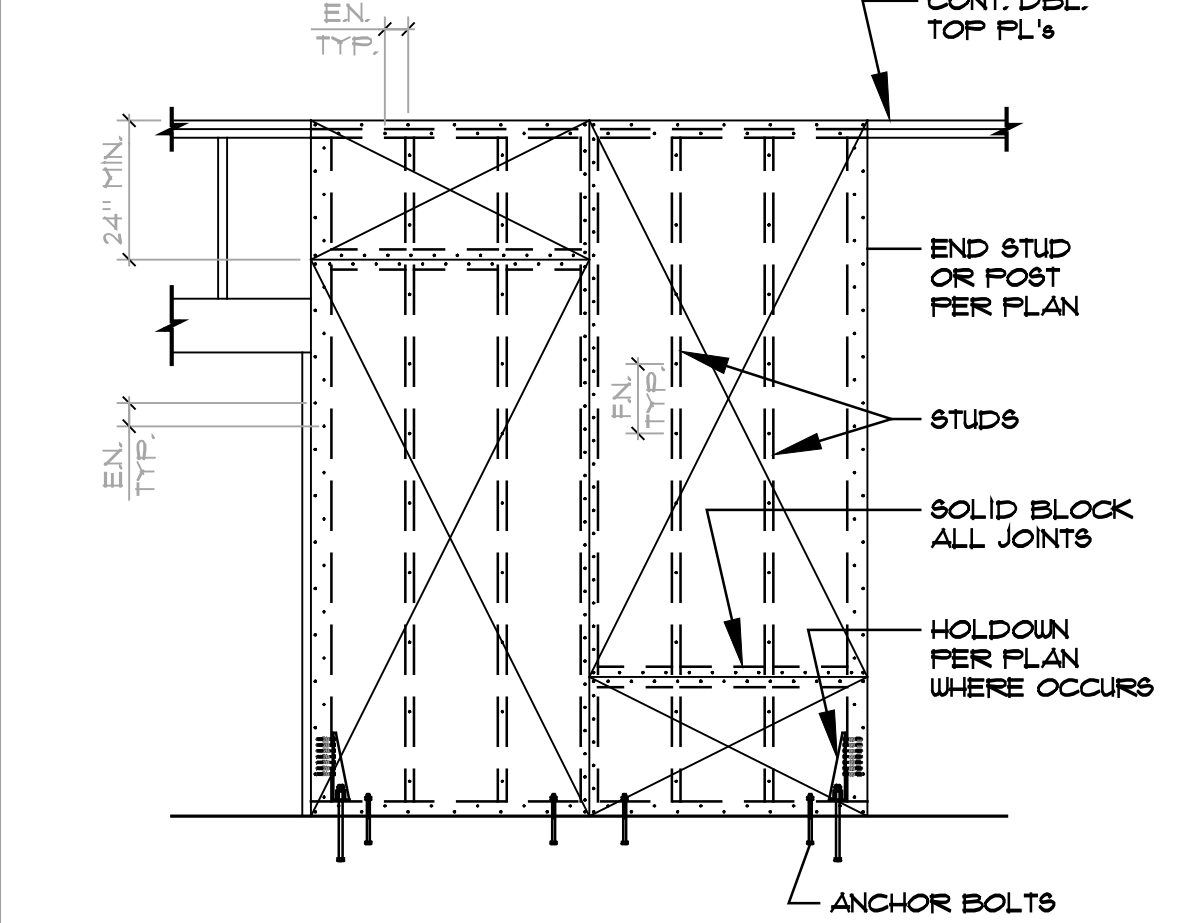
15 TYP. ROOF TRUSS TO EXT. WALL
SCALE: NONE



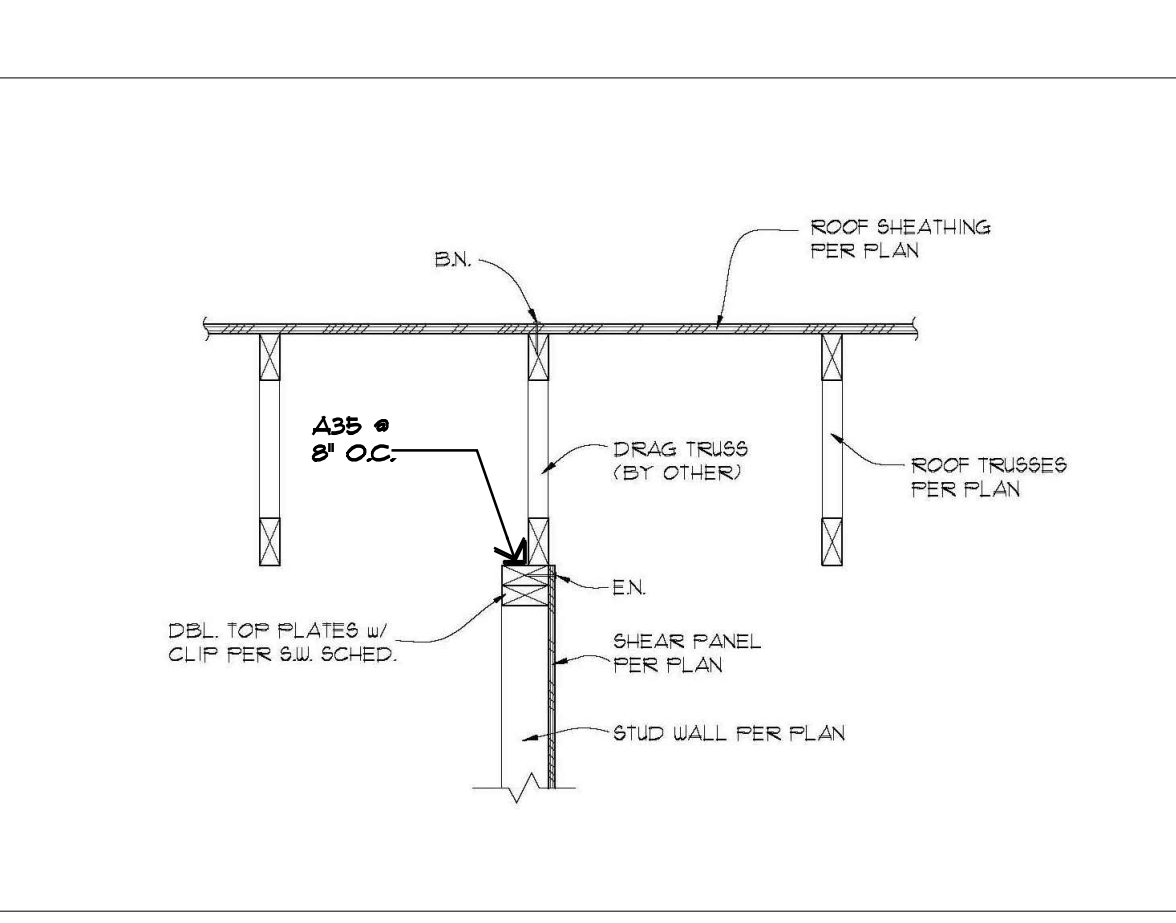
16 GABLE END TRUSS TO WALL
SCALE: NONE



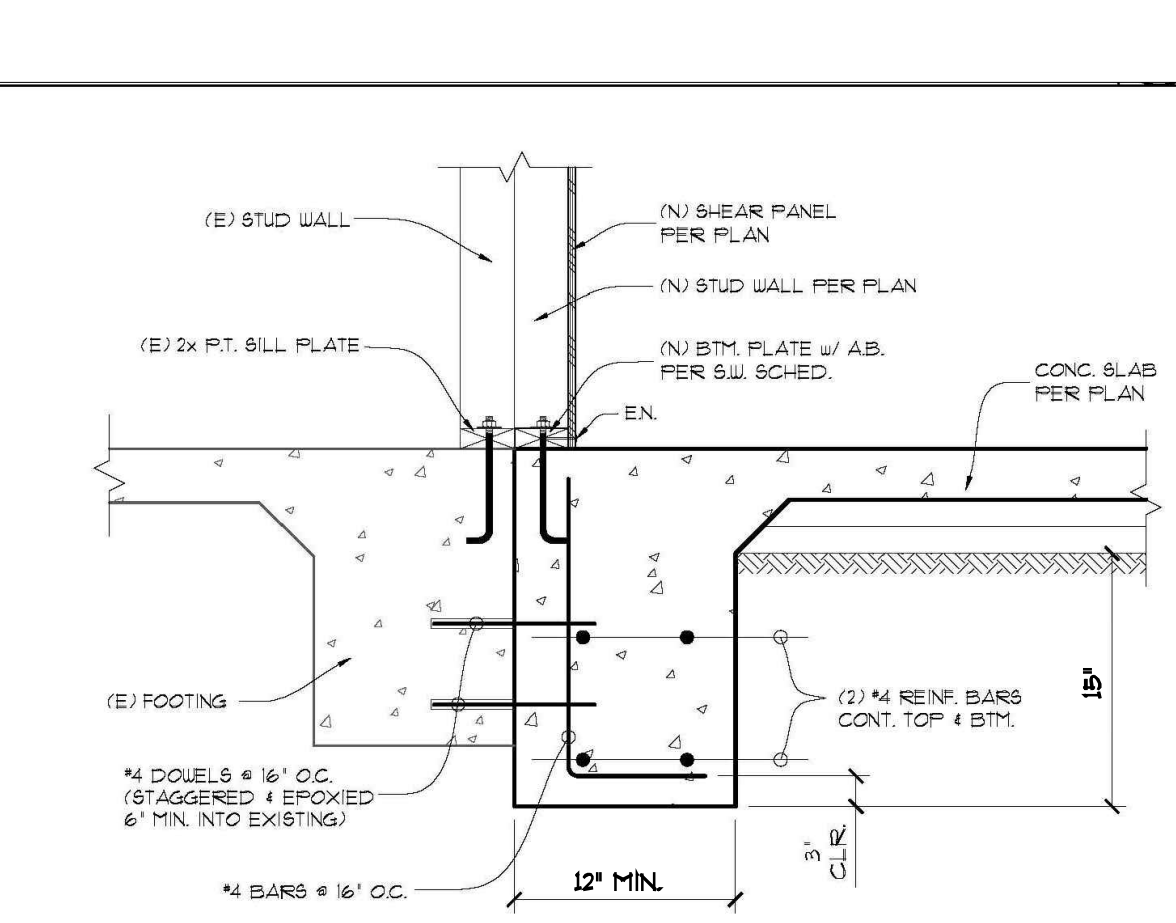
17 TRUSS RIDGE BLK'G
SCALE: NONE



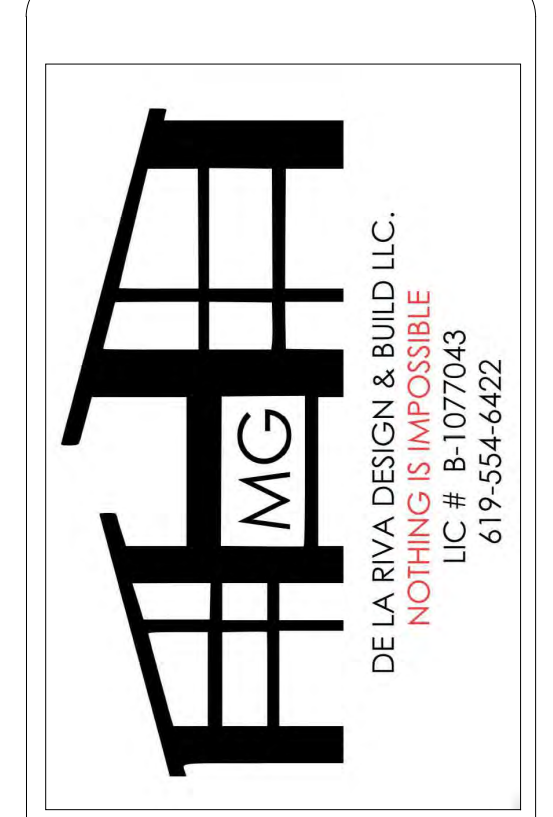
18 SHEARWALL ELEVATION
SCALE: NONE



19 SHEAR TRANSFER
SCALE: NONE



20 CONT. FOOTING
SCALE: NONE



2305 SWEETWATER RD
SPRING VALLEY CA 91977
CELL 619.554.6422

Sanitee
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PLANS APPROVED BY THE CITY OF SANTEE BUILDING INSPECTION DIVISION SUBJECT TO THE REQUIREMENTS OF THE CALIFORNIA HOUSING LAW AND THE BUILDING CODE OF THE CITY OF SANTEE, CALIFORNIA. THE STAMPING OF WATERMARKING OF THESE PLANS AND SPECIFICATIONS SHALL NOT BE HELD TO PERMIT OR APPROVE THE VIOLENT OF ANY CITY, COUNTY, STATE, FEDERAL LAW OR OTHER RESTRICTIONS.

APPROVED FOR CONSTRUCTION
Permit # B-ADU-24-0012
Reviewed by P.Fangulis
Date August 30, 2024

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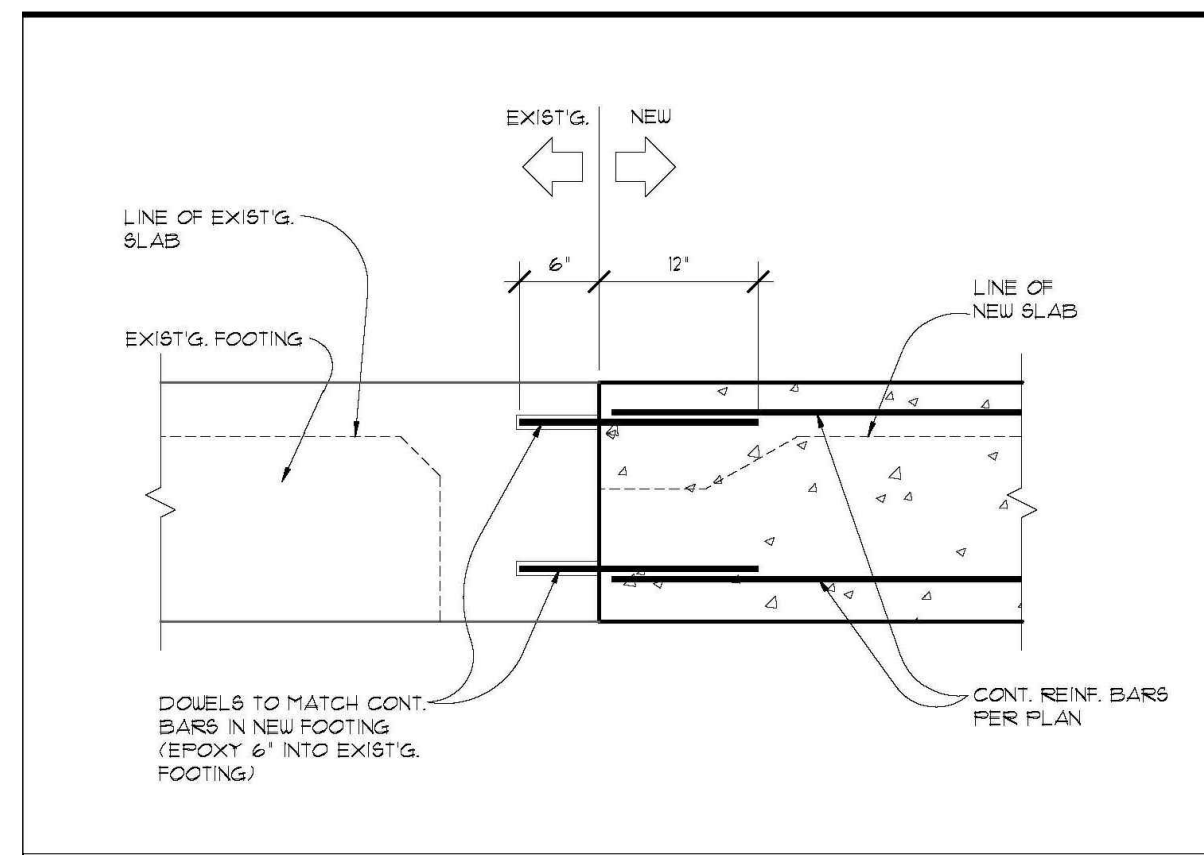
iw
INTEREST

Approved
08/13/2024 9:16:41 AM

COOK ADU
10721 SIMA CT
SANTEE CA 92071

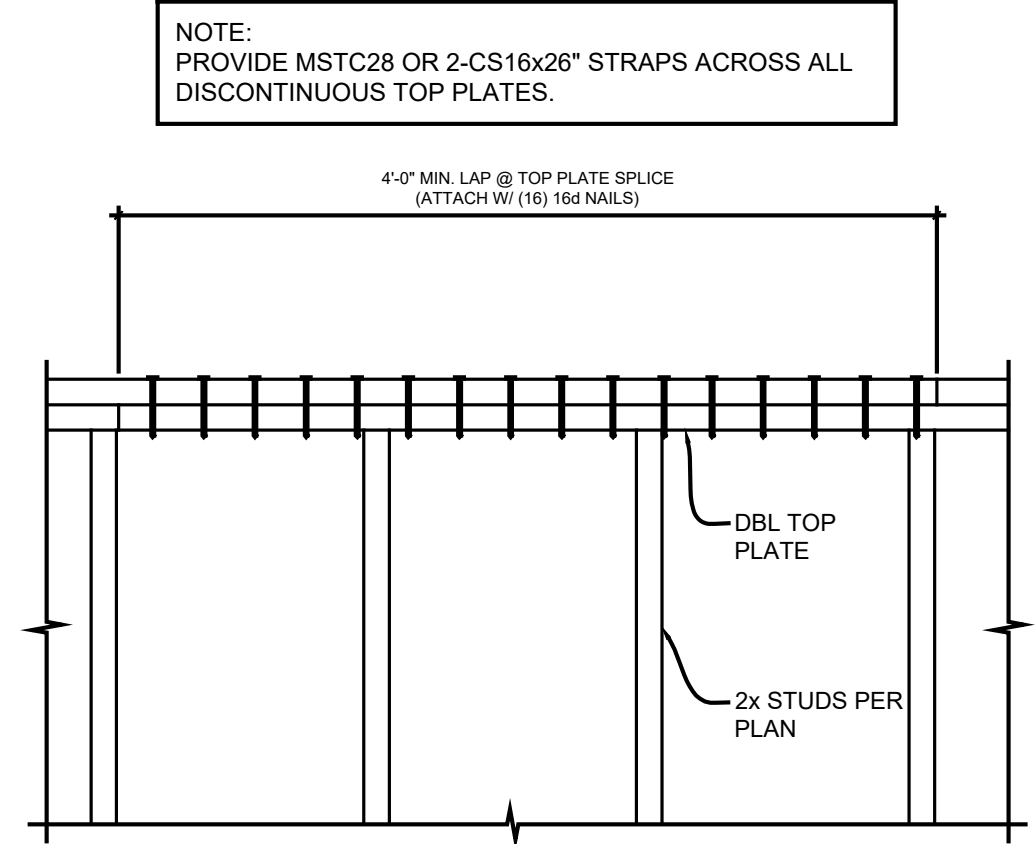
Drawn By GERARDO
Date 02.16.24
Recheck #1 07.09.24
Revision #2
Recheck #3
APN: 378-461-18-00
Scale PER DRAWING
Page #

D1



TEST #	STC
UL One 1027	50
BBN-700903	

• 5/8" Stainless Fences C Core gypsum panels
 • 2 x 4 wood stud 16" or 24" o.c.
 • 2" Tensar GFB
 • 10-1 channel or equivalent one side joints finished



21 EXISTING TO NEW FTG
SCALE: NONE

22 1 HOUR RATED, STC 50 ASSEMBLY
SCALE: NONE

23 TOP PLATE SPLICE
SCALE: NONE

- NOT USED
SCALE: NONE

- NOT USED
SCALE: NONE



- NOT USED
SCALE: NONE

- NOT USED
SCALE: NONE

- NOT USED
SCALE: NONE

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SANTEE CA 92071

(Signature)

Drawn By GERARDO

Date 02.16.24

Recheck #1 07.09.24

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APN: 378-461-18-00

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D2

