



"PASEO" - PARK CENTER DRIVE

S A N T E E , C A L I F O R N I A

DEVELOPER INFORMATION

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"PASEO"- PARK CENTER
 SANTEE, CA 2024-0093

Plot Date: 6.21.2024
 1st Submittal Date: 6.21.2024

TITLE SHEET

A0.00

SHEET INDEX

ARCHITECTURE

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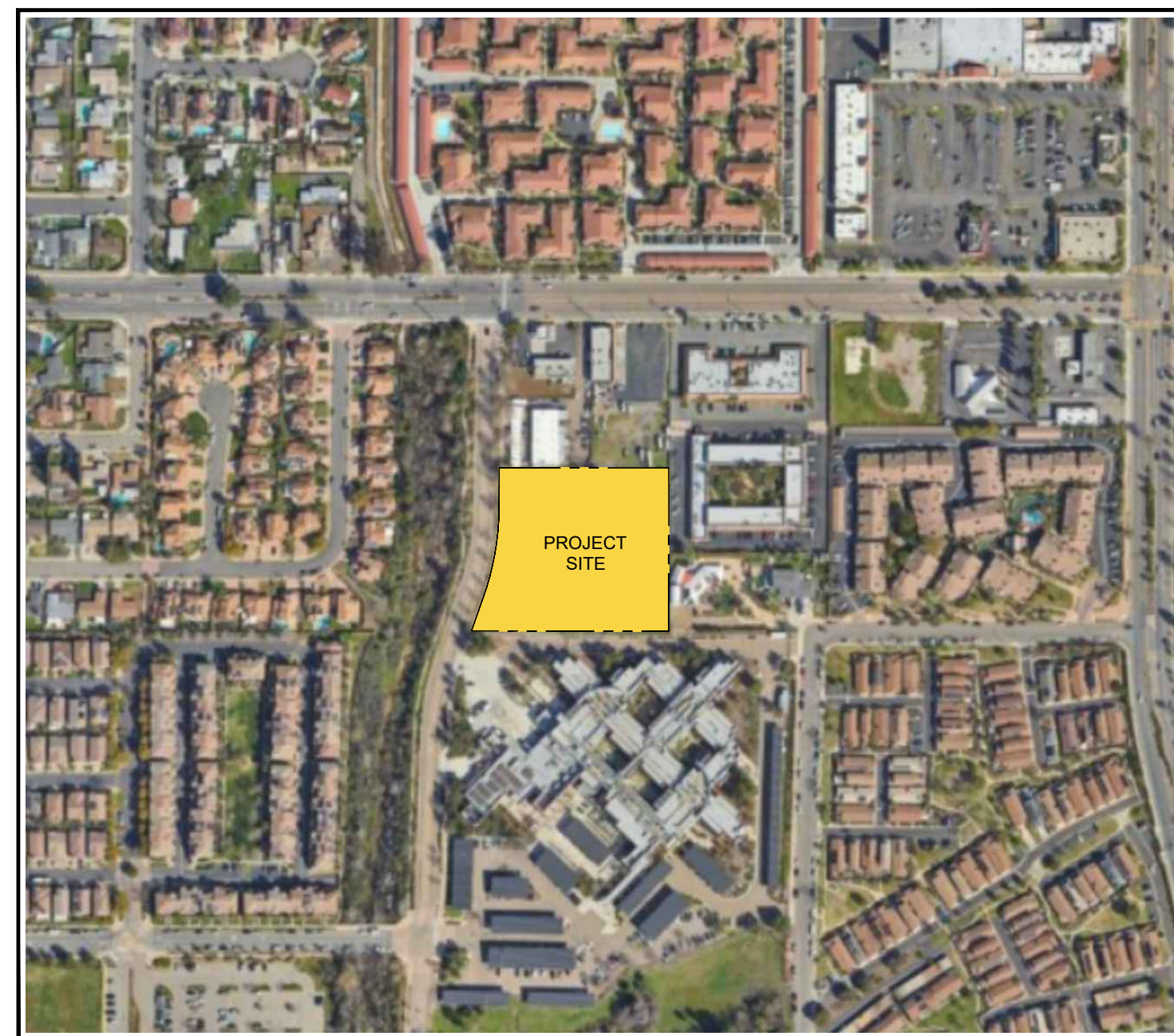
CIVIL

- TITLE SHEET
- EXISTING CONDITIONS
- CONCEPTUAL GRADING PLAN
- CONCEPTUAL UTILITY PLAN
- BMP PLAN
- DETAILS
- VESTING TENTATIVE SUBDIVISION MAP

LANDSCAPE

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- L-3 - COMMON AREA ENLARGEMENT
- L-4 - CONCEPTUAL WALL AND FENCE PLAN
- L-5 - SITE AMENITIES CUTSHEETS
- L-6 - CONCEPTUAL PLANT PALETTE

COMMUNITY CONTEXT (1:300)



SITE SUMMARY				
APN:	381-032-07-00, 381-032-08-00			
STREET ADDRESS:	SANTEE, CA 92071		OCCUPANCY:	R-2/ R-3: BLDGs 4 & 8 ONLY
COUNTY:	SAN DIEGO		TYPE OF CONSTRUCTION:	V-B
ZONING:	R-14		SPRINKLER SYSTEM:	FULL NFPA 13D NFPA 13D: BLDGs 4 & 8 ONLY
LAND USE:	TOWN CENTER SPECIFIC CENTER WITH A LAND USE DESIGNATION OF R-14		NUMBER OF STORIES:	3 STORIES
LOT AREA (GROSS):	2.540 AC	110,642 SF	BUILDING HEIGHT:	45'-0" MAX (4 - STORIES)
LOT AREA (NET):	2.300 AC	100,188 SF	SETBACKS: CHAPTER 13 TABLE 13.10.040A	
PROPOSED LOT COVERAGE:	43 %	MAX LOT COVERAGE:	60 %	
PROPOSED FLOOR AREA RATIO:	0.8	MAX FLOOR AREA RATIO:	1	
		<u>PROVIDED</u>	<u>REQUIRED</u>	
DENSITY (GROSS):	20.87 DU/AC	14-21.9	DU/AC MAX	
NUMBER OF HOMES:	53 UNITS			
FRONT			10'	
REAR			10'	
SIDE (INTERIOR SIDE YARD)			10'	
SIDE (STREET SIDE YARD)			10'	

UNIT MIX SUMMARY										
LEGEND	PLAN TYPE	DESCRIPTION	# OF UNITS	MIX	NET/UNIT	TOTAL NET	GARAGE SF	PRIVATE UPPER DECK	PRIVATE OPEN - PATIO/PORCH	TOTAL PRIVATE OPEN DECK
	PLAN 1	3 BD / 3 BA / SxS	13 UNITS	25%	1,345 SF	17,485 SF	532 SF	53 SF	PER SITE PLAN	689 SF
	PLAN 2	3 BD / 3 BA / TANDEM	13 UNITS	25%	1,627 SF	21,151 SF	472 SF	77 SF	PER SITE PLAN	1,001 SF
	PLAN 3	3 BD / 3 BA / SxS	27 UNITS	51%	1,702 SF	45,954 SF	522 SF	63 SF	PER SITE PLAN	1,701 SF
TOTAL			53 UNITS	100%		84,590 SF				3,391 SF
			6 UNITS	(10% ACCESSIBLE UNITS)						

BUILDING AREA CALCULATIONS				
BUILDING TYPE	PLEX	DESCRIPTION	# OF BUILDINGS ON SITE	TOTAL NET AREA
B400	4-PLEX	3-STORY INTERLOCKING UNITS W/ ROW UNITS	3 BUILDING	6,376 SF
B500	5-PLEX	3-STORY ROW UNITS	1 BUILDING	8,510 SF
B600	6-PLEX	3-STORY INTERLOCKING UNITS W/ ROW UNITS	5 BUILDING	9,348 SF
B610	6-PLEX	3-STORY ROW UNITS	1 BUILDING	10,212 SF
GRAND TOTAL			10 BUILDINGS	34,446 SF

PARKING SUMMARY					
REQUIRED PARKING *PER SANTEE MUNICIPAL CODE 13.24.040					
RESIDENTIAL (1 BEDROOM)	0 UNITS	x	1.5 SPACES /DU	=	0 SPACES
RESIDENTIAL (2+ BEDROOMS)	53 UNITS	x	2 SPACES /DU	=	106 SPACES
GUEST	53 UNITS	x	0.25 SPACES /DU	=	13.25 SPACES
TOTAL REQUIRED PARKING					119 SPACES
PROVIDED PARKING					
TOWNHOMES (GARAGE SPACES)	53 UNITS	x	2 SPACE /DU	=	106 SPACES
			GUEST	=	14 SPACES
TOTAL PARKING PROVIDED					120 SPACES
*1 ADA STALL INCLUDED					2.3 SPACES/UNIT



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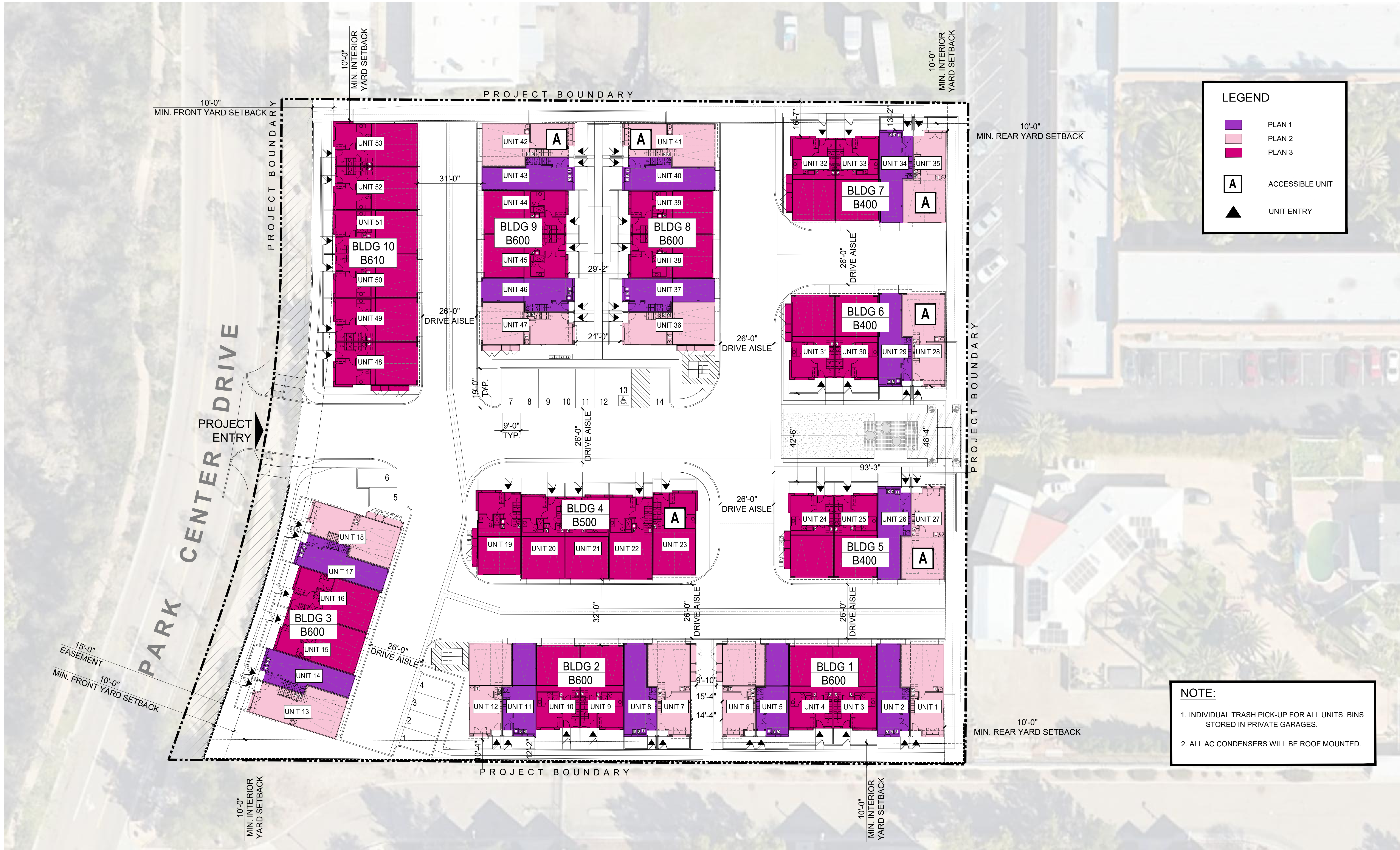
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SHEET INDEX + PROJECT SUMMARY

A0.10



LEGEND

- PLAN 1
- PLAN 2
- PLAN 3
- A ACCESSIBLE UNIT
- UNIT ENTRY

NOTE:

1. INDIVIDUAL TRASH PICK-UP FOR ALL UNITS. BINS STORED IN PRIVATE GARAGES.
2. ALL AC CONDENSERS WILL BE ROOF MOUNTED.



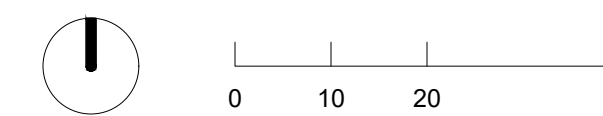
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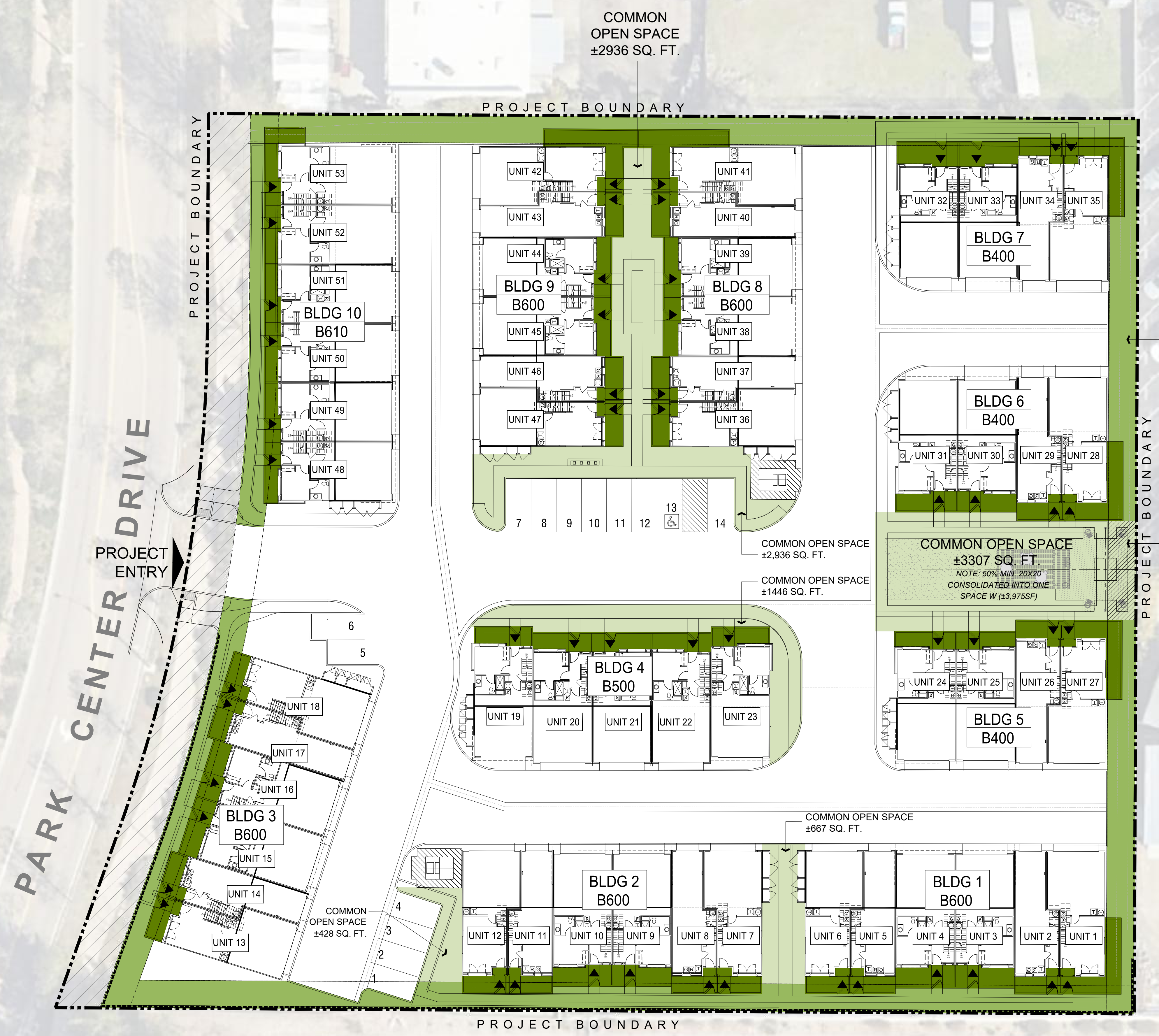
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ARCHITECTURAL SITE PLAN

A1.00



LEGEND

- COMMON OPEN SPACE
- COMMON OPEN SPACE (WITHIN SETBACKS)
- PRIVATE OPEN SPACE
- A ACCESSIBLE UNIT
- UNIT ENTRY

OPEN SPACE SUMMARY			
REQUIRED OPEN SPACE *PER TABLE 13.10.040A			
COMMON	150 SF PER DWELLING UNIT	150 X 53 UNITS =	7,950 SF
<small>NOTE: MIN 50% OF COMMON OS MUST BE CONSOLIDATED IN ONE AREA WITH MIN DIM OF 20' IN BOTH DIRECTIONS</small>			
PRIVATE	100 SF PER DWELLING UNIT	100 X 53 UNITS =	5,300 SF
PROVIDED OPEN SPACE			
COMMON	(EXCLUDING SETBACKS)	8,785 SF	166 SF/UNIT
PRIVATE	GROUND FLOOR PATIOS (PER SITE PLAN)	8,029 SF	151 SF/UNIT
	UPPER FLOOR DECKS	3,391 SF	64 SF/UNIT
	TOTAL	20,205 SF	381 SF/UNIT



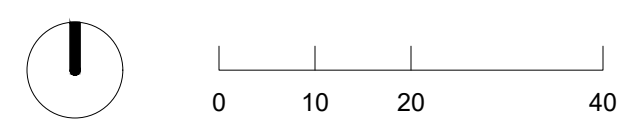
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OPEN SPACE EXHIBIT
SITE PLAN

A1.01



FRONT PERSPECTIVE



REAR PERSPECTIVE



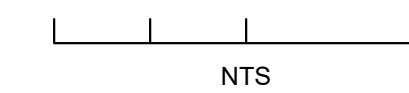
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B400-4-PLEX PERSPECTIVE

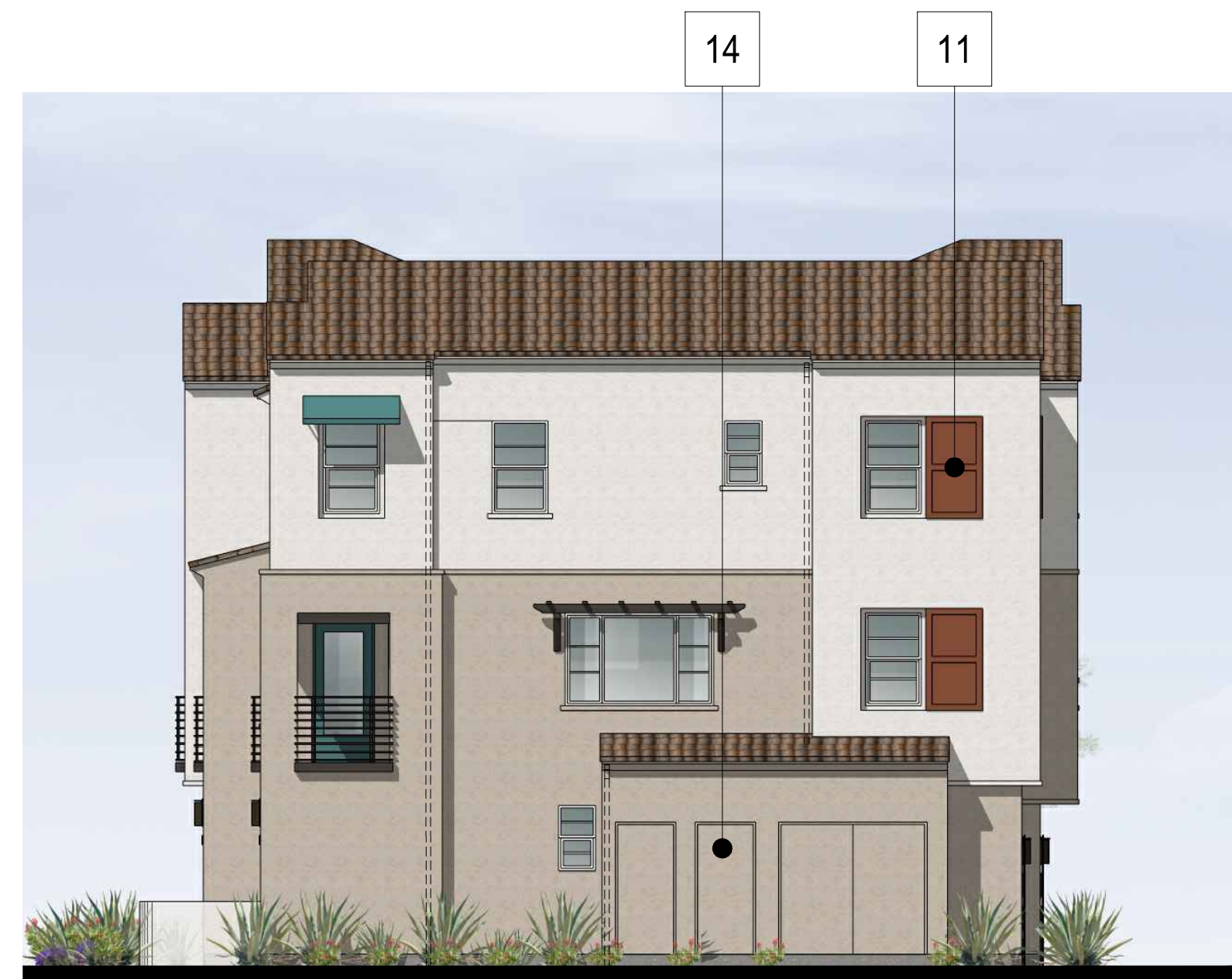
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2 - LEFT



1 - FRONT



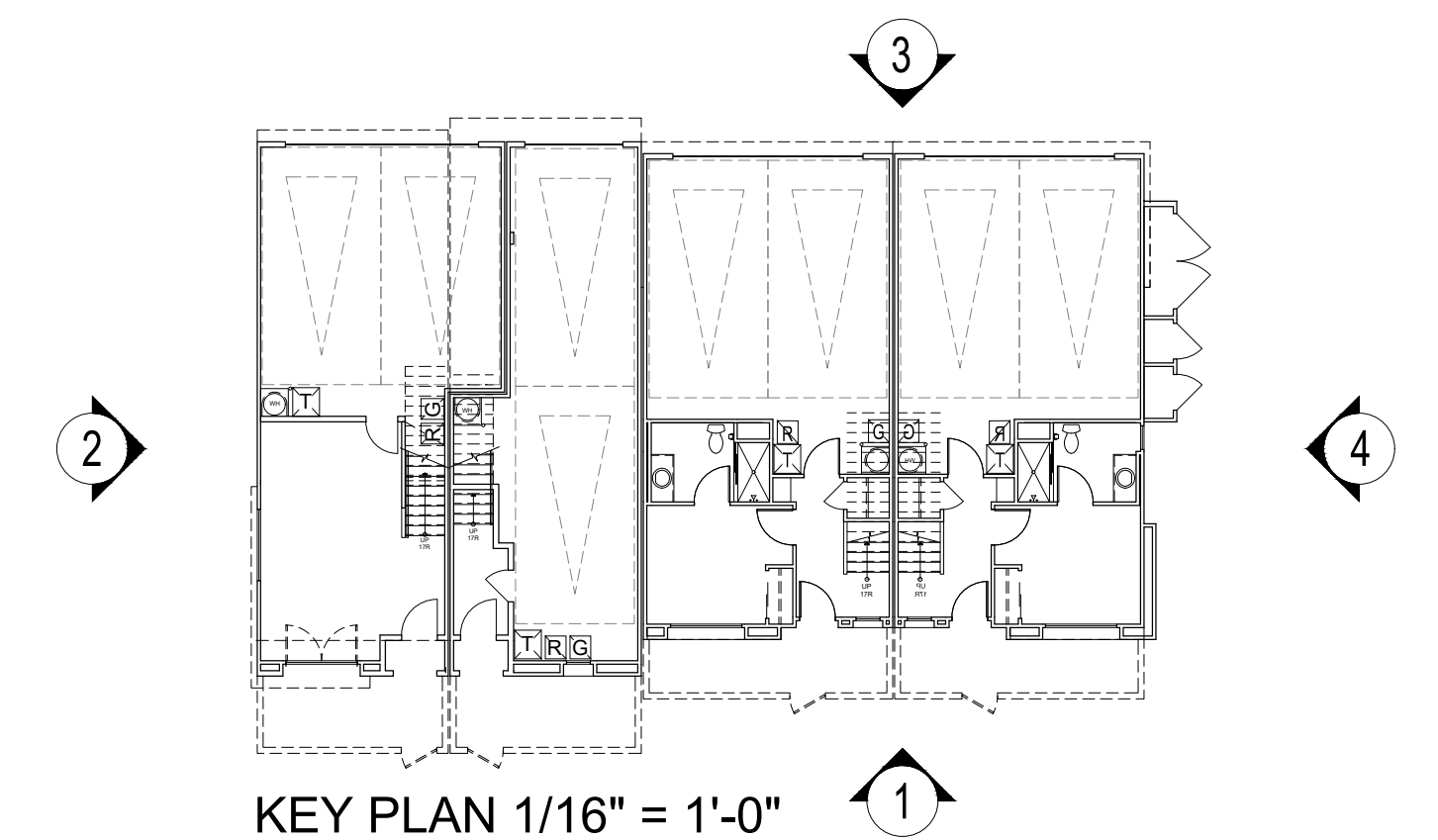
4 - RIGHT



3 - REAR

MATERIAL LEGEND

- | | | | |
|------------------------------|----------------------------|--------------------------------|---------------|
| 1. STUCCO LIGHT SAND FINISH | 6. METAL SECTIONAL GARAGE | 11. GABLE-END FAUX VENT RECESS | 15. DOWNSPOUT |
| 2. CONCRETE "S" TILE ROOFING | 7. METAL RAILING | 12. DECORATIVE SHUTTER | |
| 3. VINYL WINDOWS | 8. STUCCO O/ FOAM HEADER | 13. FABRIC AWNING | |
| 4. FIBERGLASS ENTRY DOOR | 9. STUCCO SILL TRIM | 14. UTILITY CLOSET DOORS | |
| 5. ILLUMINATED ADDRESS SIGN | 10. STUCCO O/ FOAM CORNICE | | |



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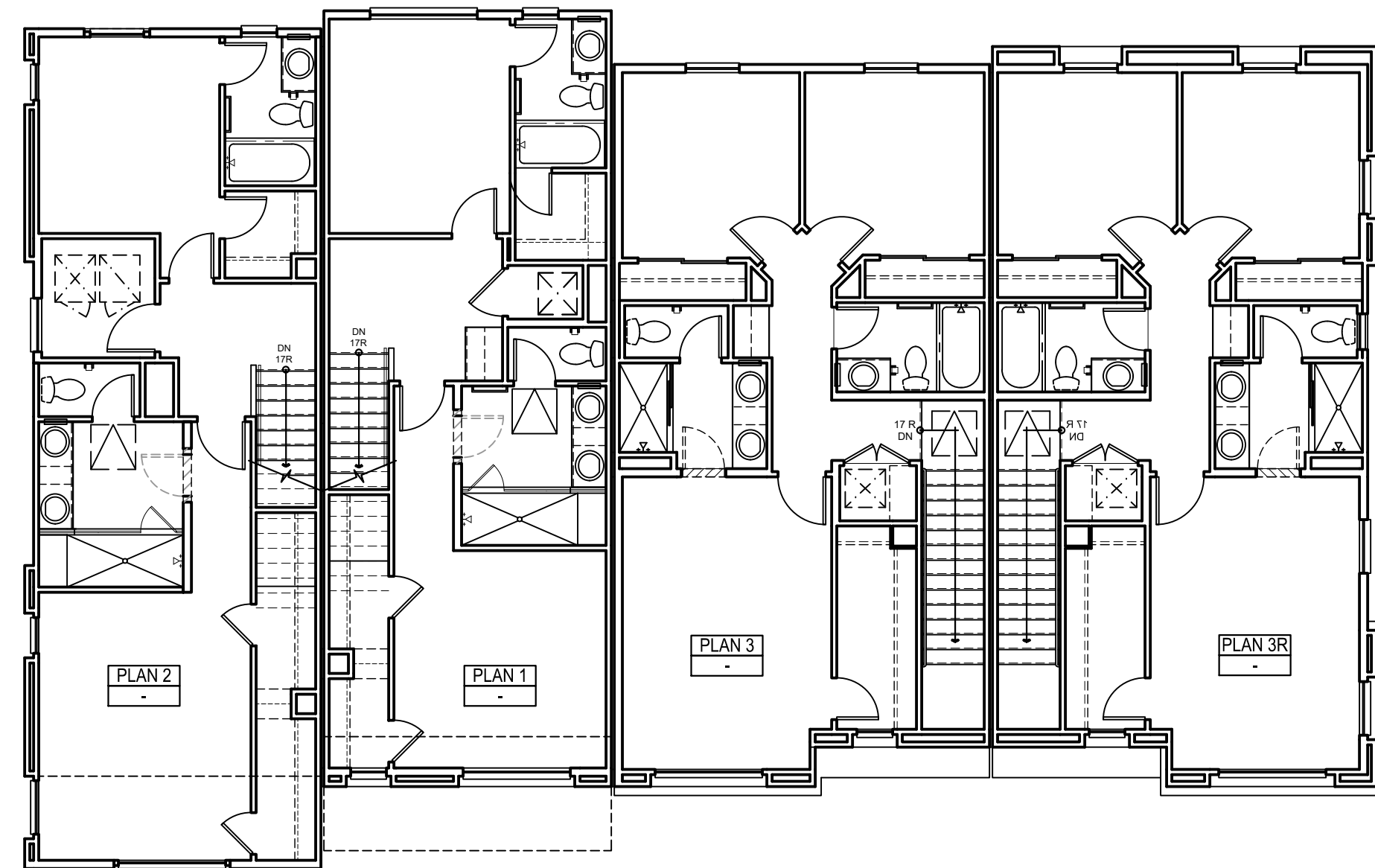
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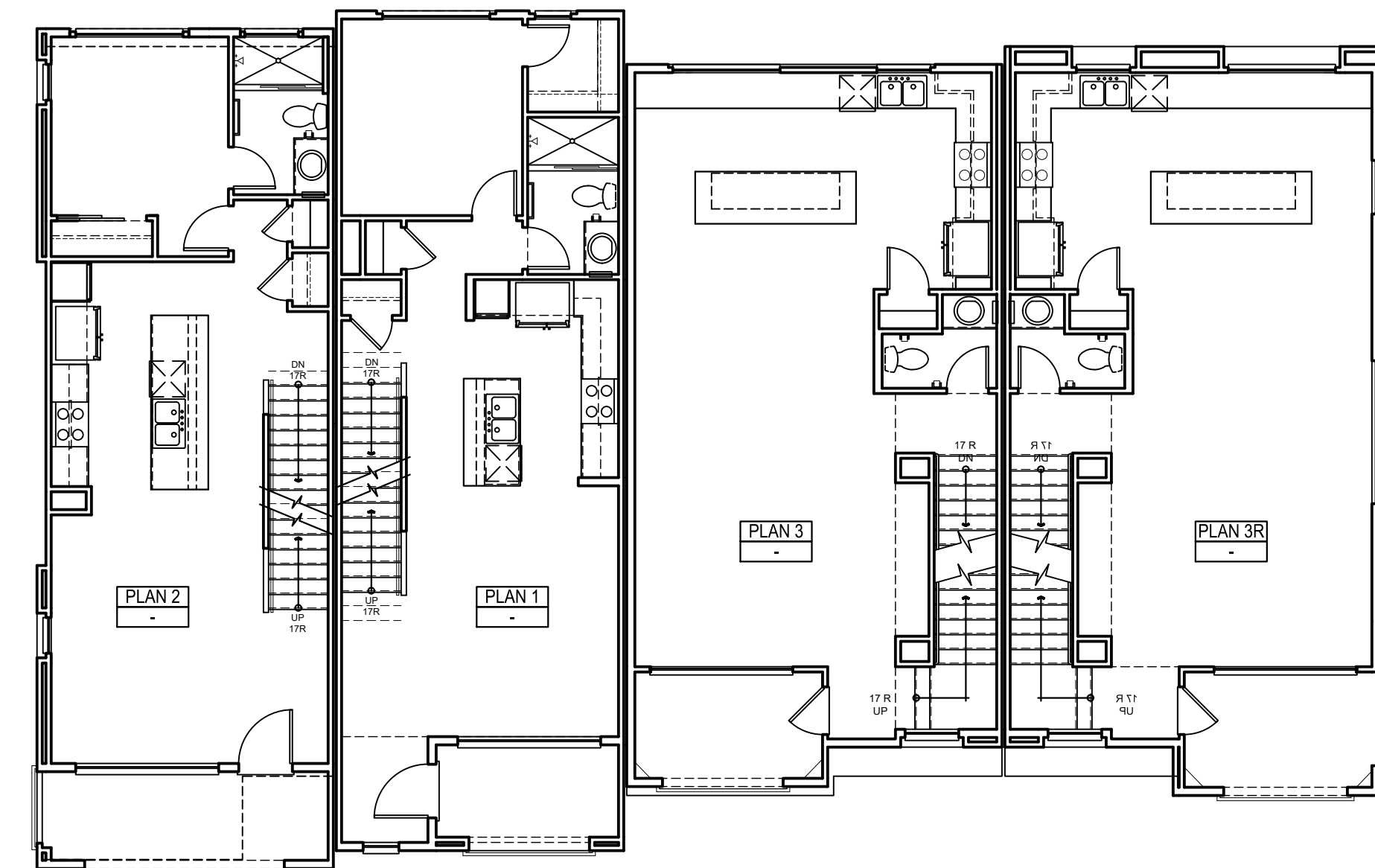


B400-4-PLEX ELEVATIONS
4-PLEX

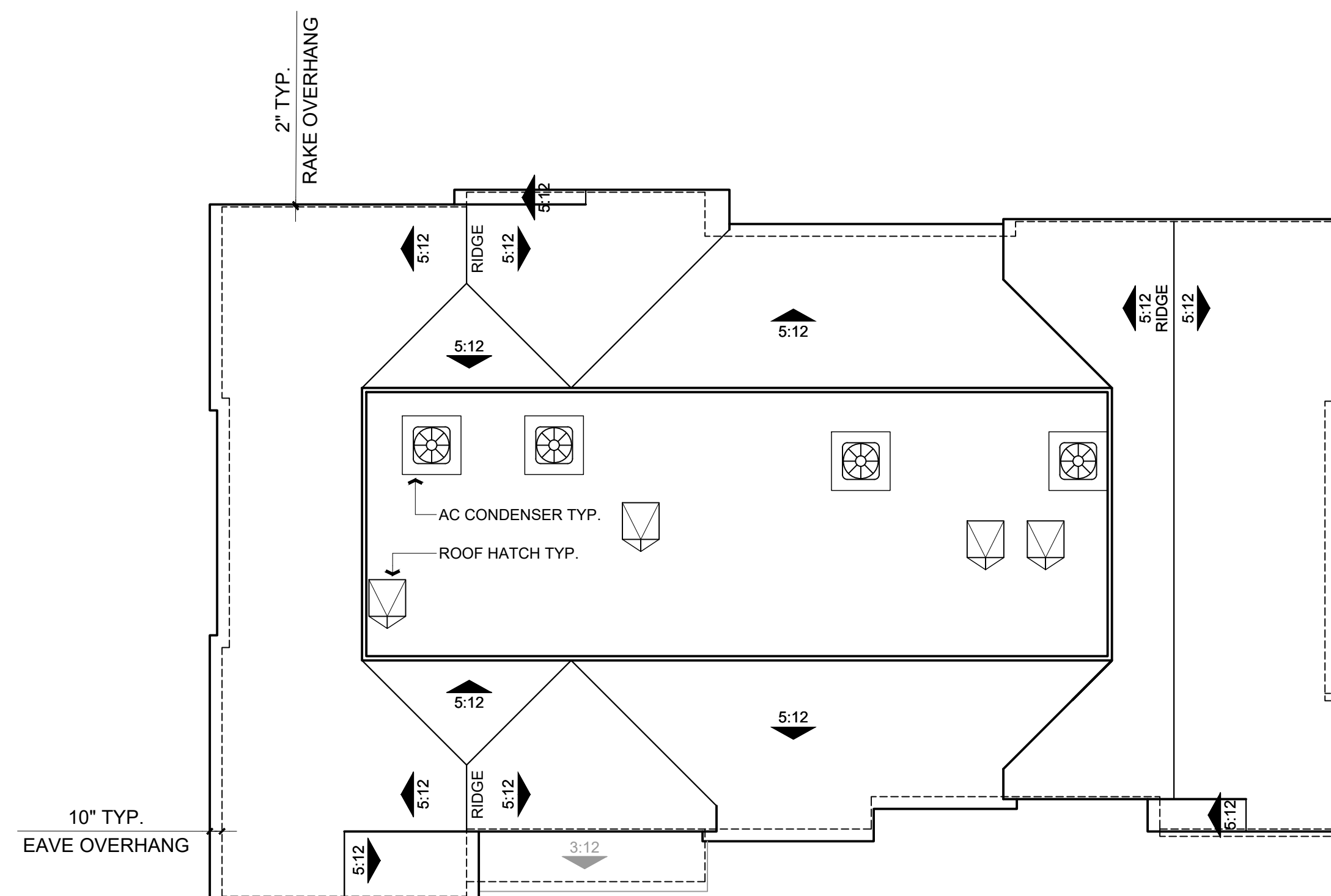
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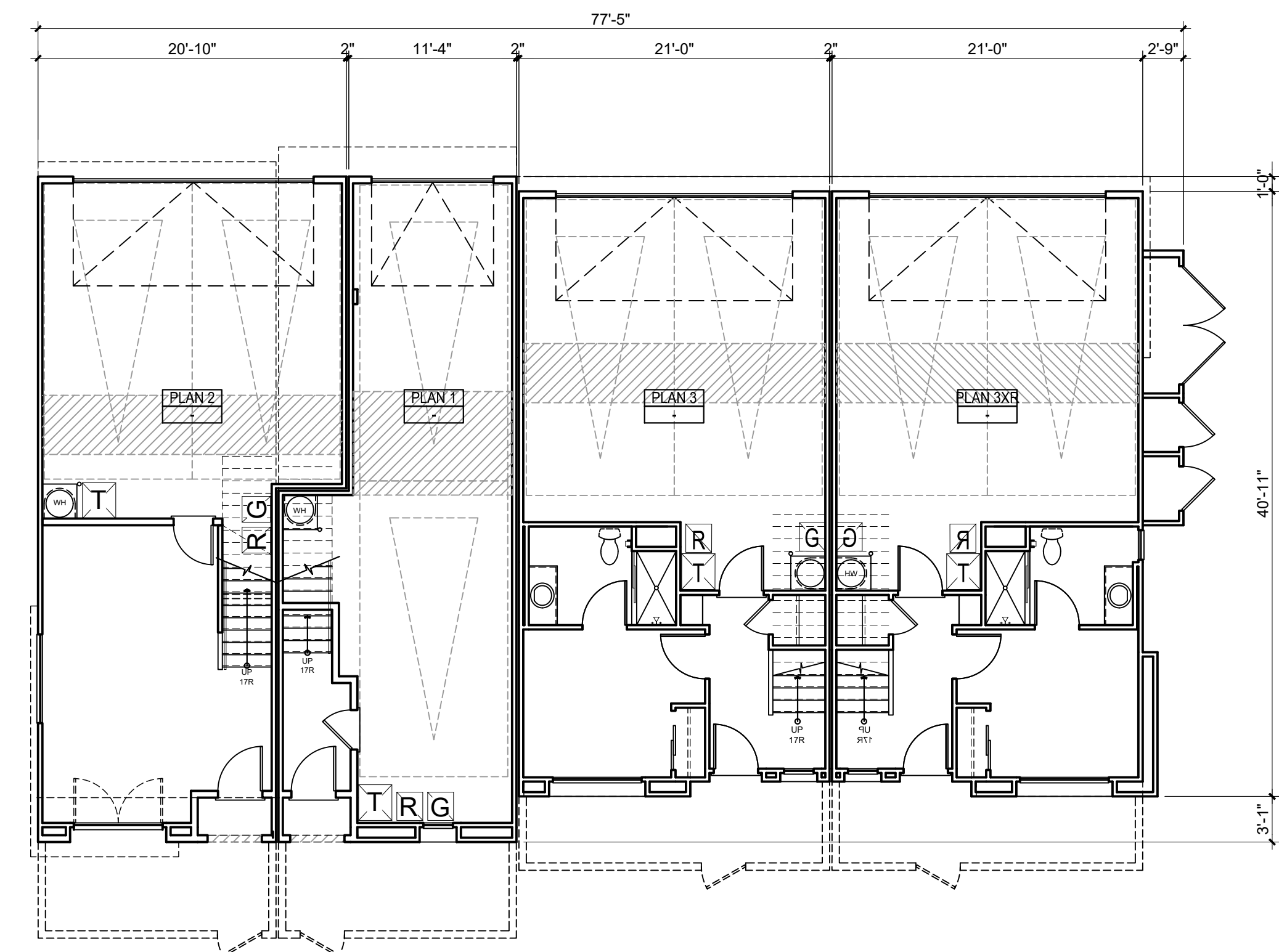
THIRD FLOOR



SECOND FLOOR



ROOF PLAN



FIRST FLOOR



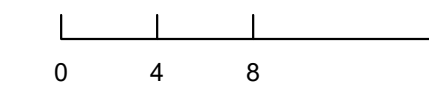
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B400-4-PLEX FLOORPLANS
4-PLEX

A2.02



FRONT PERSPECTIVE



REAR PERSPECTIVE



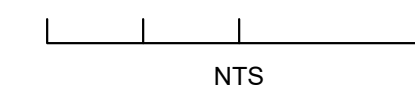
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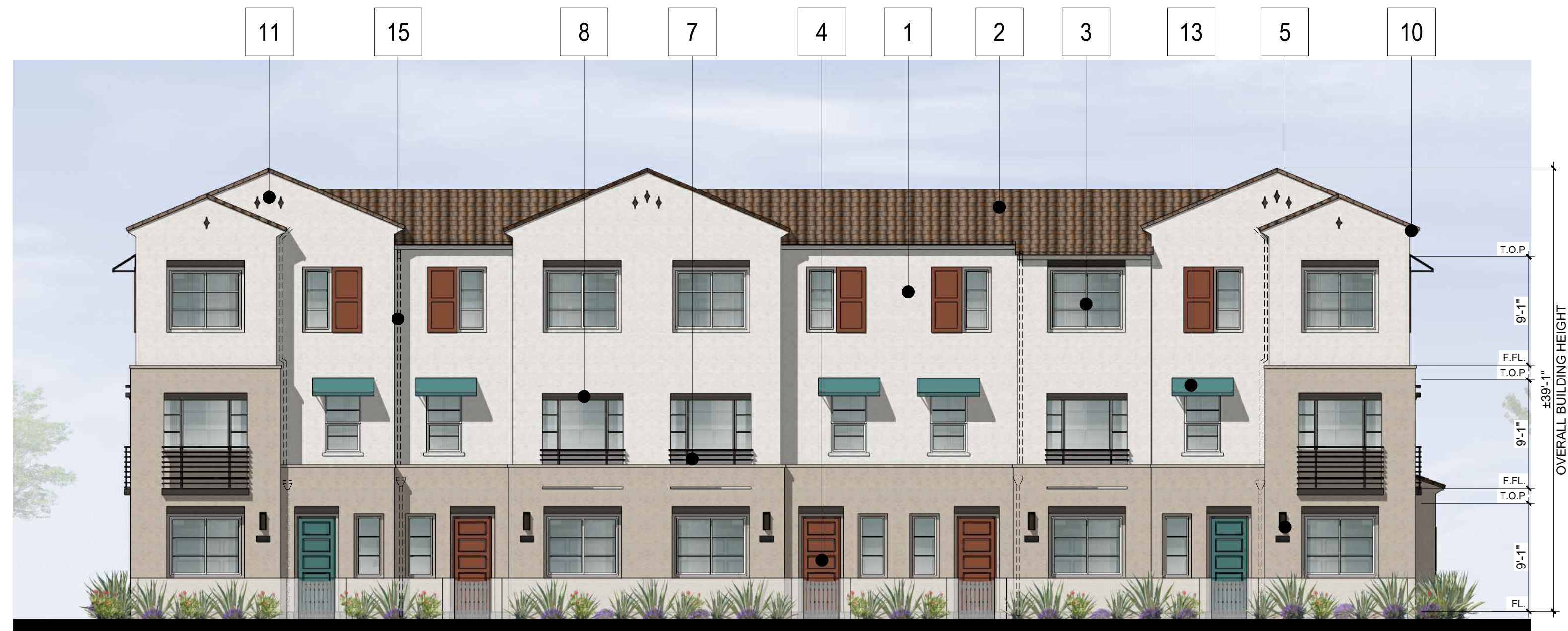


B500-5-PLEX PERSPECTIVE

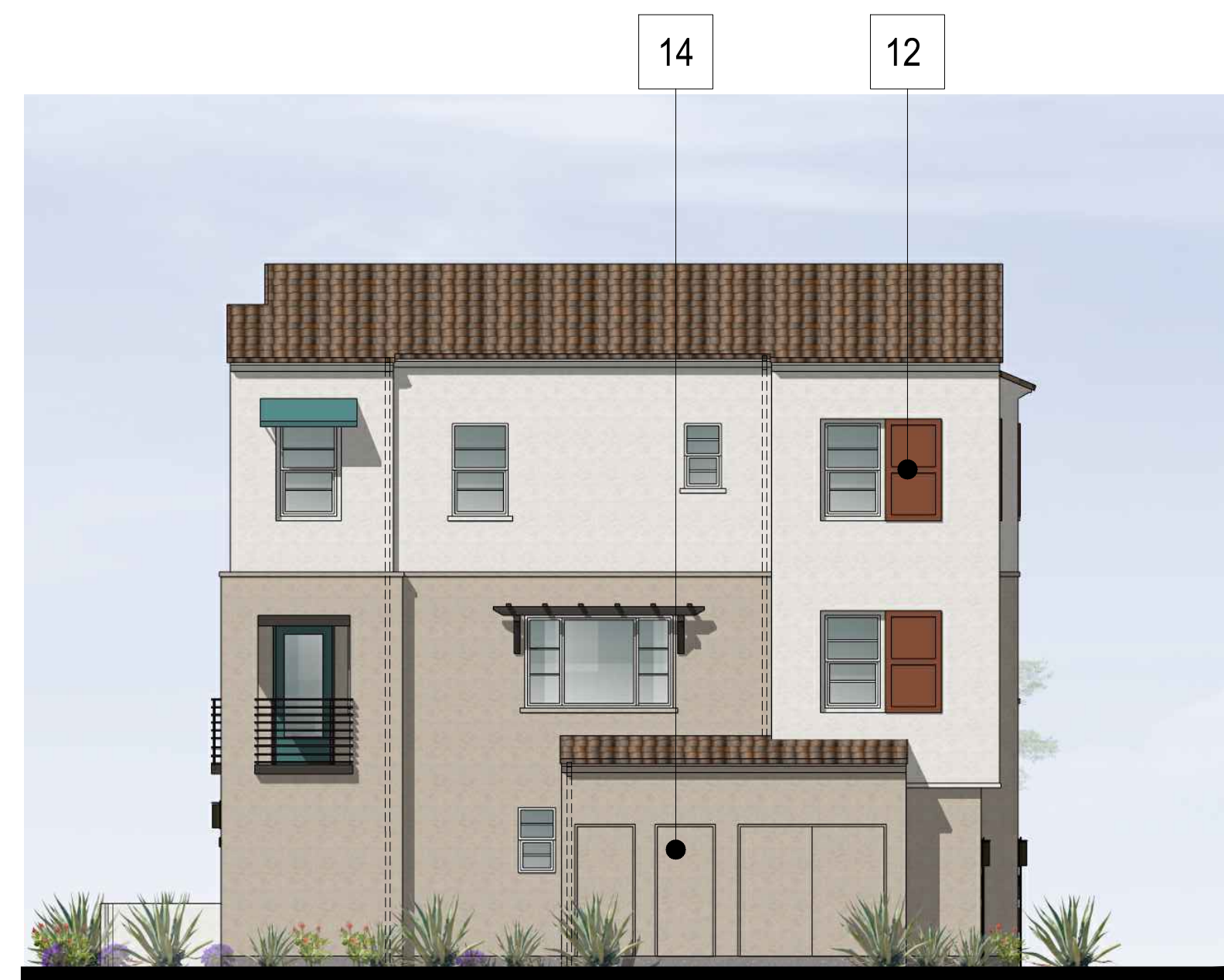
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2 - LEFT



1 - FRONT



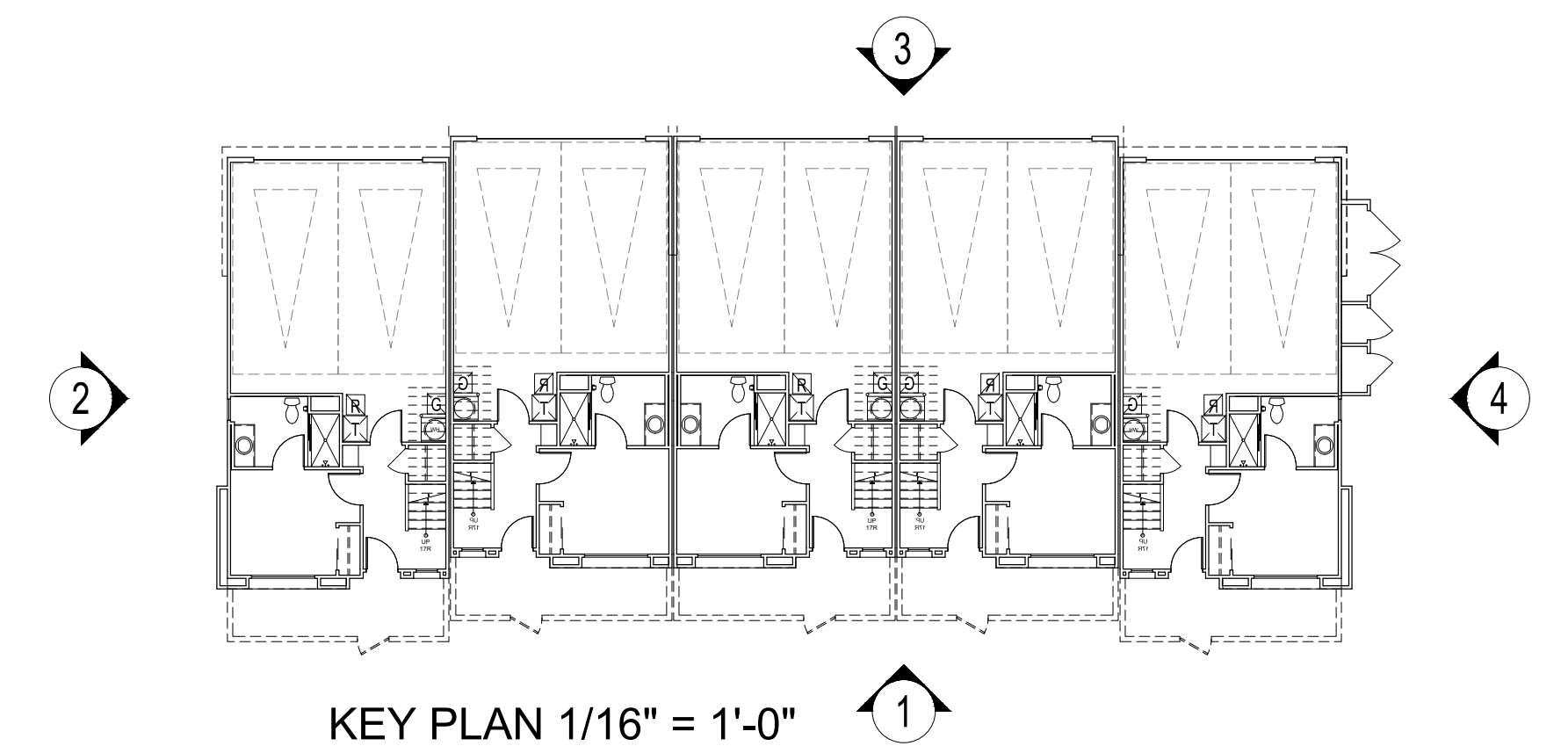
4 - RIGHT



3 - REAR

MATERIAL LEGEND

- | | | | |
|------------------------------|----------------------------|--------------------------------|---------------|
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| 2. CONCRETE "S" TILE ROOFING | 7. METAL RAILING | 12. DECORATIVE SHUTTER | |
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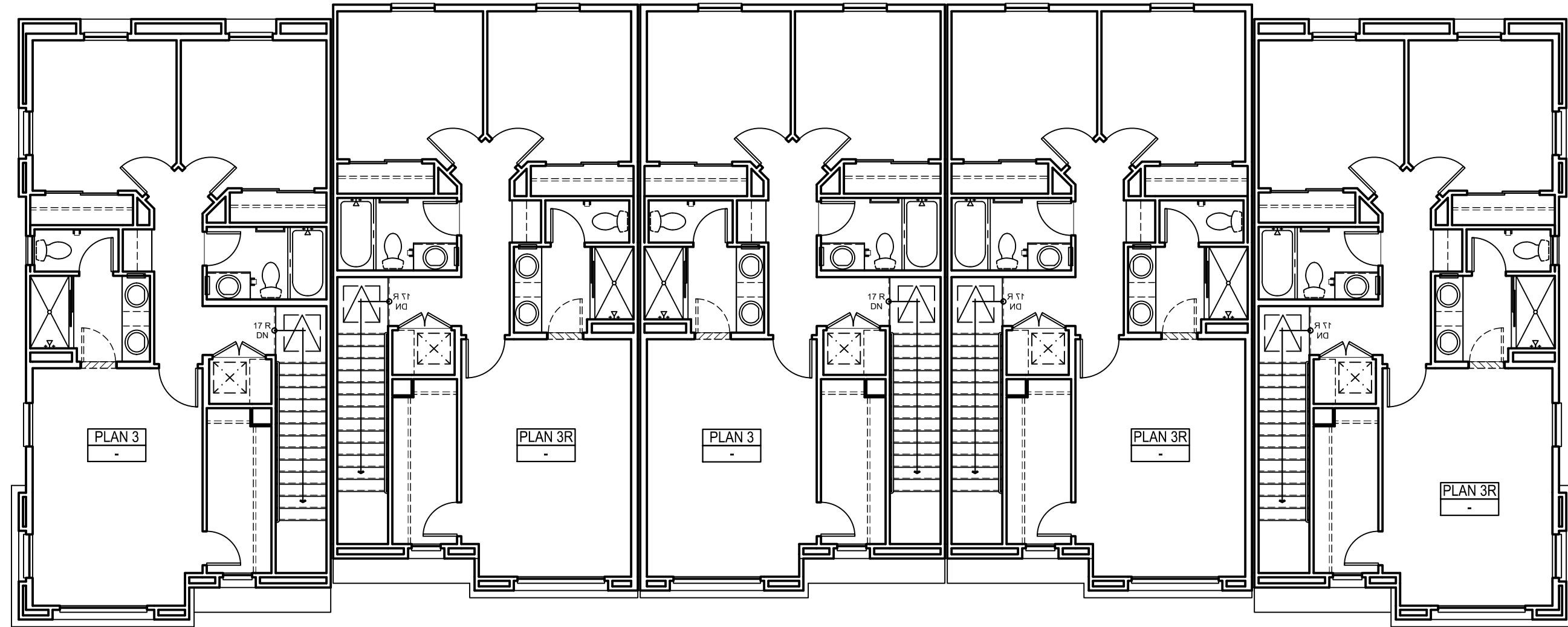
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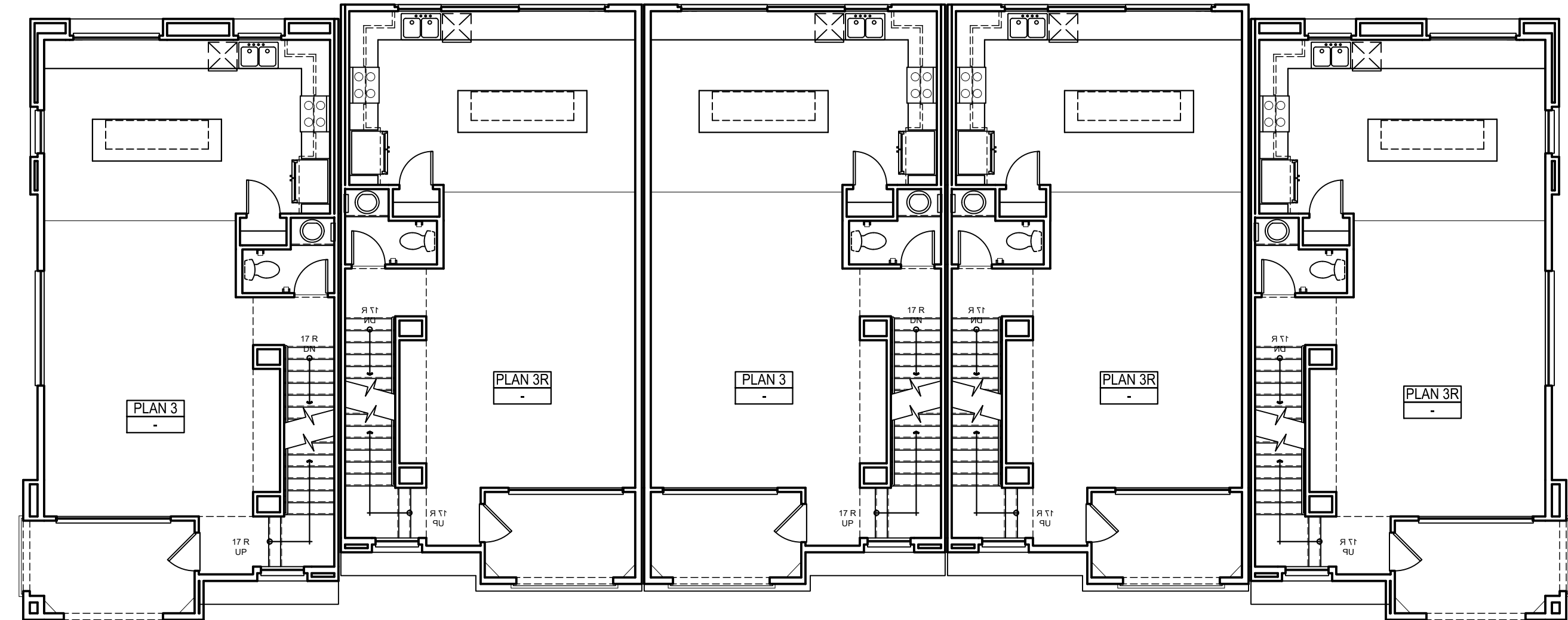


B500-5-PLEX ELEVATIONS

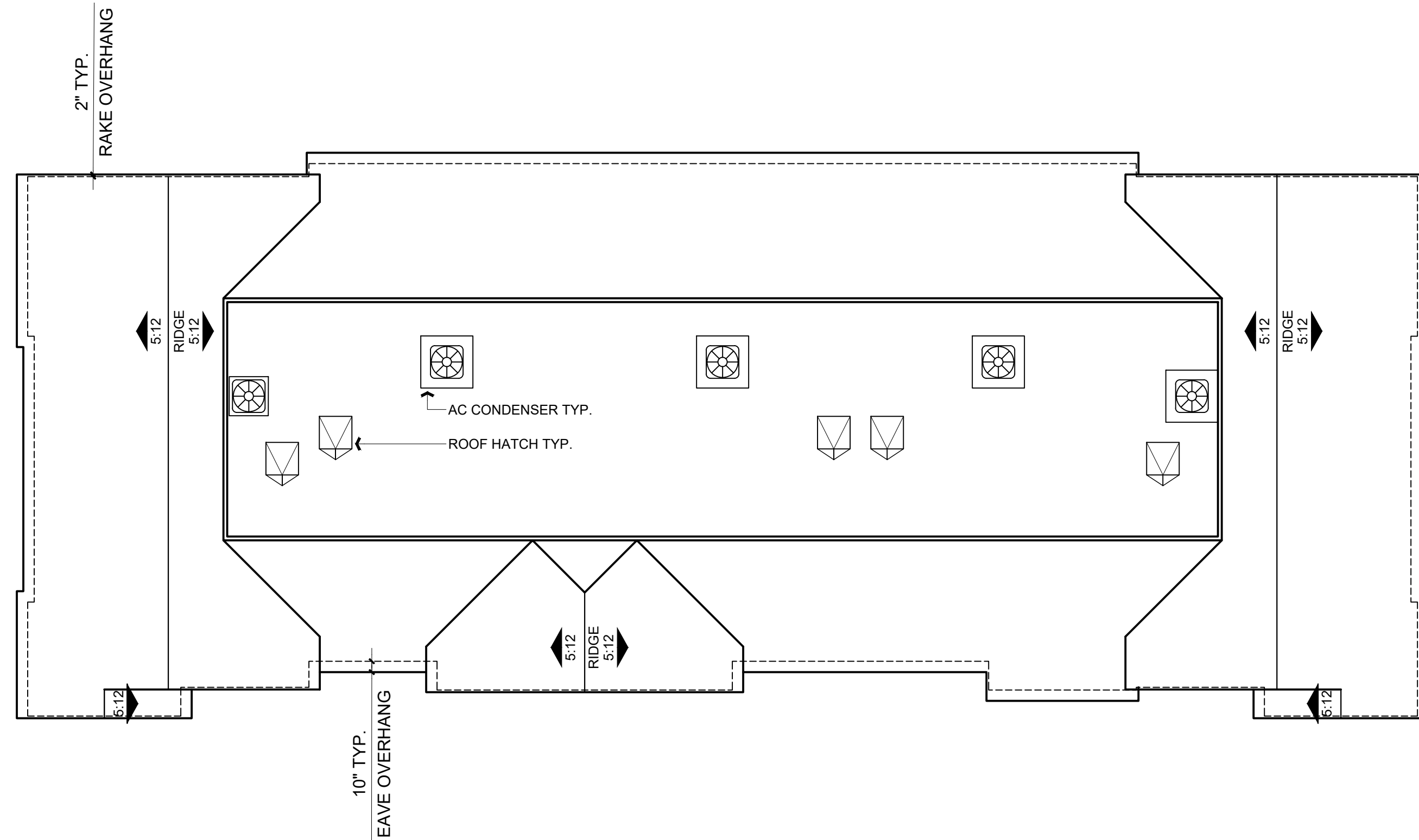
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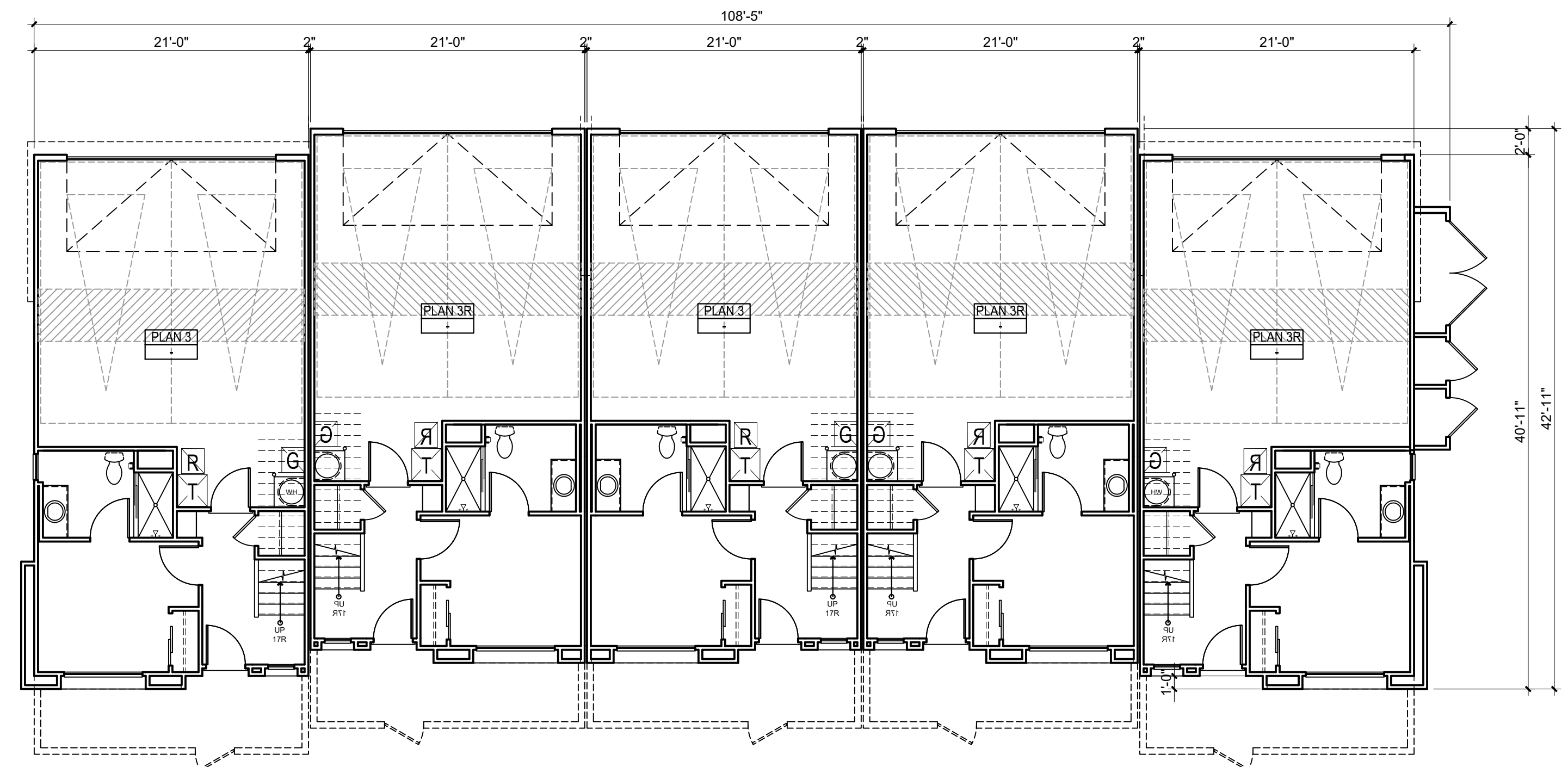
THIRD FLOOR



SECOND FLOOR



ROOF PLAN



FIRST FLOOR



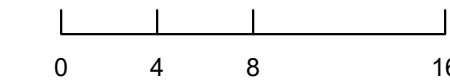
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B500-5-PLEX FLOORPLANS

A2.12



FRONT PERSPECTIVE



REAR PERSPECTIVE



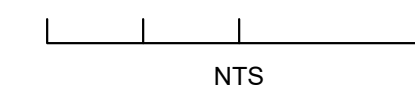
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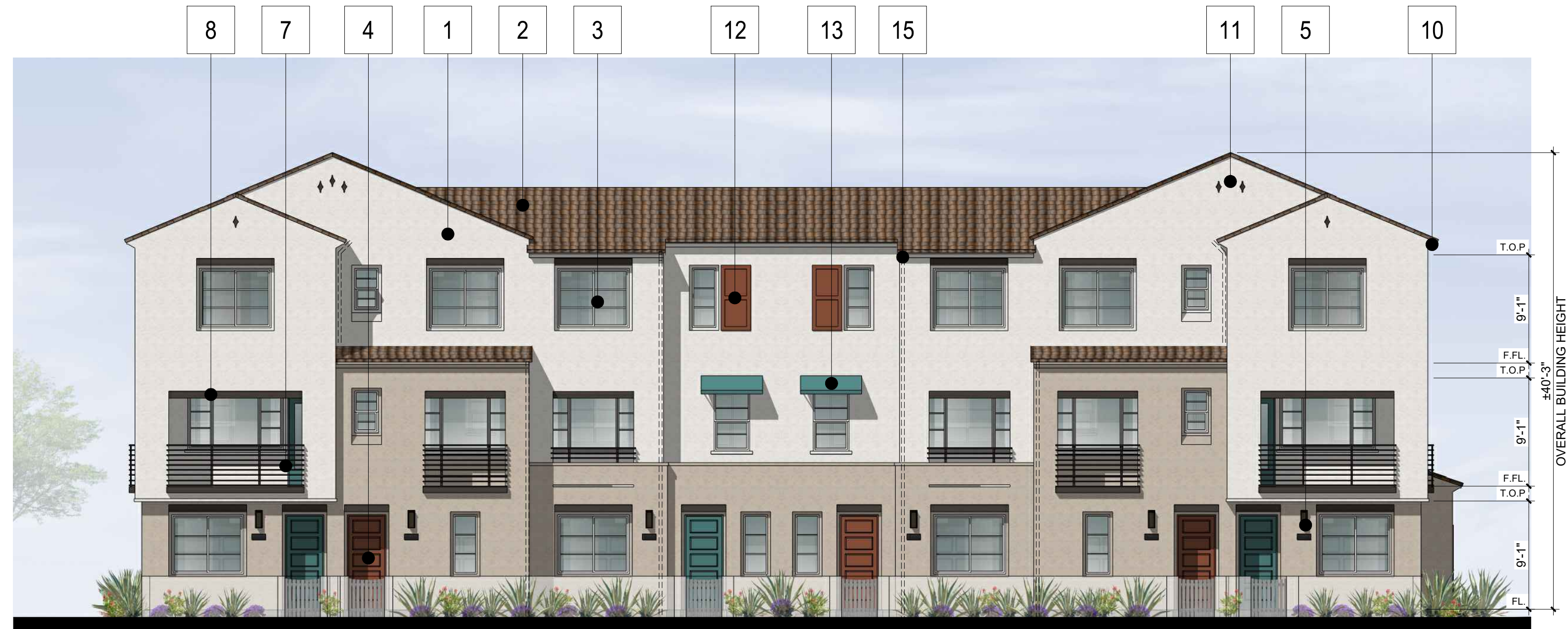


B600-6-PLEX PERSPECTIVE

A2.20



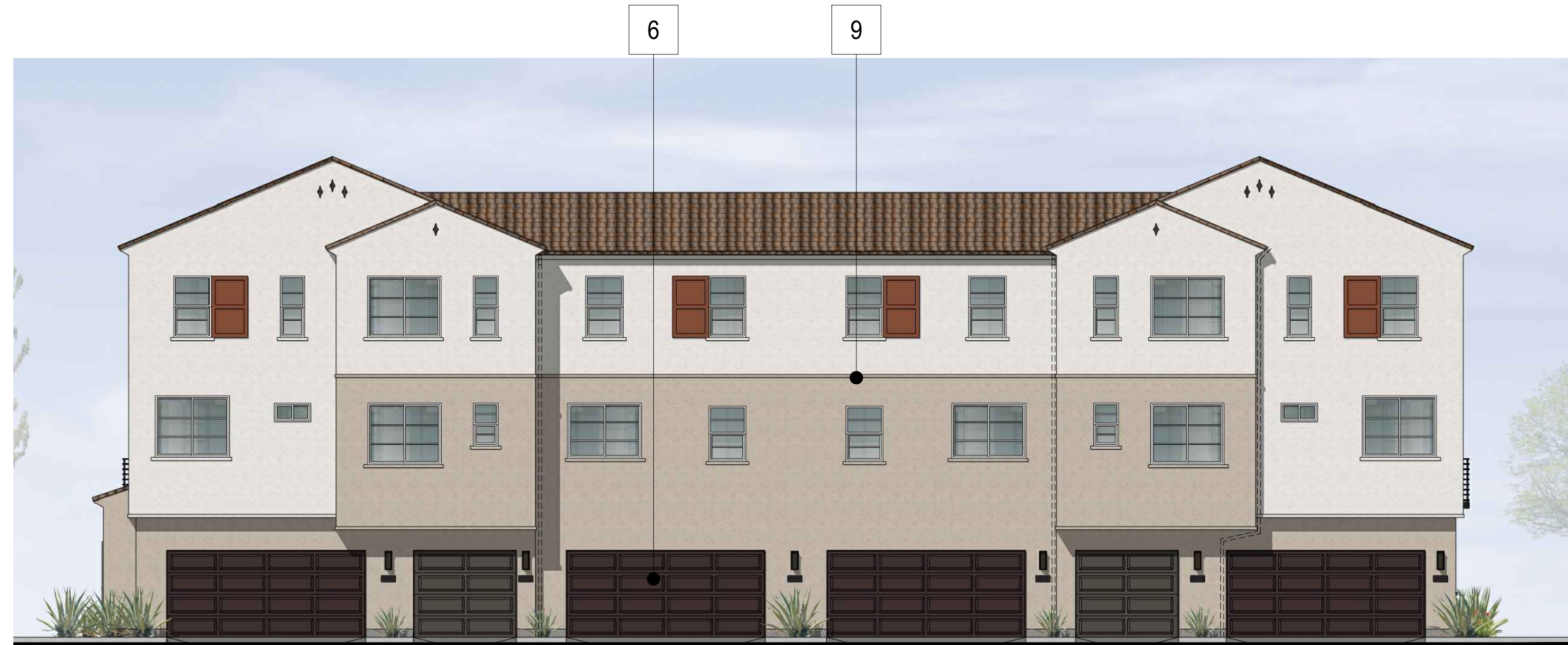
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1 - FRONT



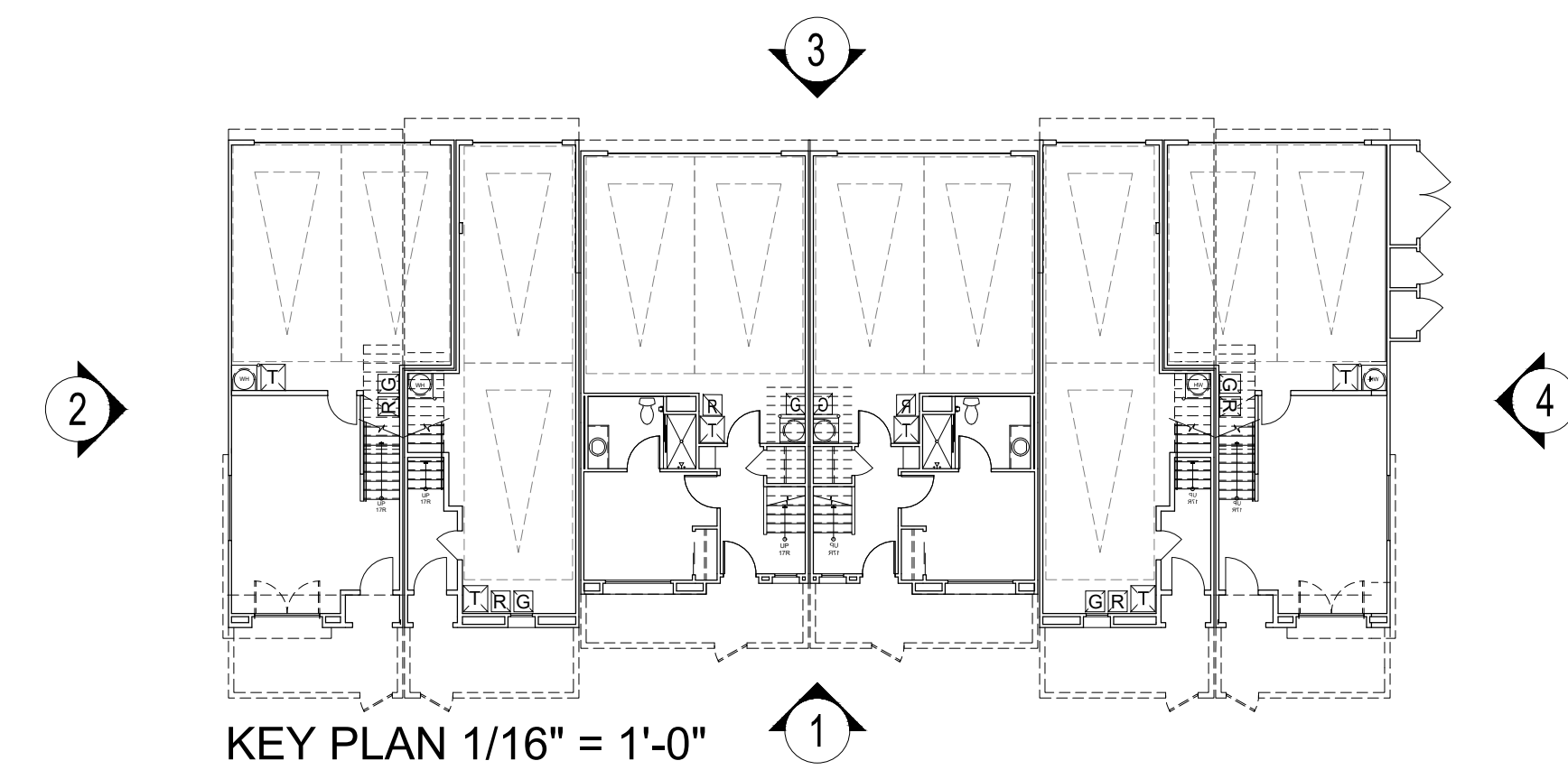
4 - RIGHT



3 - REAR

MATERIAL LEGEND

- | | | | |
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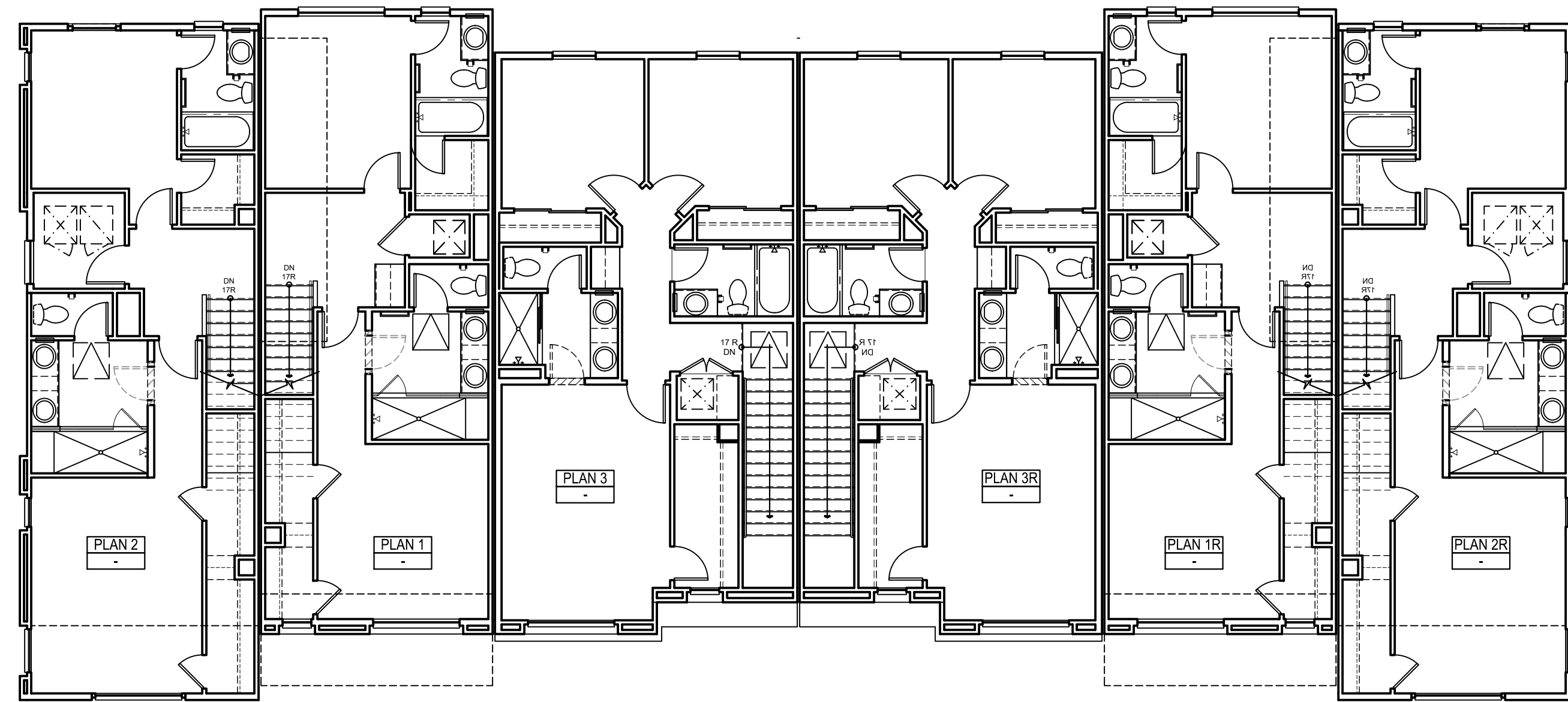
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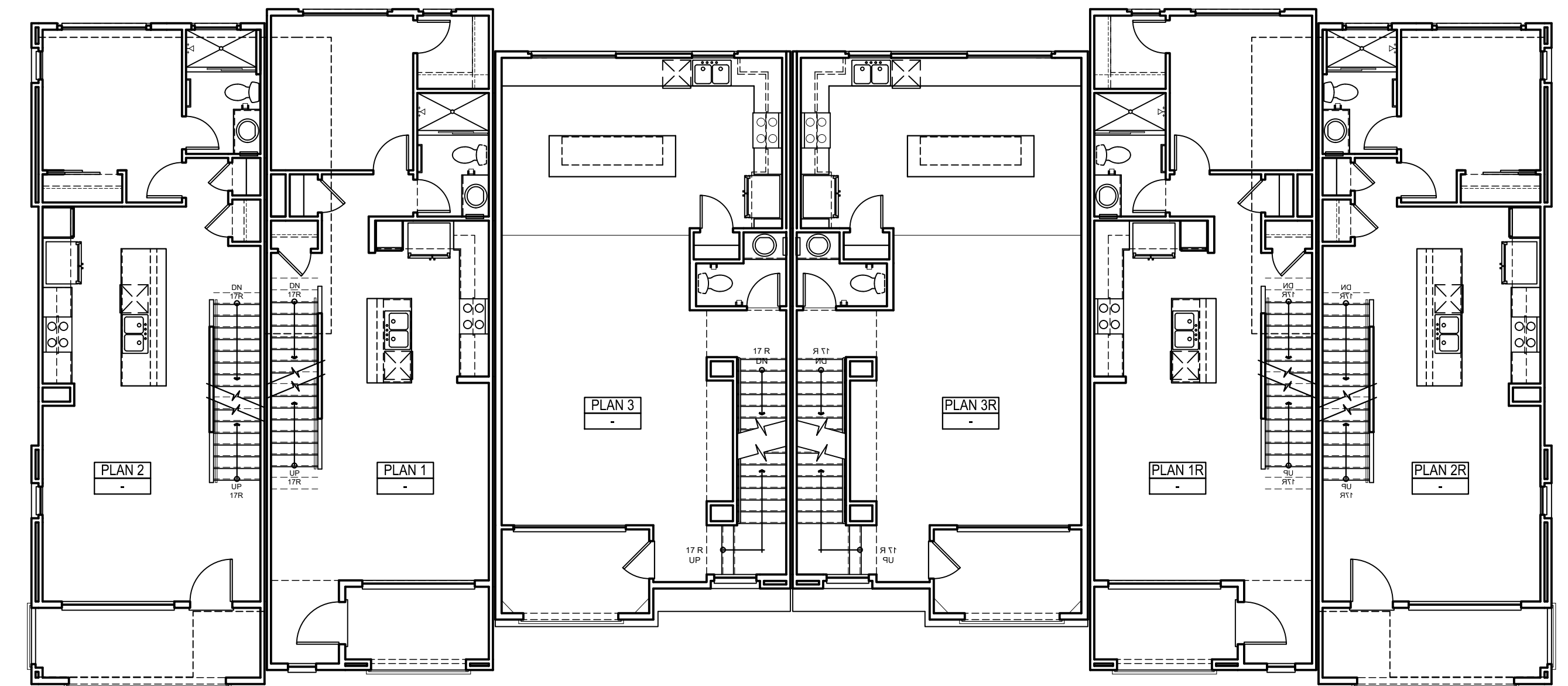


B600-6-PLEX ELEVATIONS

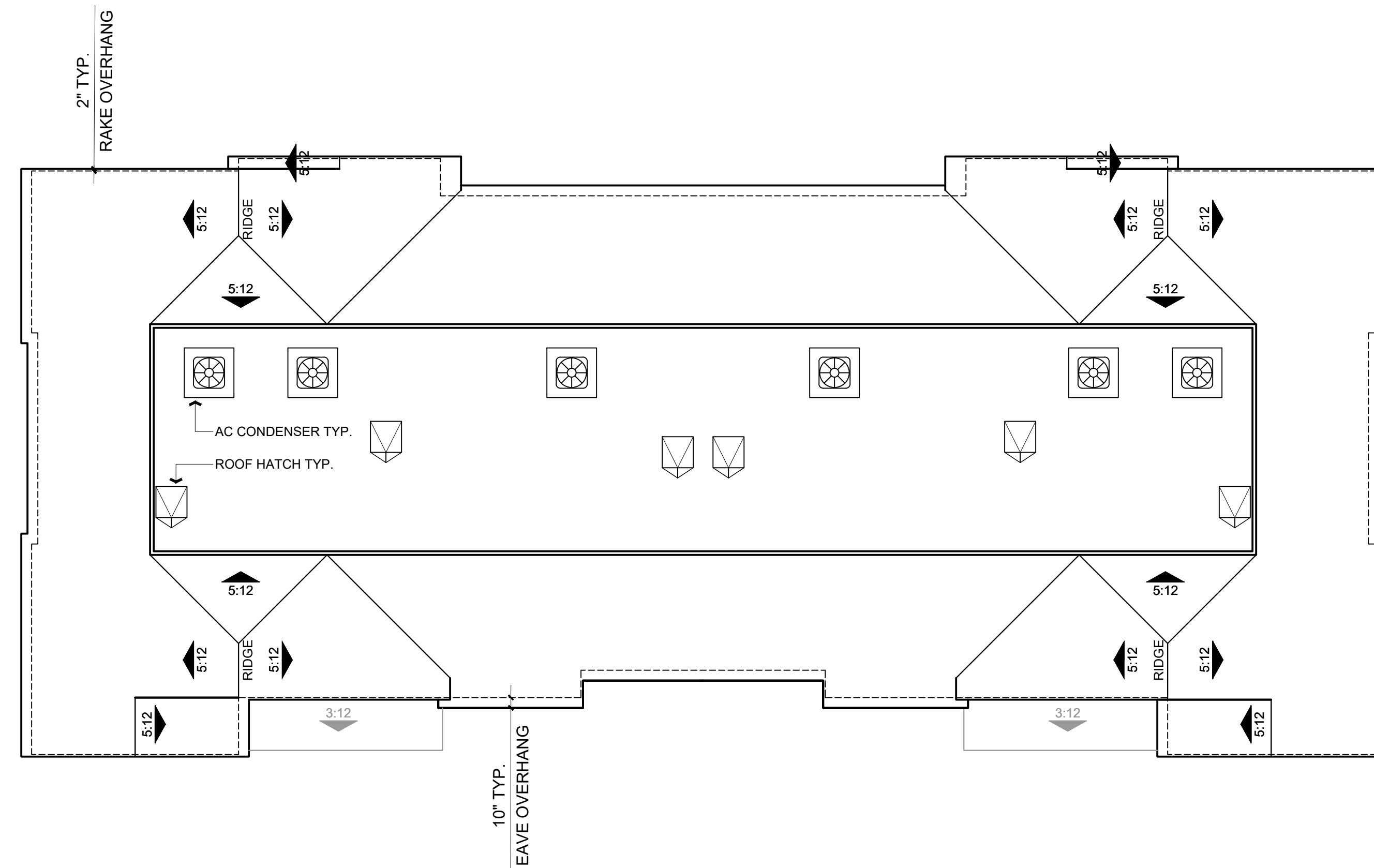
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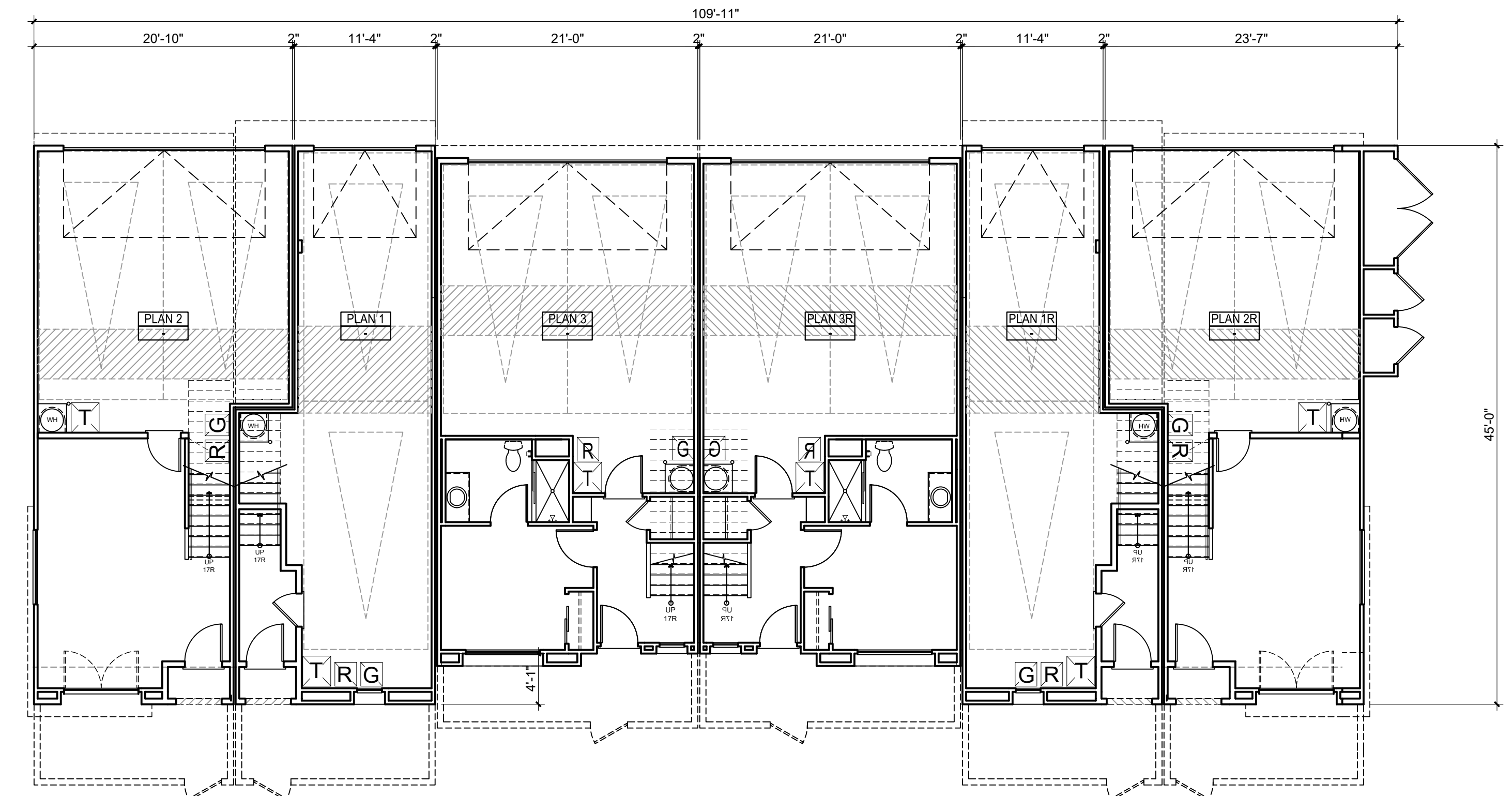
THIRD FLOOR



SECOND FLOOR



ROOF PLAN



FIRST FLOOR



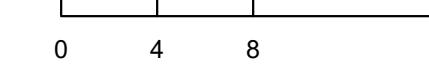
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B600-6-PLEX FLOORPLANS

A2.22



FRONT PERSPECTIVE



REAR PERSPECTIVE



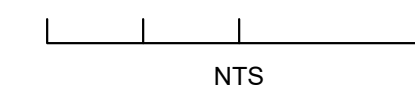
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B610-6-PLEX PERSPECTIVE

A2.30



2 - LEFT



1 - FRONT



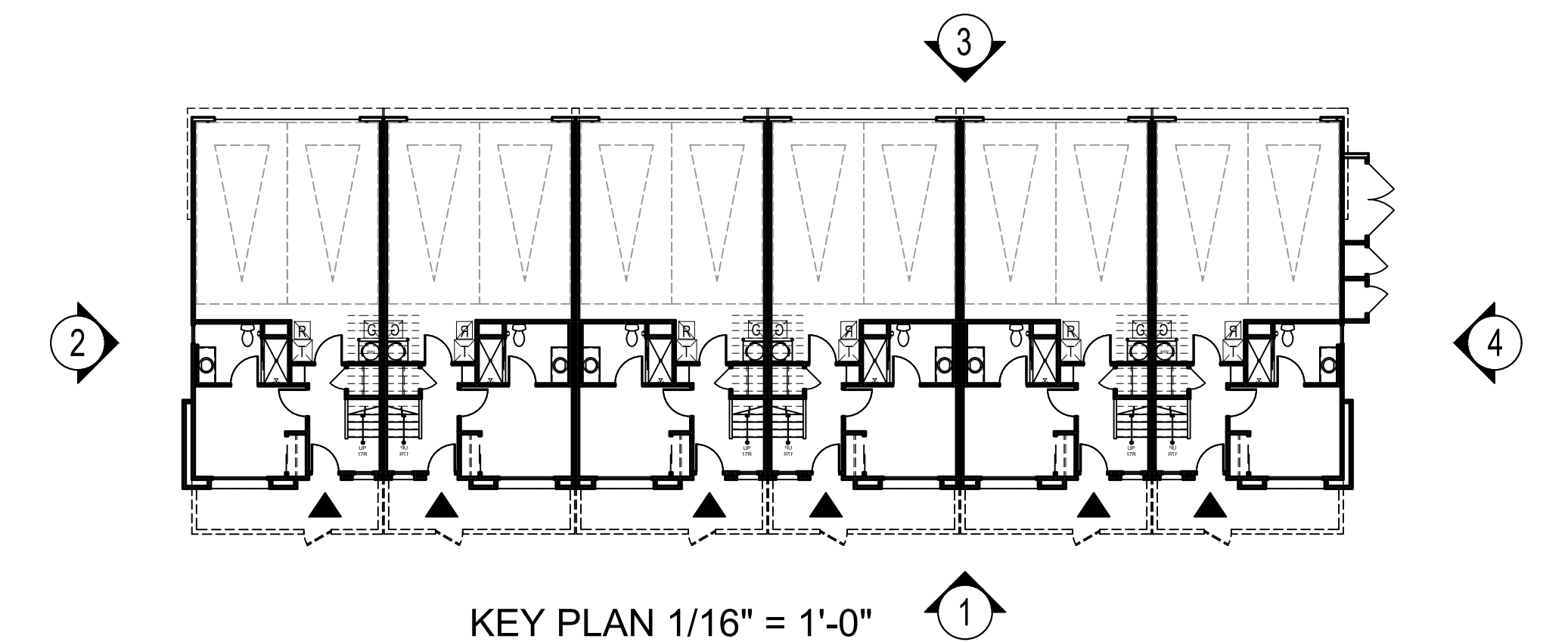
4 - RIGHT



3 - REAR

MATERIAL LEGEND

- | | | | |
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| 4. FIBERGLASS ENTRY DOOR | 9. STUCCO SILL TRIM | 14. UTILITY CLOSET DOORS | |
| 5. ILLUMINATED ADDRESS SIGN | 10. STUCCO O/ FOAM CORNICE | | |



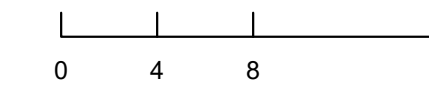
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949.851.2133
ktgy.com



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Irvine, California 92612

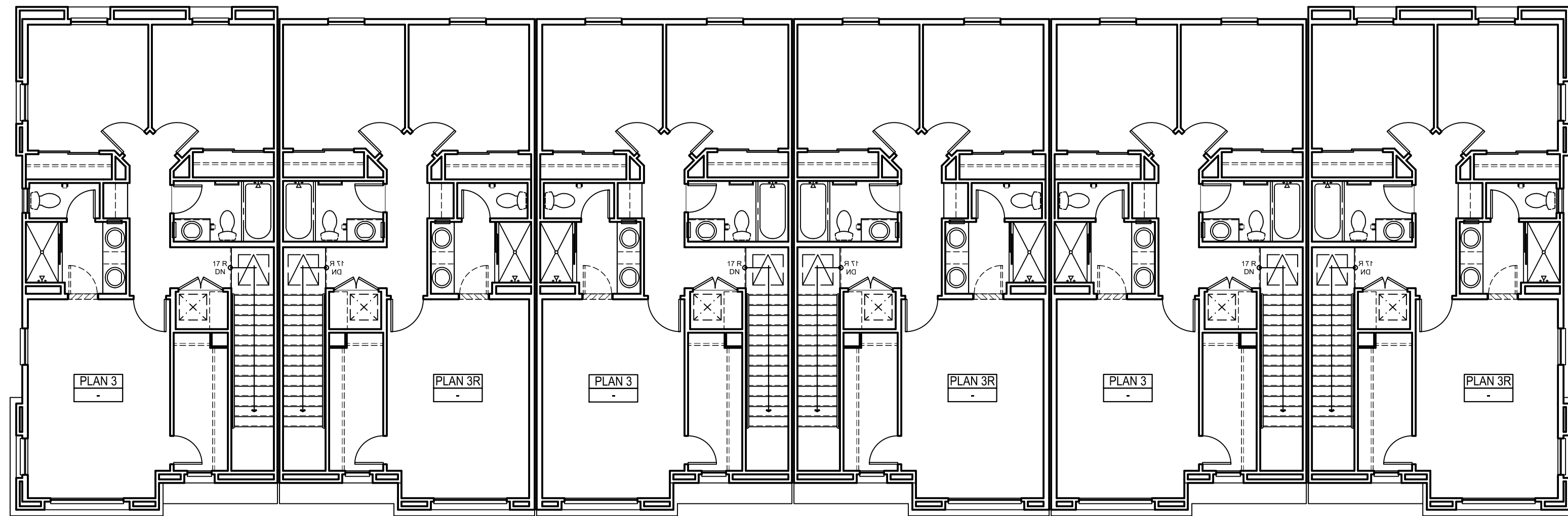
"PASEO"- PARK CENTER
SANTEE, CA 2024-0093

Plot Date: 6.21.2024
1st Submittal Date: 6.21.2024

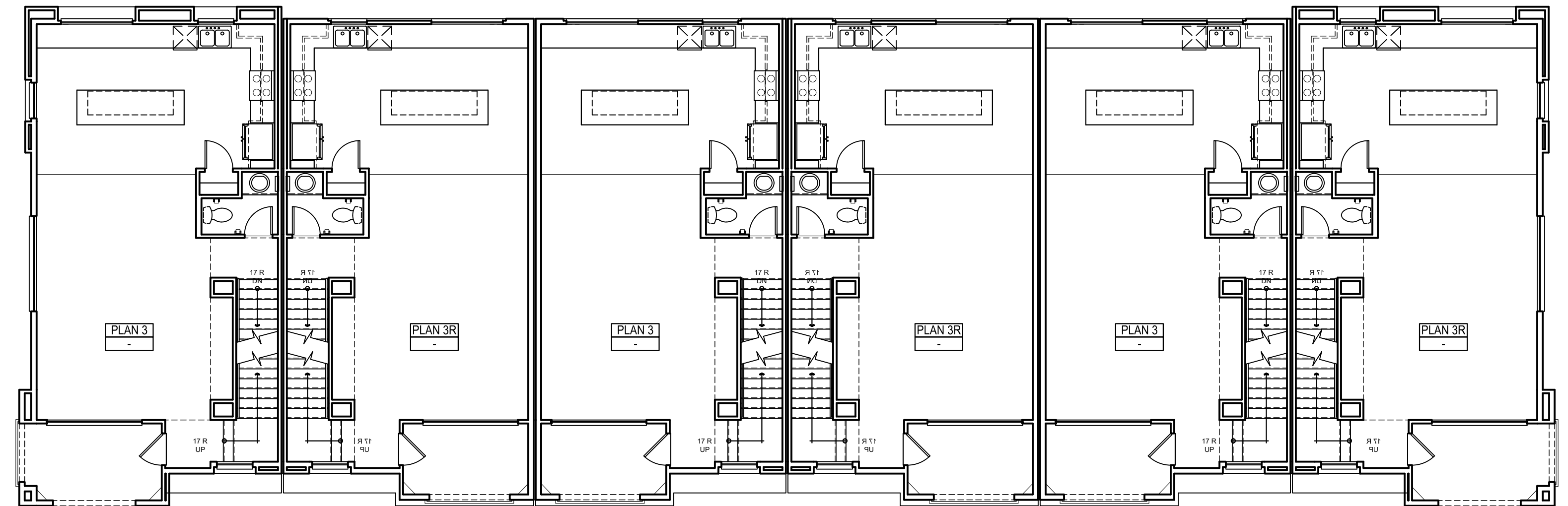


B610-6-PLEX ELEVATIONS

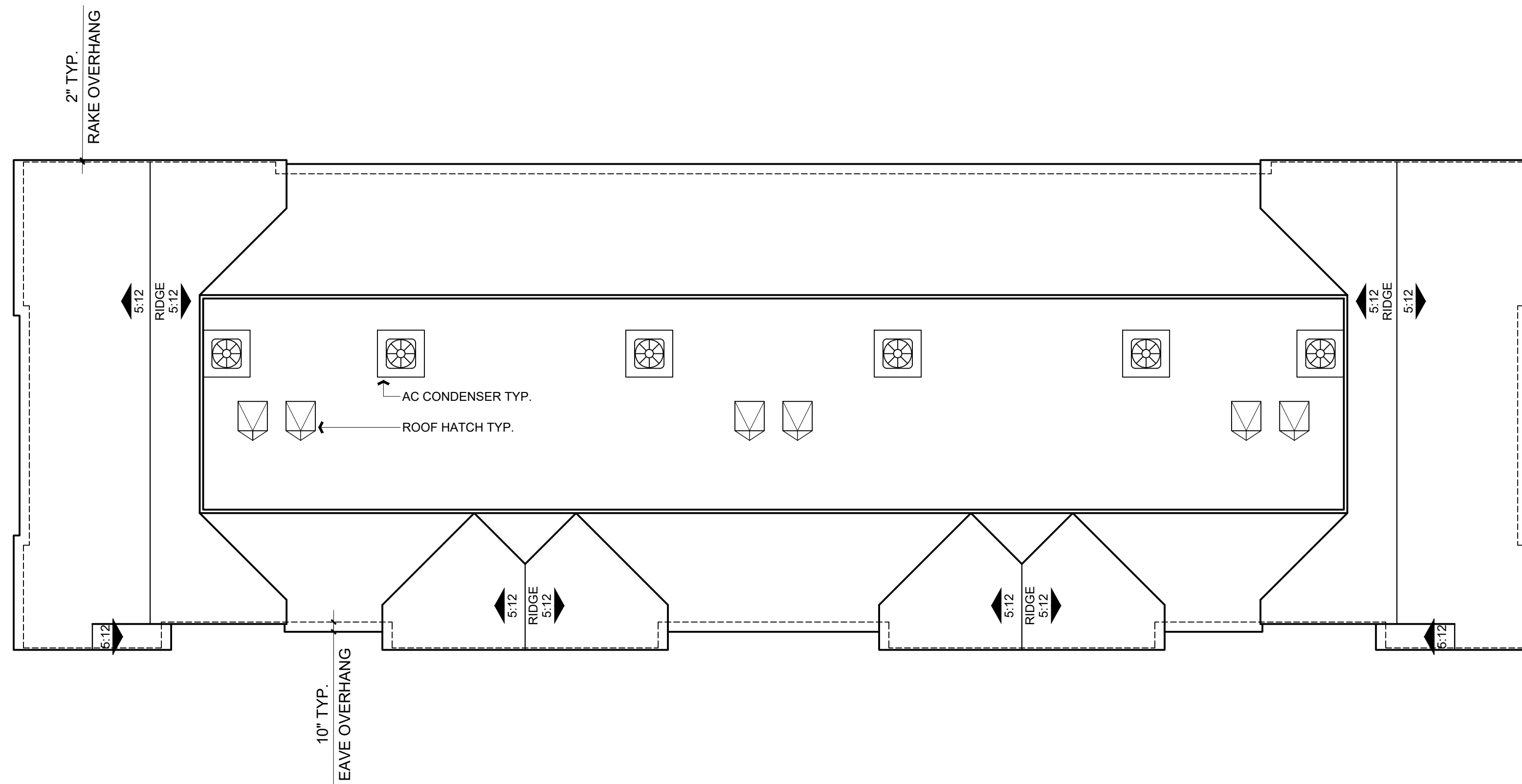
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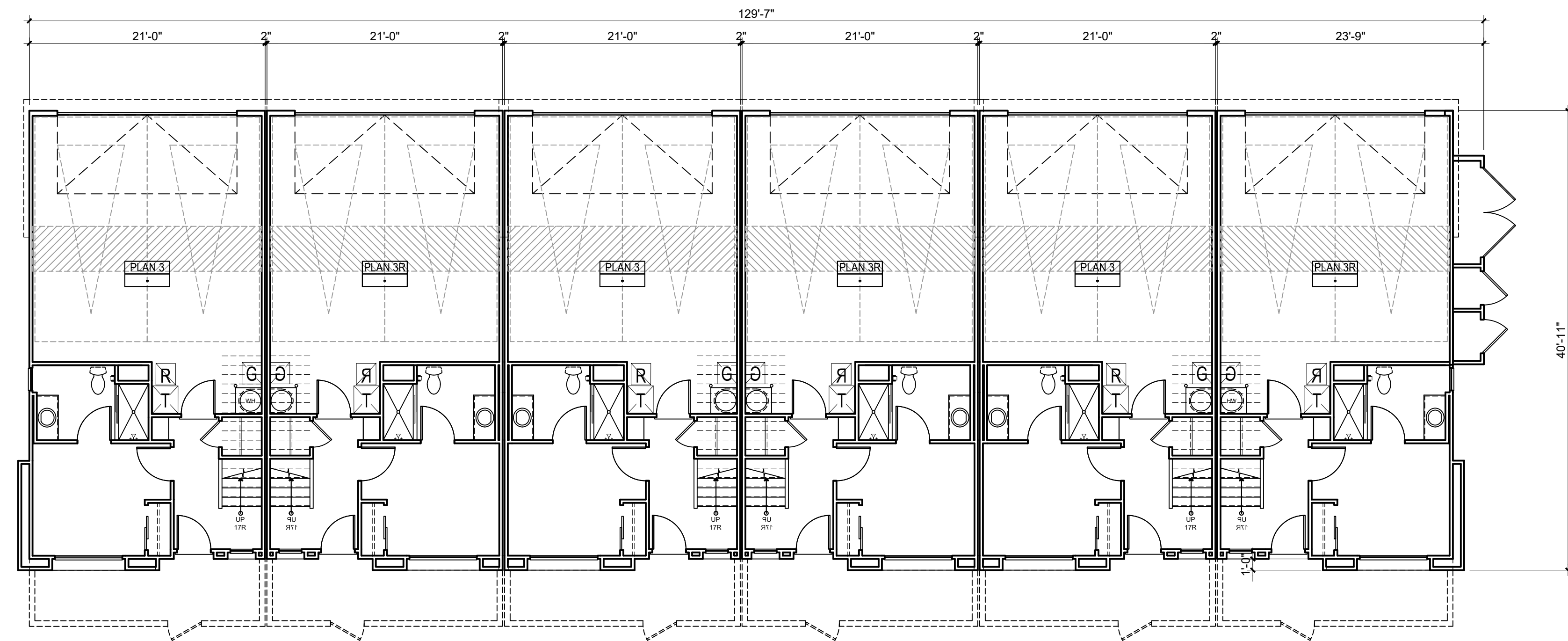
THIRD FLOOR



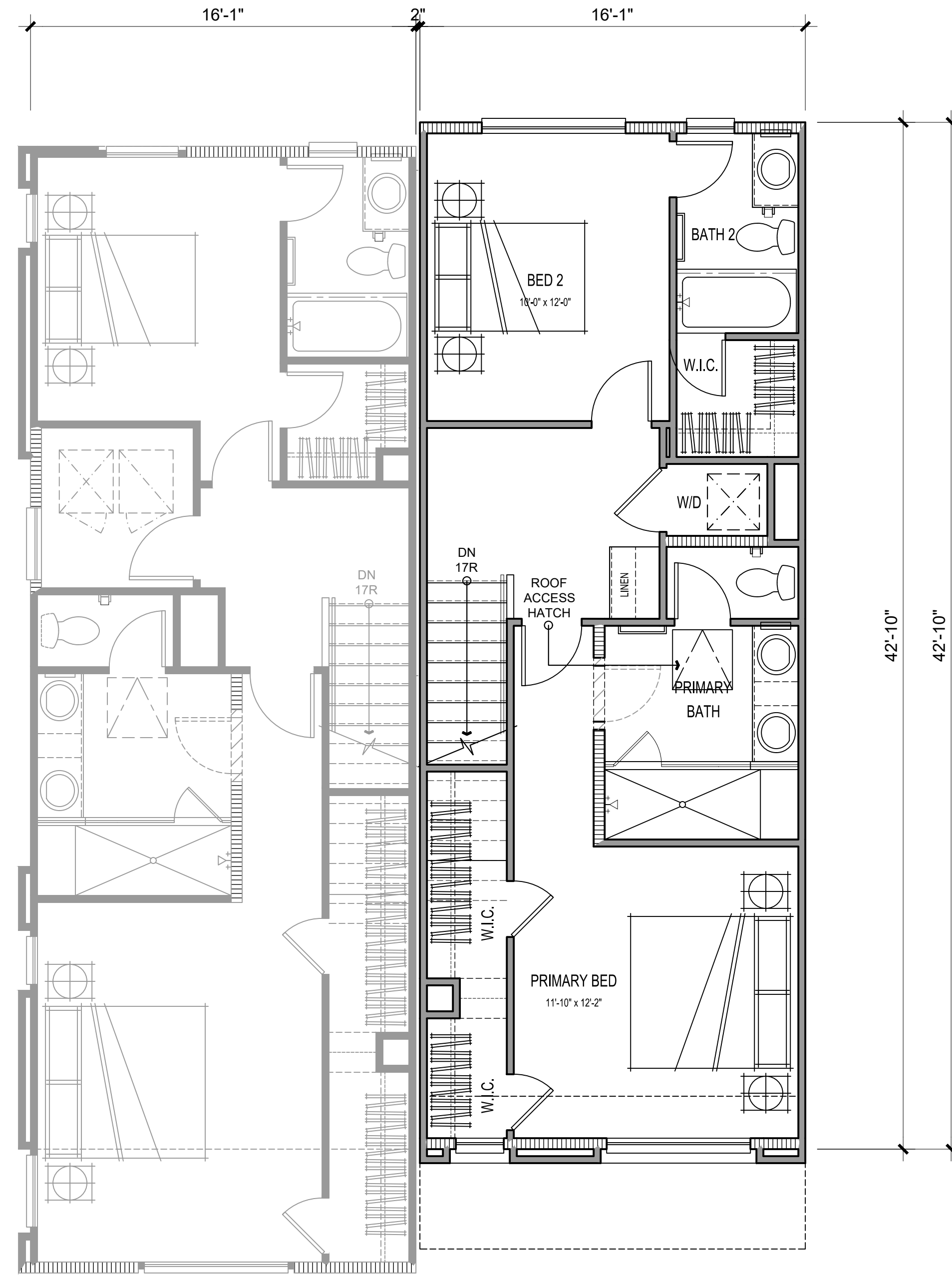
SECOND FLOOR



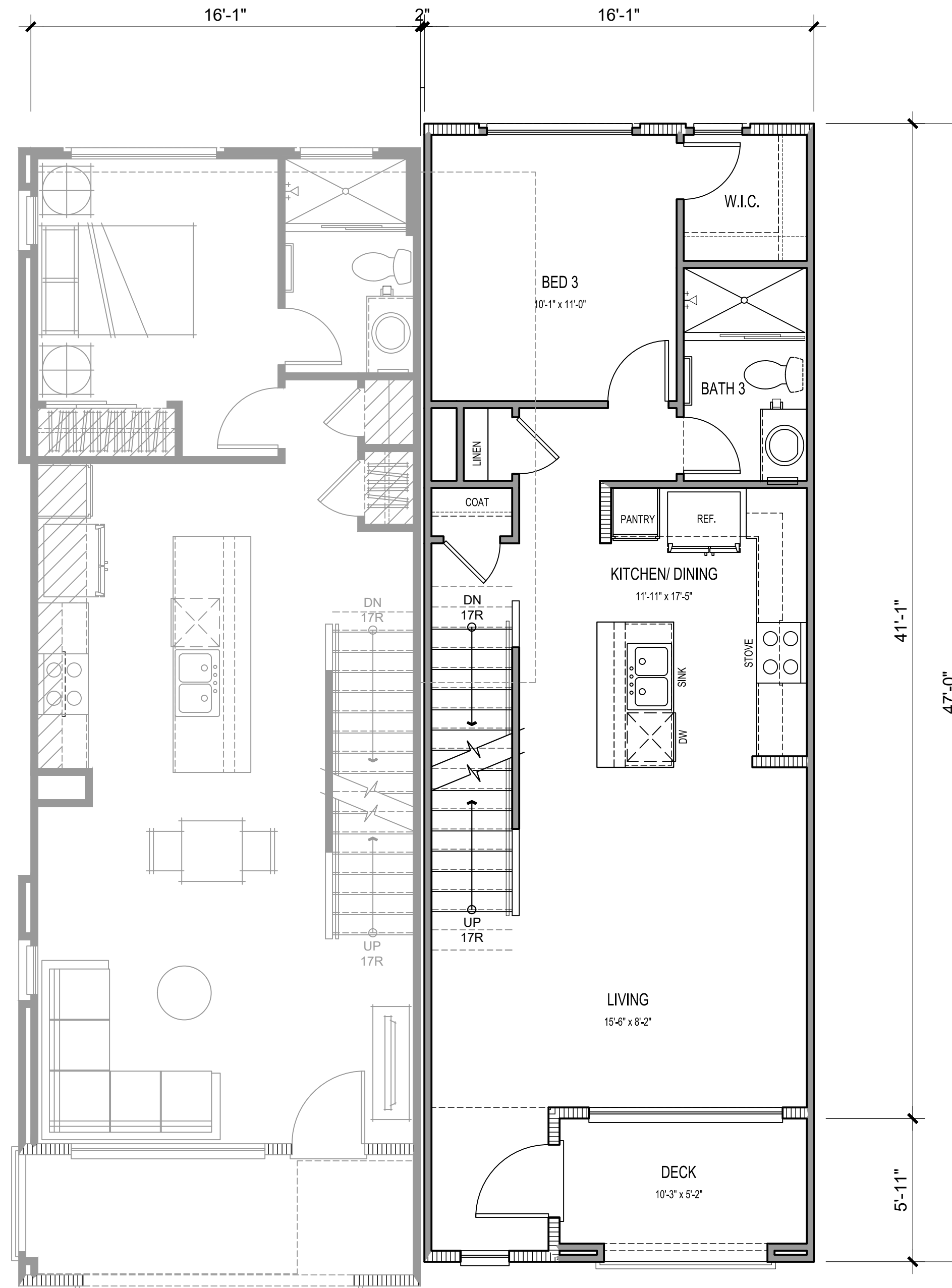
ROOF PLAN



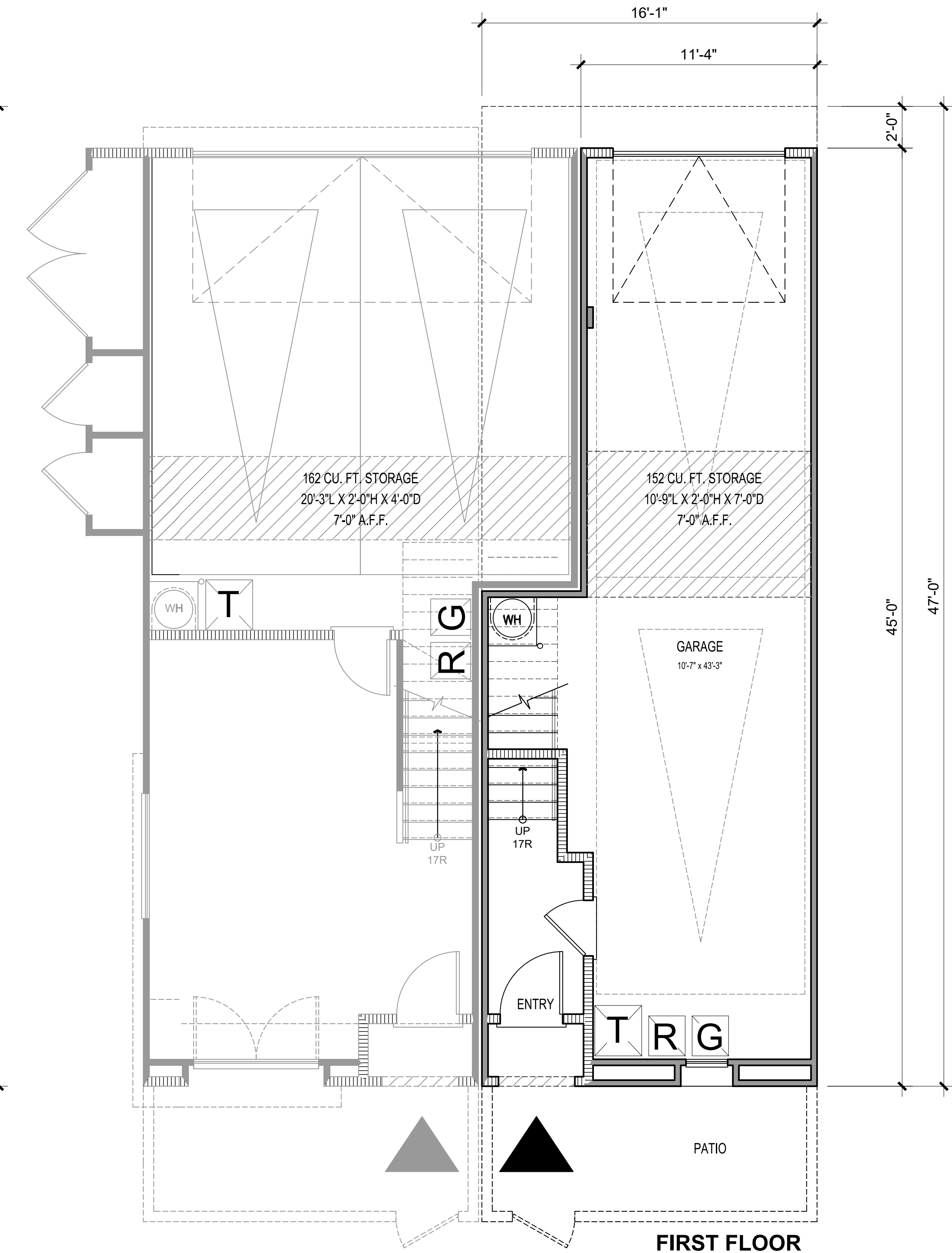
FIRST FLOOR



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

3 BEDS/ 3 BATHS

NET SF	
1ST FLOOR	85 SQ. FT.
2ND FLOOR	646 SQ. FT.
3RD FLOOR	614 SQ. FT.
TOTAL LIVING	1345 SQ. FT.
GARAGE	532 SQ. FT.
PATIO	127 SQ. FT.
DECK	53 SQ. FT.



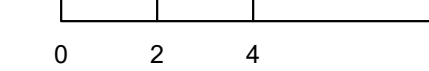
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Irvine, California 92612

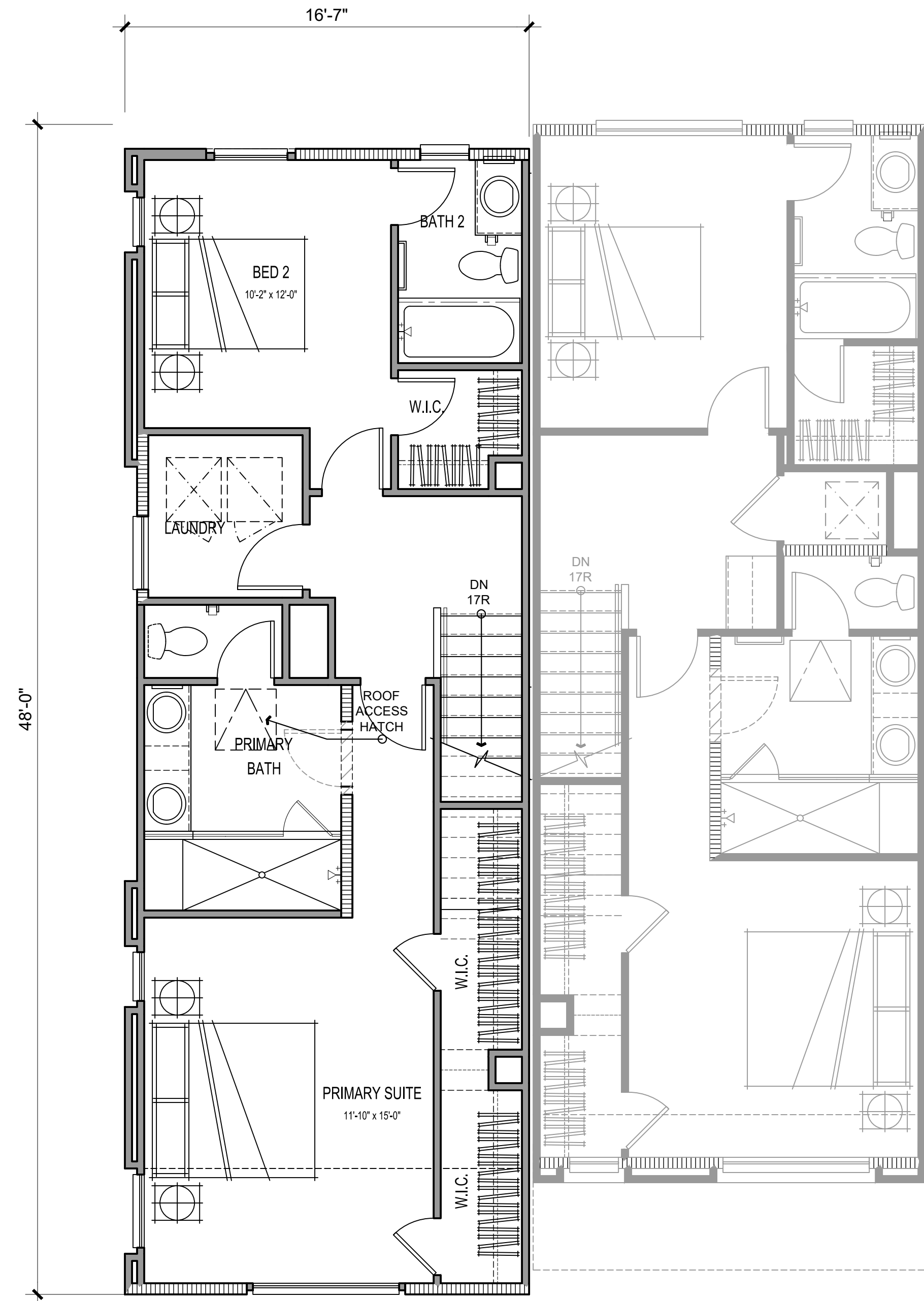
"PASEO"- PARK CENTER
SANTEE, CA 2024-0093

Plot Date: 6.21.2024
1st Submittal Date: 6.21.2024

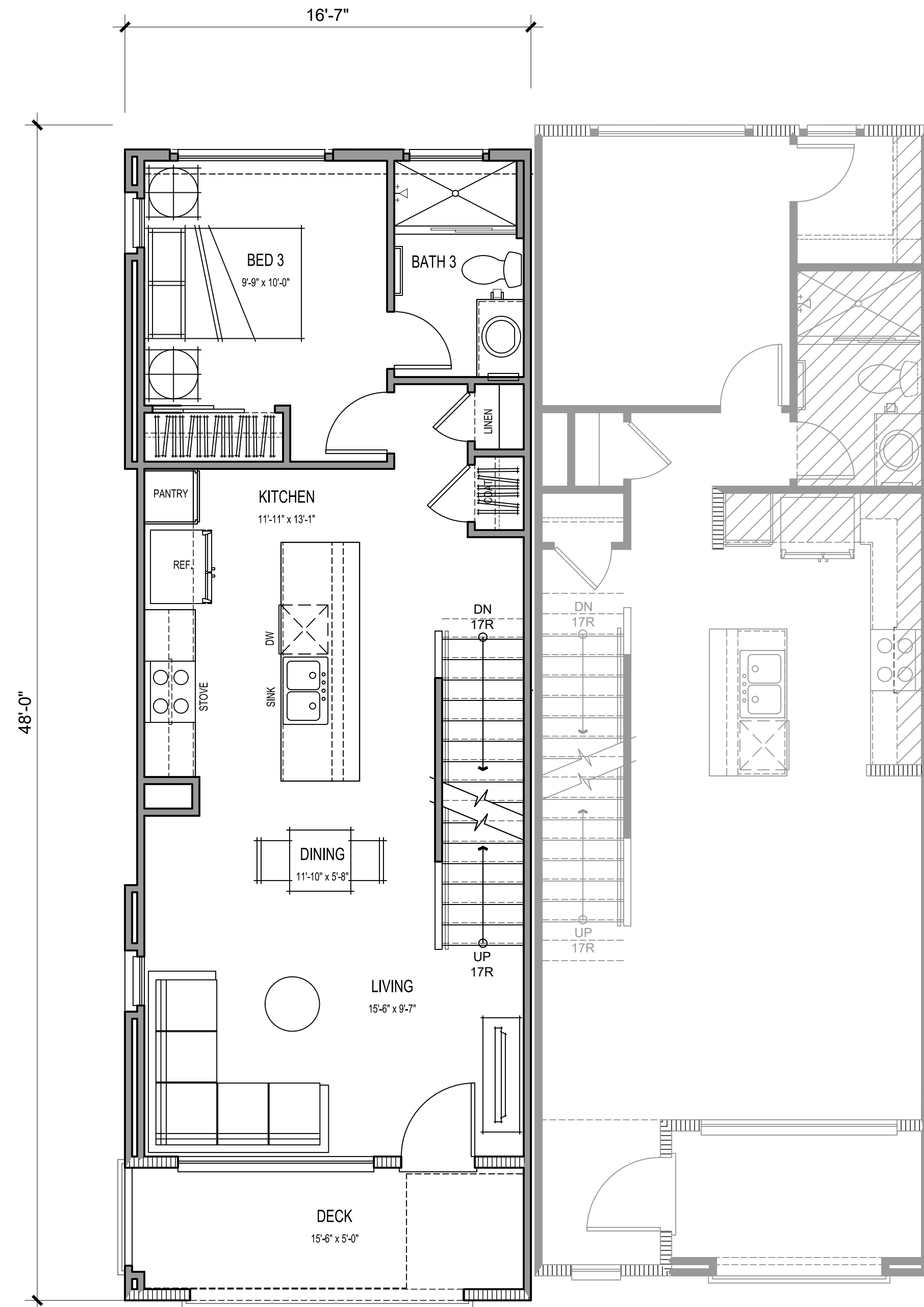


PLAN 1
UNIT PLANS

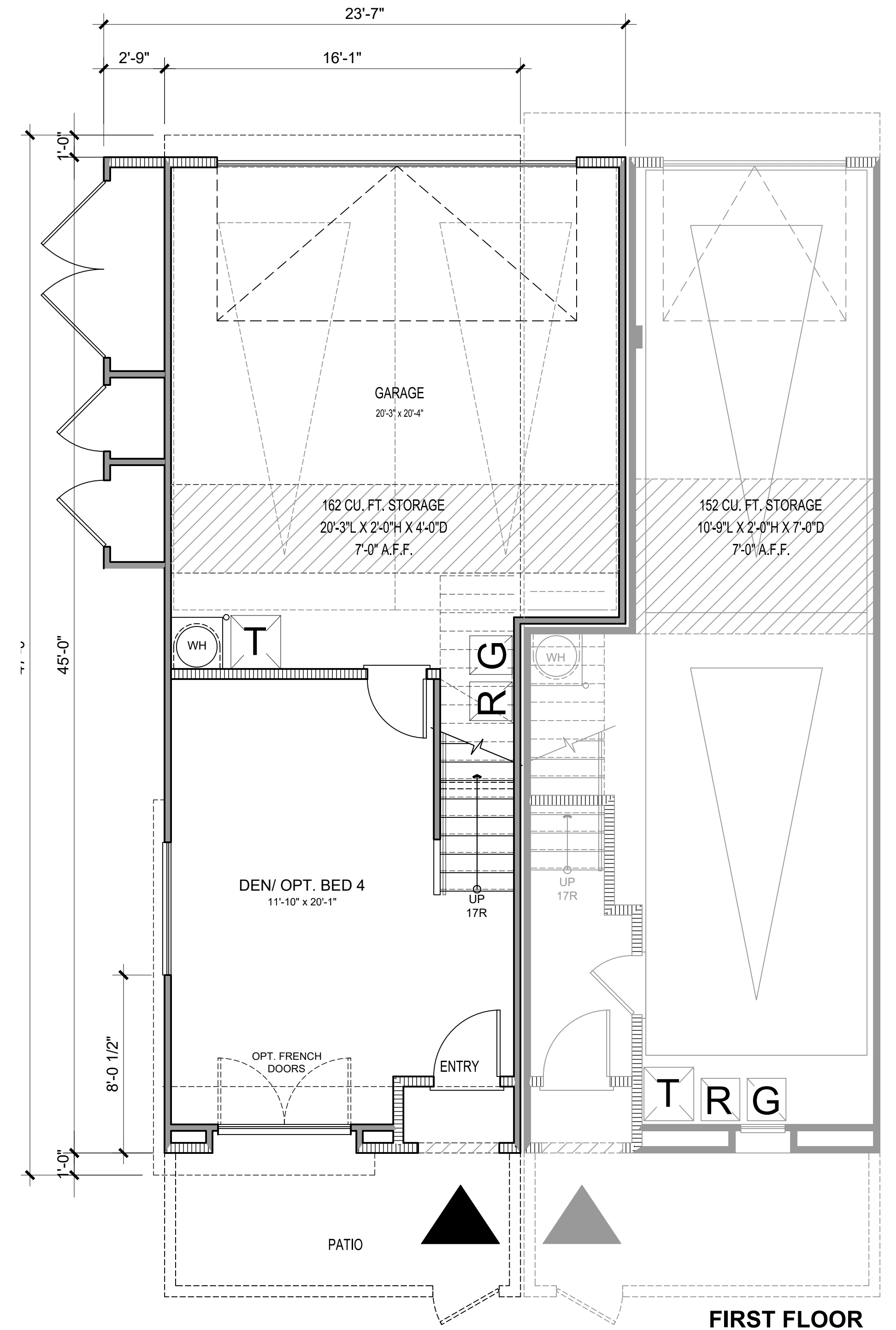
A3.00



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

3 BEDS / 3 BATHS

NET SF	
1ST FLOOR	324 SQ. FT.
2ND FLOOR	626 SQ. FT.
3RD FLOOR	677 SQ. FT.
TOTAL LIVING	1627 SQ. FT.
GARAGE	472 SQ. FT.
PATIO	105 SQ. FT.
DECK	77 SQ. FT.



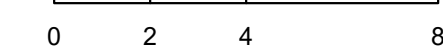
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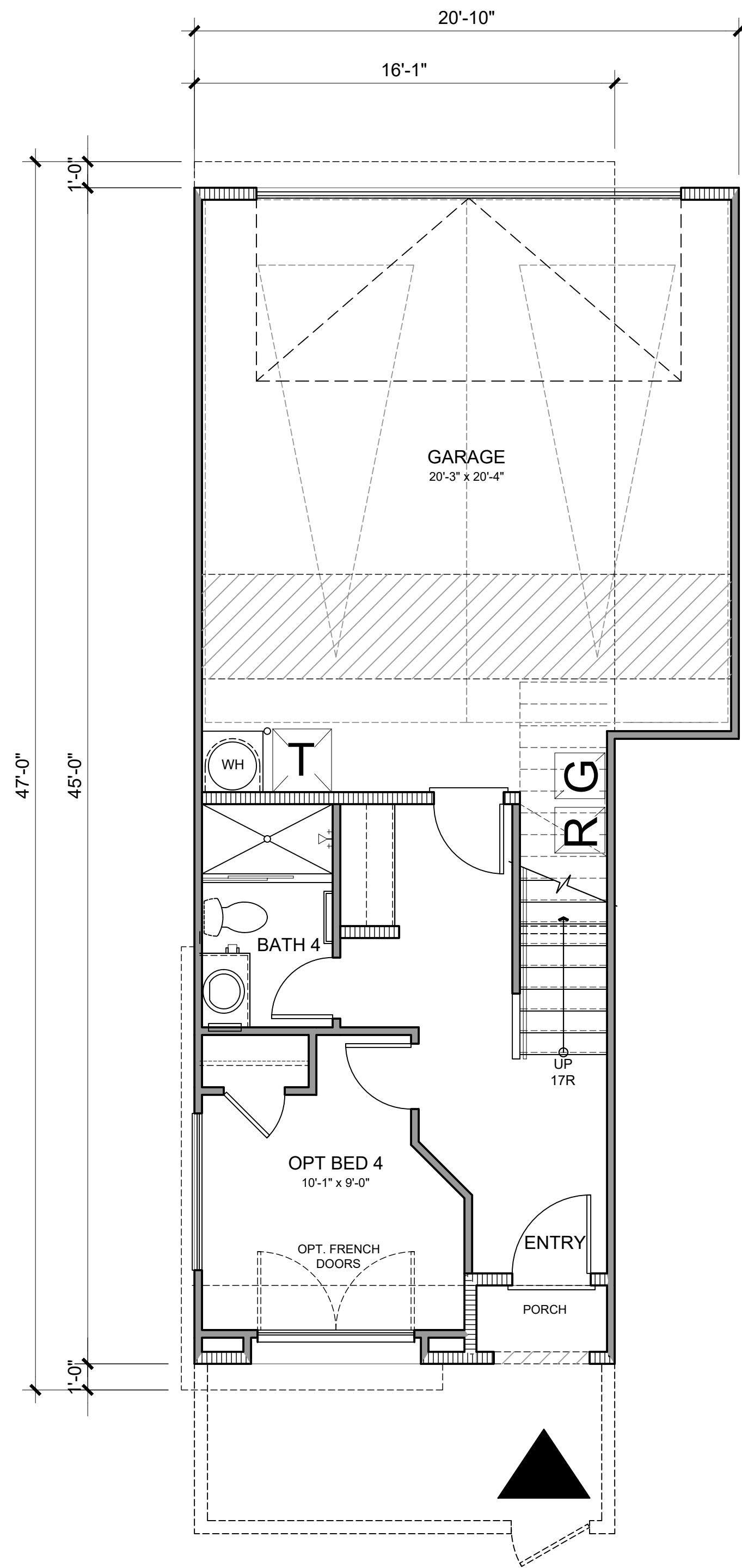
"PASEO"- PARK CENTER
SANTEE, CA 2024-0093

Plot Date: 6.21.2024
1st Submittal Date: 6.21.2024

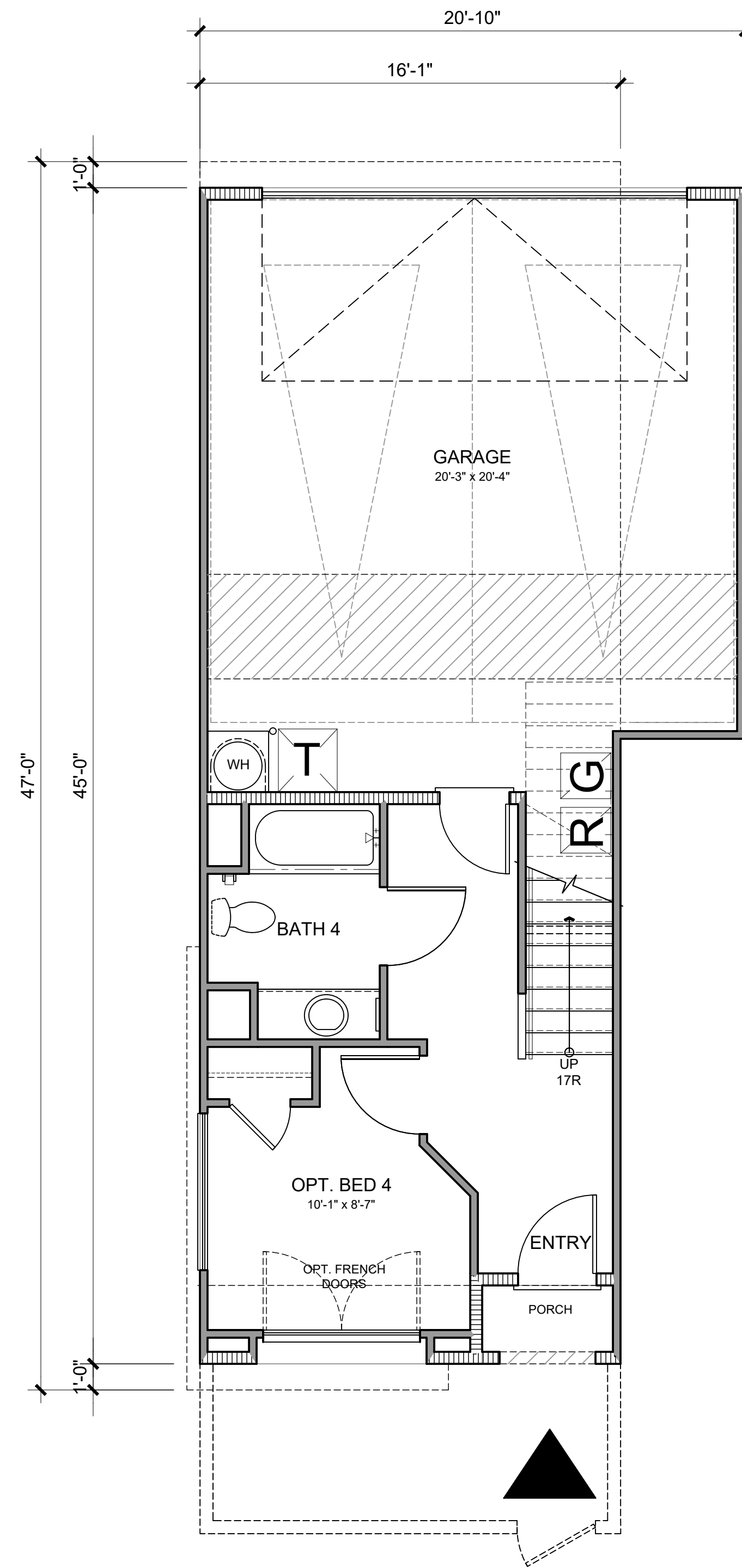


PLAN 2
UNIT PLANS

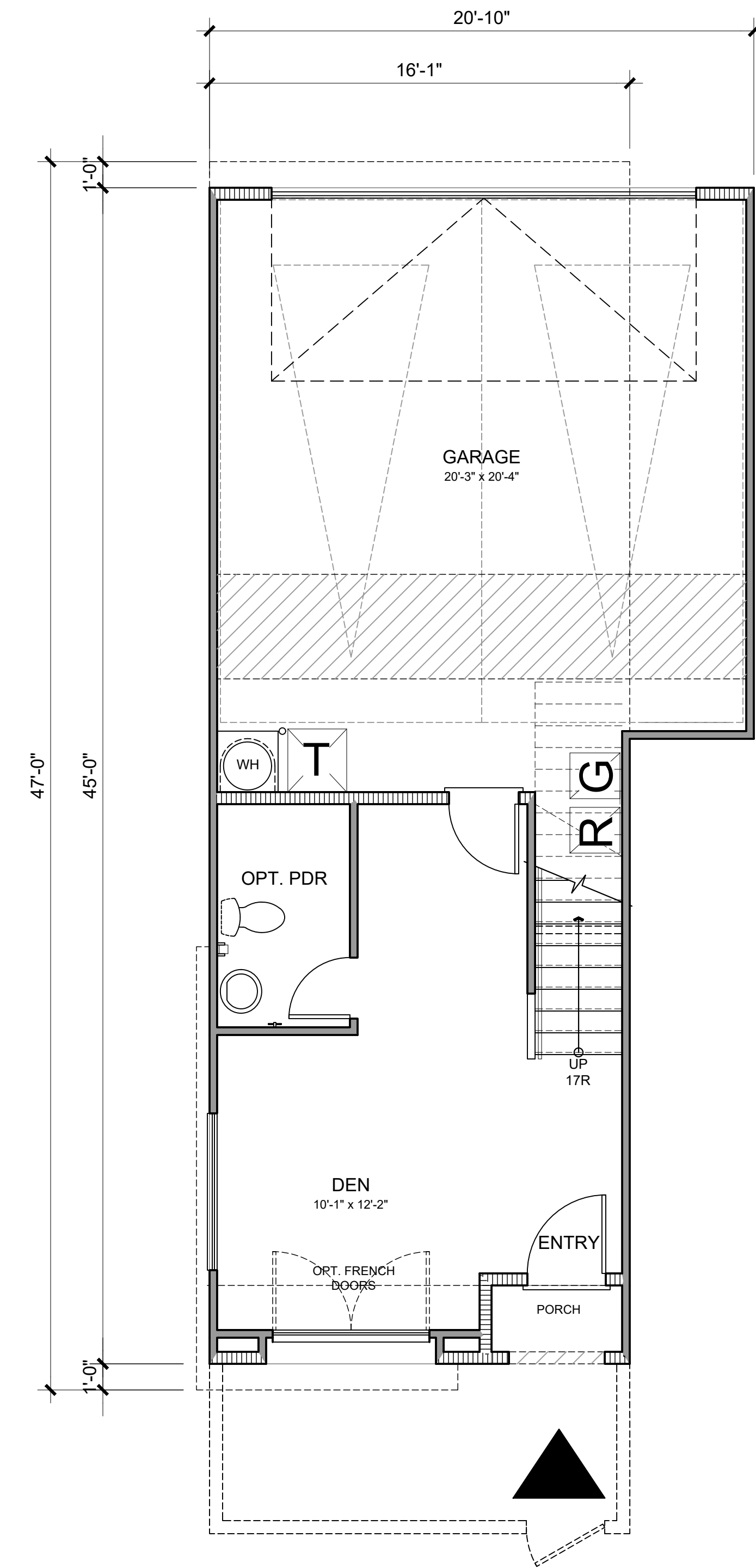
A3.10



FIRST FLOOR -
OPT BED



FIRST FLOOR ACCESSIBLE -
OPT BED W ACC BATH



FIRST FLOOR ACCESSIBLE -
DEN W OPT PDR



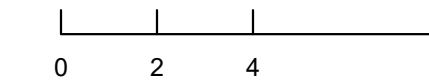
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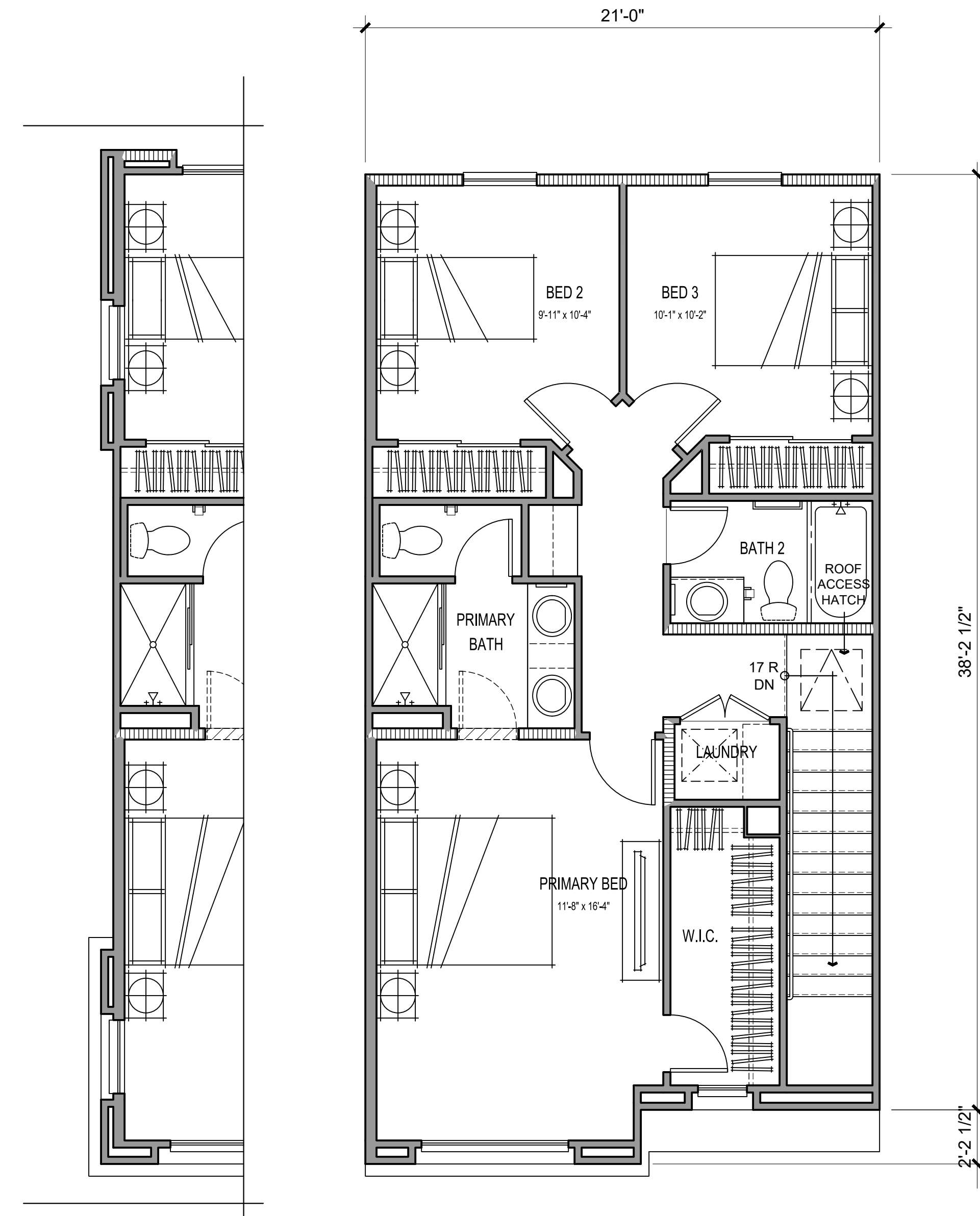
"PASEO"- PARK CENTER
SANTEE, CA 2024-0093

Plot Date: 6.21.2024
1st Submittal Date: 6.21.2024

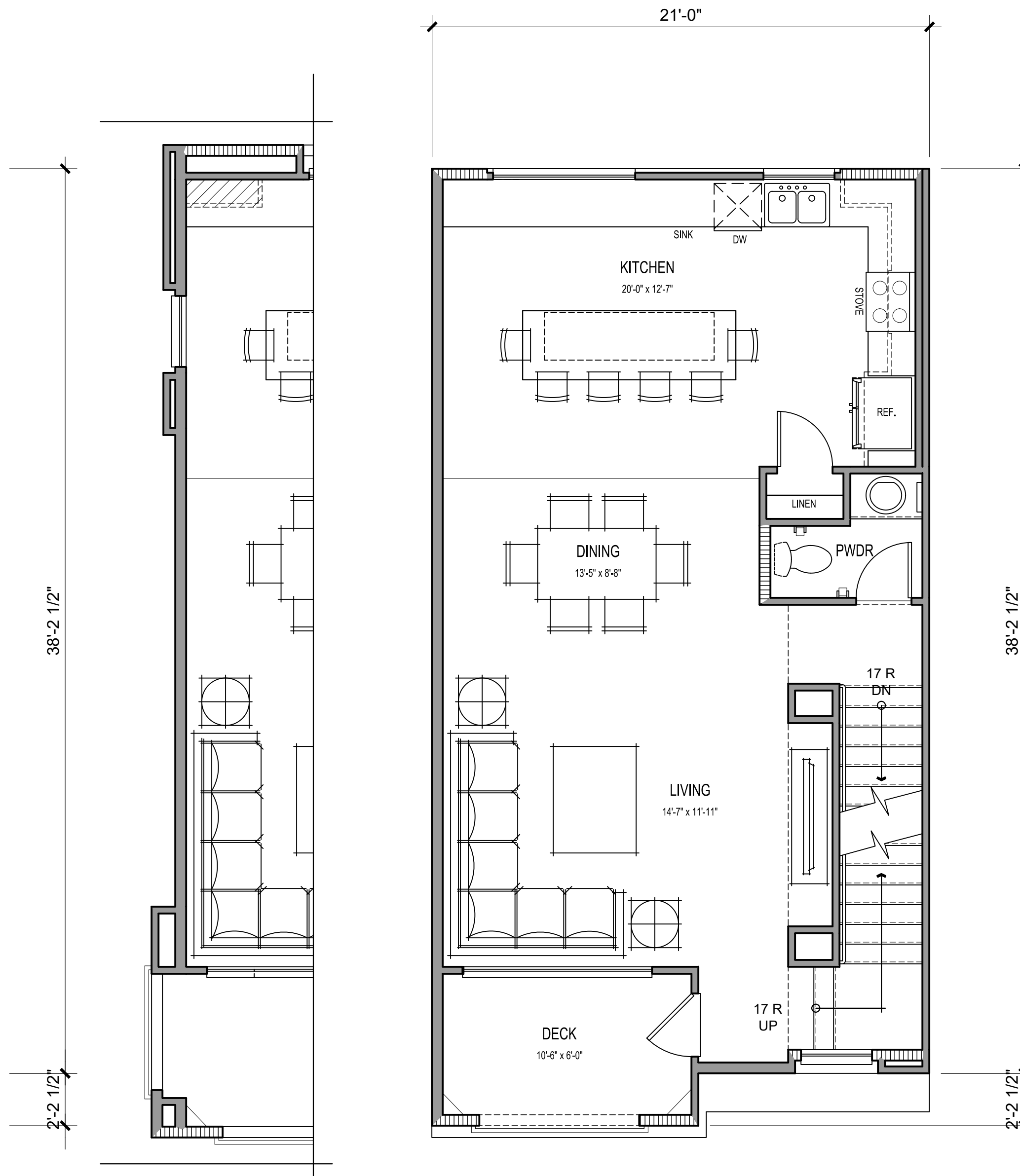


PLAN 2 OPT
Unit Plans

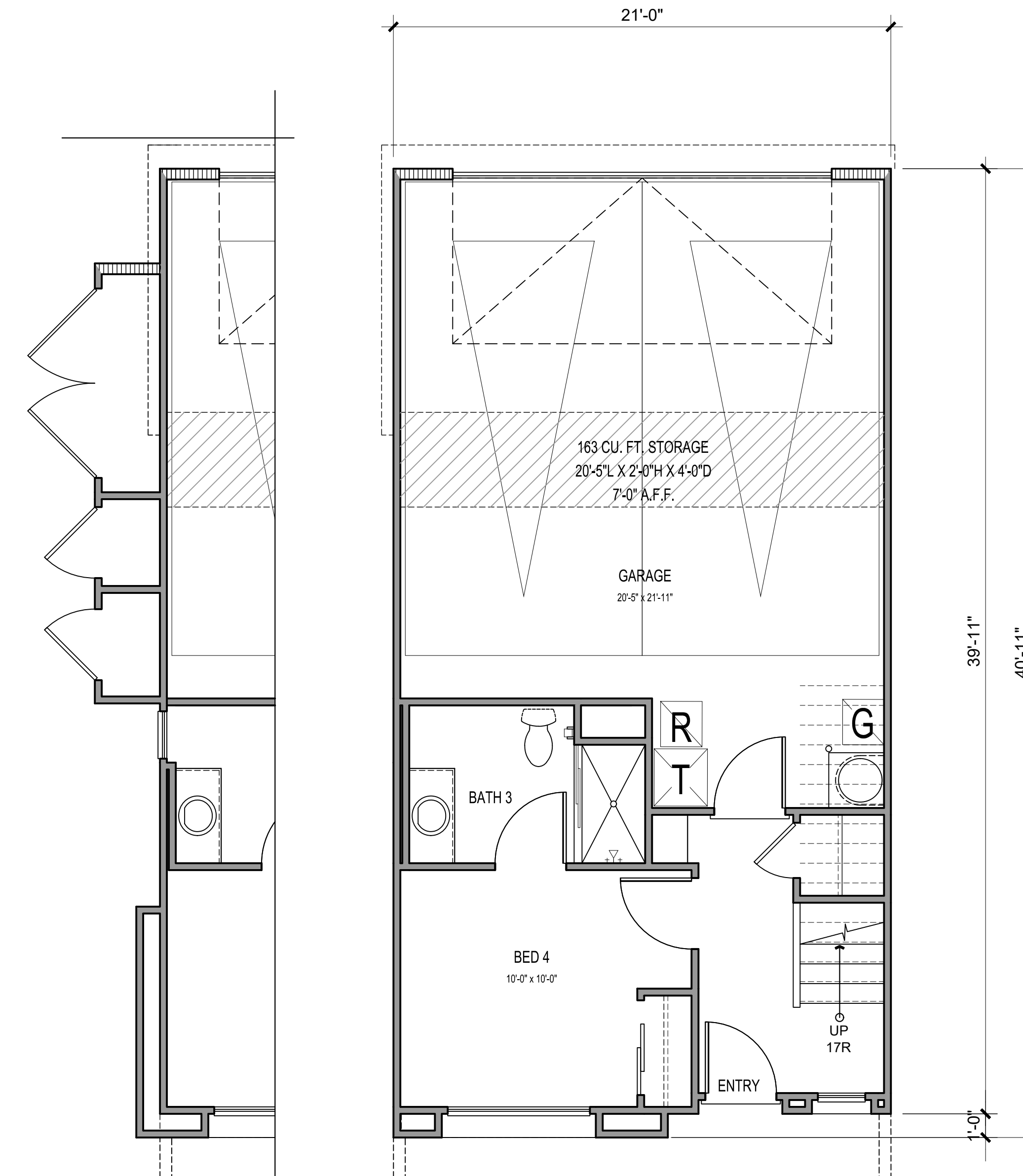
A3.11



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

PLAN 3 END UNIT

PLAN 3 END UNIT

PLAN 3 END UNIT

3 BEDS/ 3 BATHS

NET SF	
1ST FLOOR	307 SQ. FT.
2ND FLOOR	705 SQ. FT.
3RD FLOOR	691 SQ. FT.
TOTAL LIVING	1702 SQ. FT.
GARAGE	520 SQ. FT.
PATIO	110 SQ. FT.
DECK	63 SQ. FT.



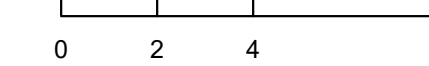
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Irvine, California 92612

"PASEO"- PARK CENTER
SANTEE, CA 2024-0093

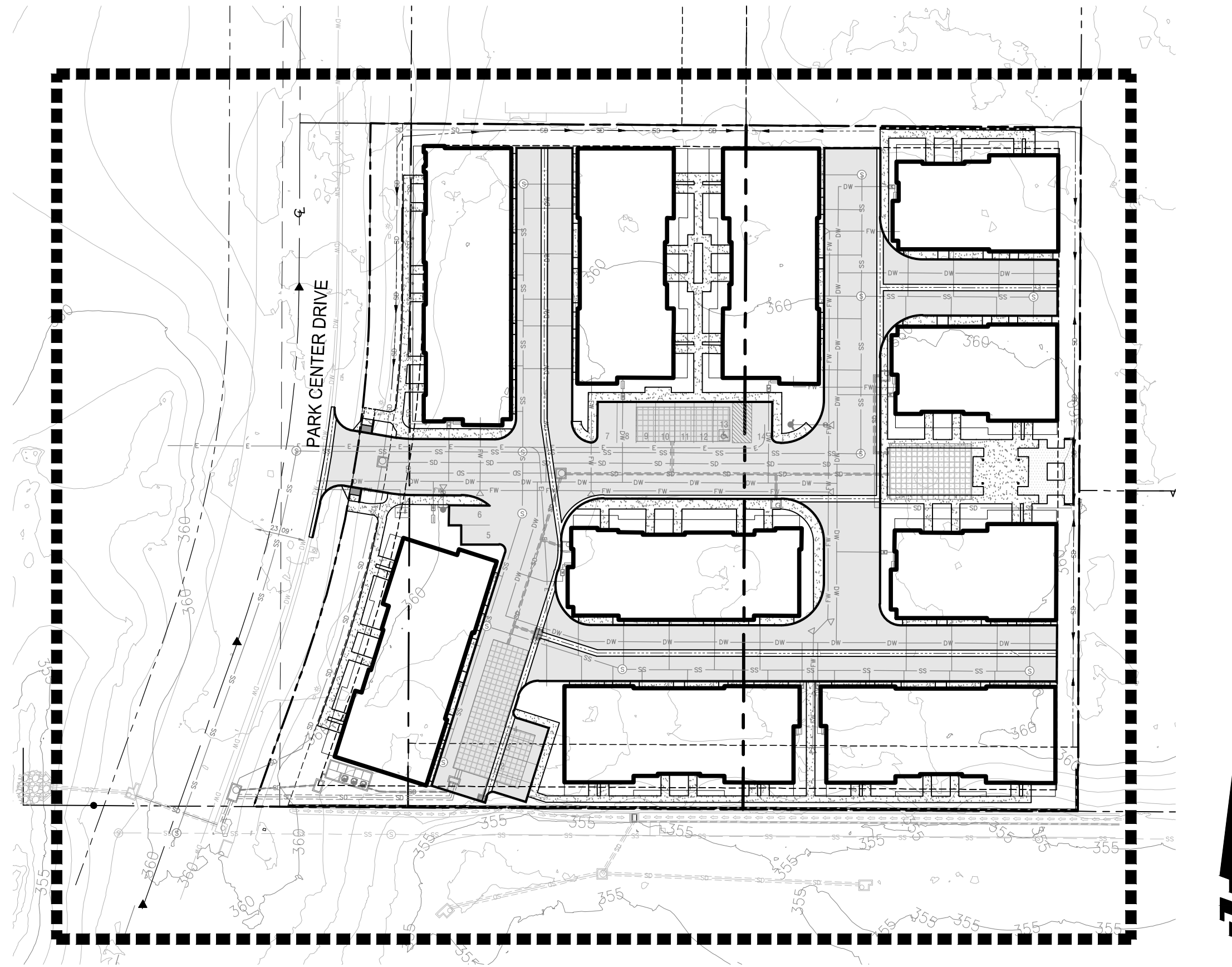
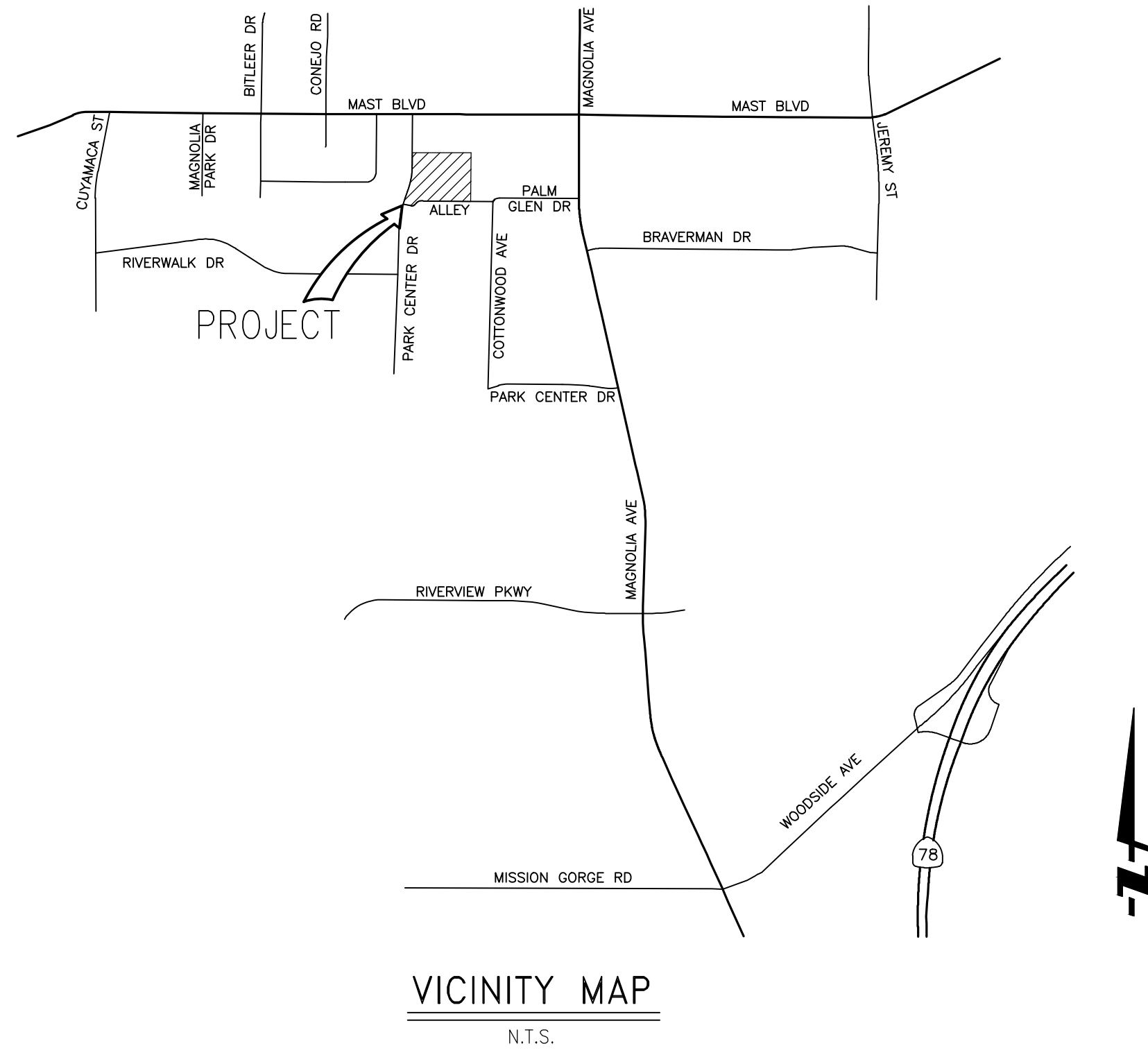
Plot Date: 6.21.2024
1st Submittal Date: 6.21.2024



PLAN 3
UNIT PLANS

A3.20

ENTITLEMENT PACKAGE FOR:
PASEO



PROJECT DESCRIPTION

THE PROPOSED PROJECT CONSISTS OF THE DEVELOPMENT OF 53 MULTI-FAMILY RESIDENTIAL UNITS IN THE CITY OF SANTEE, CA.

OWNER/APPLICANT

CITY VENTURES
3121 MICHELSON DRIVE, SUITE 150
IRVINE, CA 92612
949-258-7555

ARCHITECT

KTCY
17911 VON KARMAN AVENUE, SUITE 200
IRVINE, CA 92614
949-851-2133

CIVIL ENGINEER

FUSCOE ENGINEERING
6390 GREENWICH DRIVE, SUITE 170
SAN DIEGO, CA 92122
858-554-1500

SOILS ENGINEER

TBD

PROPERTY ADDRESS

VACANT LAND, SANTEE, CA 92071

APN

381-032-07-00, 381-032-08-00

DISTURBED ACREAGE

2.54 AC

TOPOGRAPHY SOURCE

DATA COMPILED BY SANGIS - TOPOGRAPHIC SURVEY TO BE PROVIDED AT LATER DATE

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SANTEE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

THE EASTERLY 156.63 FEET OF THE WESTERLY 216.63 FEET OF LOT 2 IN BLOCK 2 OF CAJON PARK, IN THE CITY OF SANTEE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 767, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, NOVEMBER 27, 1983.

EXCEPT THE NORTHERLY 290.00 FEET THEREOF.

PARCEL 2:

THE EASTERLY 156.64 FEET OF THE WESTERLY 373.27 FEET OF LOT 2 IN BLOCK 2 OF CAJON PARK, IN THE CITY OF SANTEE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 767, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, NOVEMBER 27, 1983.

EXCEPT THE NORTHERLY 290.00 FEET THEREOF.

PARCEL 3:

AN EASEMENT AND RIGHT OF WAY FOR ROAD PURPOSES, TO BE USED IN COMMON WITH OTHERS, OVER THAT PORTION OF THE SOUTHERLY 30.00 FEET OF LOT 2 IN BLOCK 2 OF CAJON PARK, IN THE CITY OF SANTEE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 767, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, NOVEMBER 27, 1983.

PARCEL 4:

AN EASEMENT FOR ROAD PURPOSES, WATER MAIN AND OTHER PUBLIC UTILITIES AND INCIDENTS THERETO OVER, ALONG AND ACROSS THE EASTERLY 30.00 FEET OF THE NORTHERLY 290.00 FEET OF THE WESTERLY 216.63 FEET OF LOT 2 IN BLOCK 2 OF CAJON PARK, IN THE CITY OF SANTEE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 767, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, NOVEMBER 27, 1983.

PER PRELIMINARY TITLE REPORT BY FIDELITY NATIONAL TITLE COMPANY, DATED JANUARY 11, 2024

PROJECT LEGEND

EXISTING PROPERTY/ROW LINE	
CENTERLINE	
LIMITS OF RIPARIAN HABITAT	
DAYLIGHT LINE	
PROPOSED CONTOURS	
EXISTING CONTOUR	
GRADE BREAK	
SURFACE SLOPE	
PROPOSED RETAINING WALL	
CUT SLOPE	
FILL SLOPE	
PROPOSED SANITARY SEWER	
PROPOSED SANITARY SEWER MANHOLE	
PROPOSED DOMESTIC WATER	
PROPOSED DOMESTIC WATER METER	
PROPOSED DOMESTIC WATER BACKFLOW	
PROPOSED IRRIGATION WATER SERVICE	
PROPOSED IRRIGATION WATER METER	
PROPOSED IRRIGATION WATER BACKFLOW	
PROPOSED FIRE MAIN	
PROPOSED FIRE HYDRANT	
PROPOSED FIRE BACKFLOW	
PROPOSED WATER VALVE	
PROPOSED SINGLE CURB	
PROPOSED CURB AND GUTTER	
ADA RAMP	
PROPOSED STORM DRAIN	
PROPOSED PERFORATED PIPE	
PROPOSED CURB INLET	
PROPOSED STORM DRAIN CLEAN OUT	
PROPOSED HEAD WALL	
PROPOSED BIOFILTRATION BASIN	
RAINSTORE3 UNDERGROUND DETENTION SYSTEM	

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALTIC CONCRETE
BC	BEGIN CURVE
BCR	BEGIN CURB RETURN
BFP	BACKFLOW PREVENTER
BOP	BOTTOM OF PIPE
BTM	BOTTOM
CB	CATCH BASIN
CF	CURB FACE
CFS	CUBIC FEET PER SECOND
C, CL, C/L	CENTER LINE
CONC	CONCRETE
CONST	CONSTRUCTION
CY	CUBIC YARD
DG	DECOMPOSED GRANITE
DWY	DRIVEWAY
E	ELECTRICAL
EA	EACH
EC	END OF CURVE
ECR	END OF CURB RETURN
EG	EXISTING GROUND
EL, ELEV	ELEVATION
EX EXIST	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FPS	FEET PER SECOND
FS	FINISH SURFACE
FW	FIRE WATER
G	GAS LINE
GB	GRADE BREAK
GFF	GARAGE FLOOR FRONT ELEVATION
GFR	GARAGE FLOOR REAR ELEVATION
HP	HIGH POINT
HDPE	HIGH-DENSITY POLYETHYLENE
INV	INVERT
IW	IRRIGATION WATER
LF	LINEAR FOOT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
NTS	NOT TO SCALE
PCC	PORTLAND CEMENT CONCRETE
PIV	POST INDICATOR VALVE
R, PL, P/L	PROPERTY LINE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
R/W	RIGHT-OF-WAY
RCP	REINFORCED CONCRETE PIPE
SCH	SCHEDULE
SD	STORM DRAIN
SDR	STANDARD DIAMETER RATIO
SEC	SECTION
SF	SQUARE FOOT
SS	SANITARY SEWER
STA	STATION
T	TELEPHONE
TC	TOP OF CURB
TG	TOP OF GRATE
TOP	TOP OF PIPE
TYP	TYPICAL
UG	UNDER GROUND
VCP	VITRIFIED CLAY PIPE
W, DW	WATER, DOMESTIC WATER

SHEET INDEX

TITLE SHEET	1
EXISTING CONDITIONS MAP	2
CONCEPTUAL GRADING PLAN	3
CONCEPTUAL UTILITY PLAN	4
BMP PLAN	5
DETAILS	6
VESTING TENTATIVE SUBDIVISION MAP	7

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, (EPOCH 1991.35) ADJUSTED, GRID BEARING BETWEEN CITY OF SANTEE HORIZON AND VERTICAL CONTROL STATIONS '2401' AND '2406' PER THE CITY'S CONTROL REPORT SHEETS

BENCHMARK

DATA COMPILED BY SANGIS - TOPOGRAPHIC SURVEY TO BE PROVIDED AT LATER DATE

BENCHMARK TO BE DETERMINED AT A LATER DATE.

HYDROLOGY REPORT

PREPARED BY: FUSCOE ENGINEERING INC
DATED: 06-21-2024
PROJECT NO. 1076-006

SWQMP

PREPARED BY: FUSCOE ENGINEERING INC
DATED: 06-21-2024
PROJECT NO. 1076-006

REVISIONS					
NO.	INIT.	DATE	DESCRIPTION	APP'D	DATE

PASEO

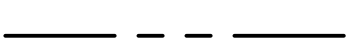
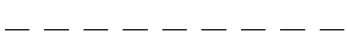



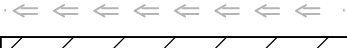
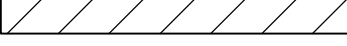




TITLE SHEET

JOB NO. 1076-006
DRAWN BY: FJ
SHEET 1 OF 7

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San Diego, Ca 92122
858.554.1500 fuscoe.com

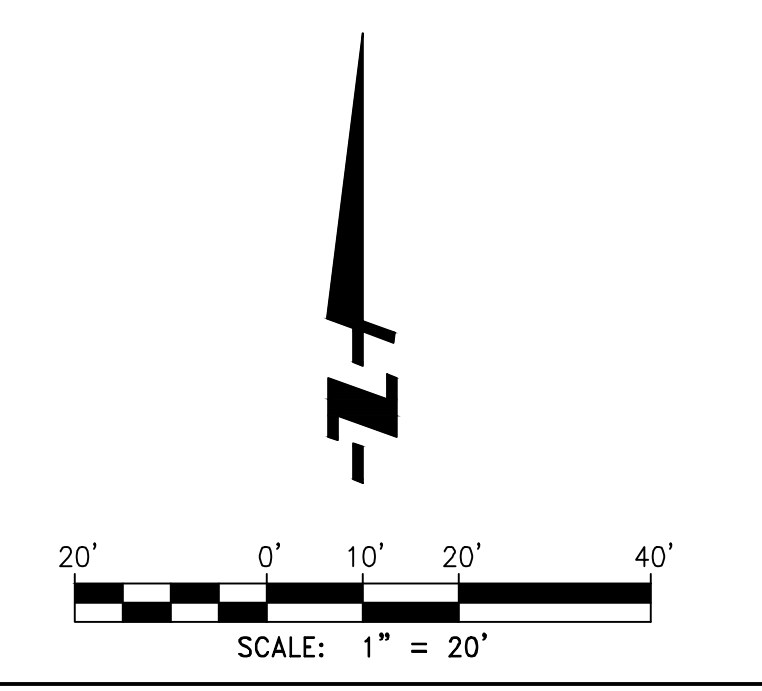
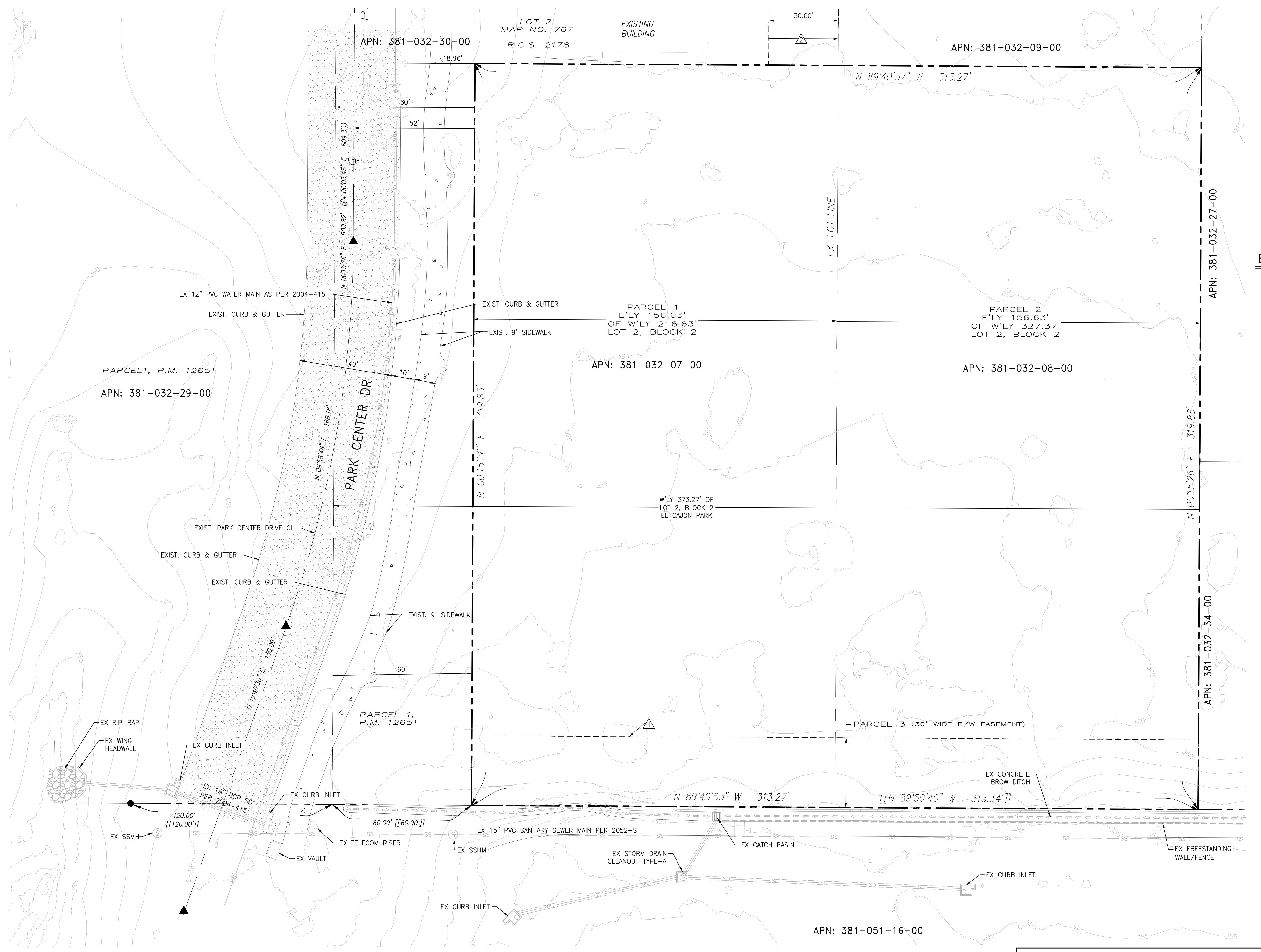
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LEGEND

- RIGHT OF WAY 
- EASEMENT 
- SANITARY SEWER 
- WATER MAIN 
- STORM DRAIN 
- BROW DITCH 
- RIGHT OF WAY VACATION 
- CURB INLET TYPE-B 
- STORM DRAIN CLEANOUT TYPE-A 
- CATCH BASIN 
- SANITARY SEWER MANHOLE 

EASEMENTS NOTES

- △ AN EASEMENT AND RIGHT OF WAY FOR ROAD PURPOSES, TO BE USED IN COMMON WITH OTHERS, OVER THAT PORTION OF THE SOUTHERLY 30.00 FEET OF LOT 2 IN BLOCK 2 OF CAJON PARK, IN THE CITY OF SANTEE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 767, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, NOVEMBER 27, 1893.
- △ AN EASEMENT FOR ROAD PURPOSES, WATER MAIN AND OTHER PUBLIC UTILITIES AND INCIDENTS THERETO OVER, ALONG AND ACROSS THE EASTERLY 30.00 FEET OF THE NORTHERLY 290.00 FEET OF THE WESTERLY 216.63 FEET OF LOT 2 IN BLOCK 2 OF CAJON PARK, IN THE CITY OF SANTEE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 767, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, NOVEMBER 27, 1893.

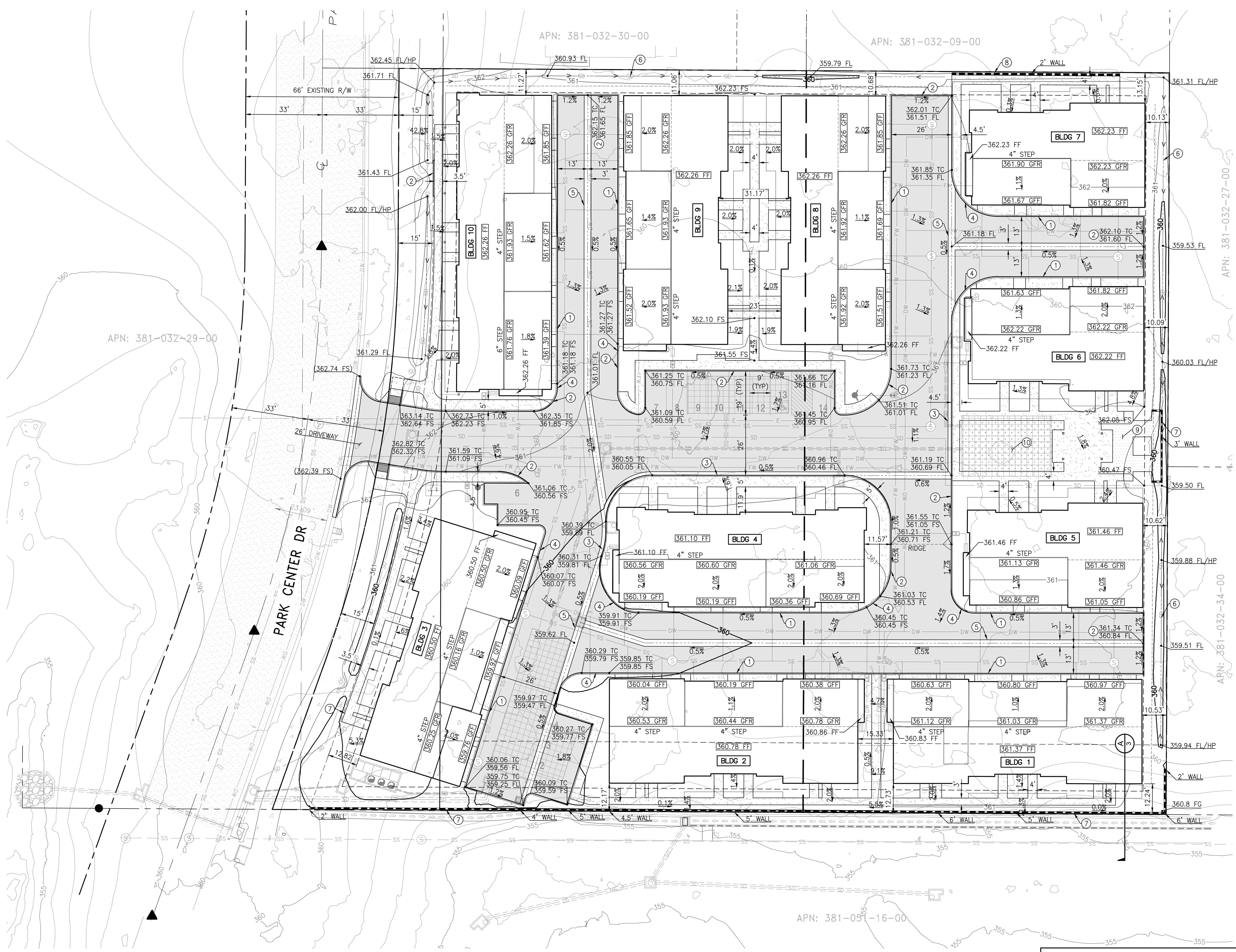


PASEO

EXISTING CONDITIONS

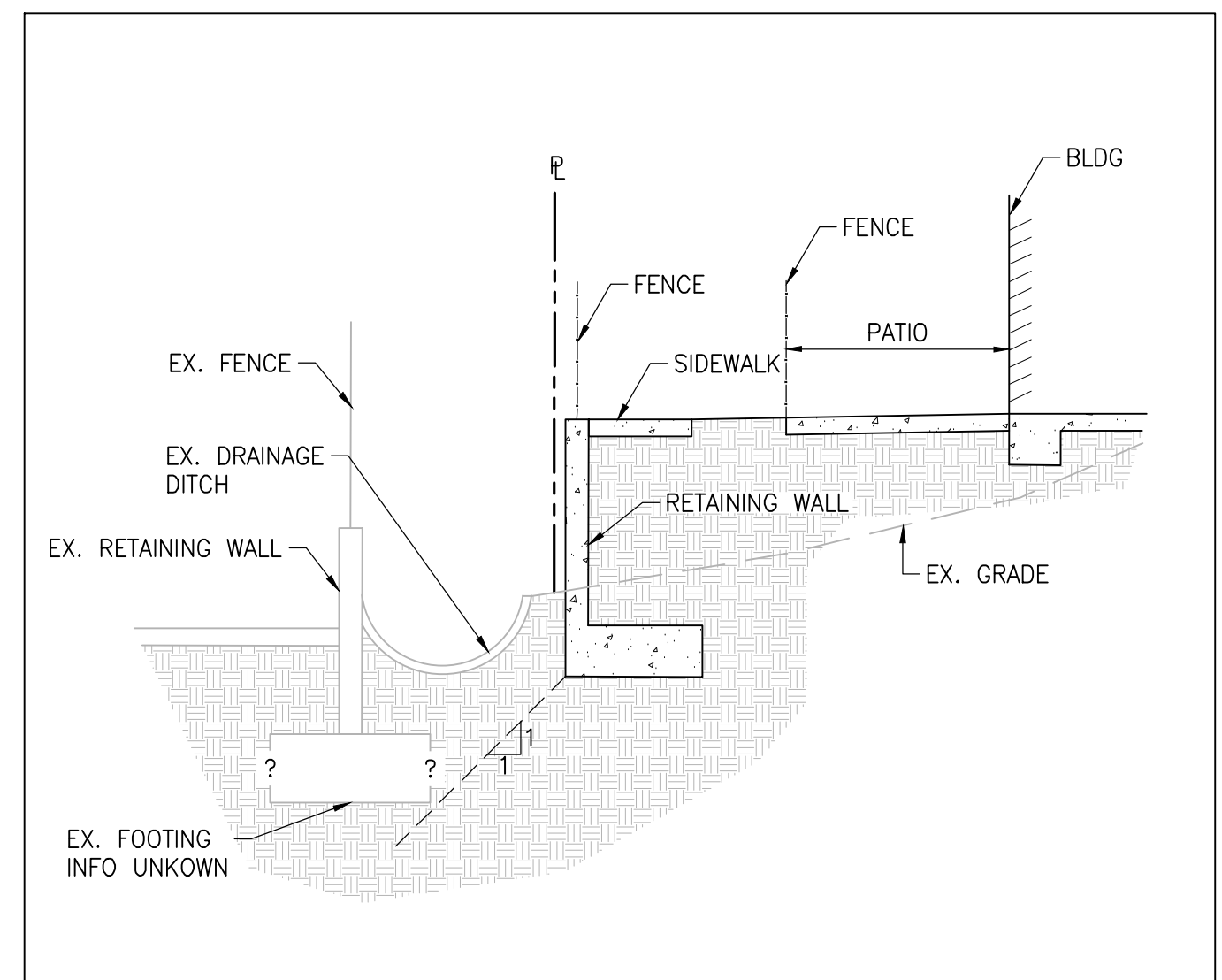
REVISIONS	
NO.	DESCRIPTION

FUSCOE ENGINEERING	JOB NO. 1076-006
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fuscoe.com	SHEET 2 OF 7

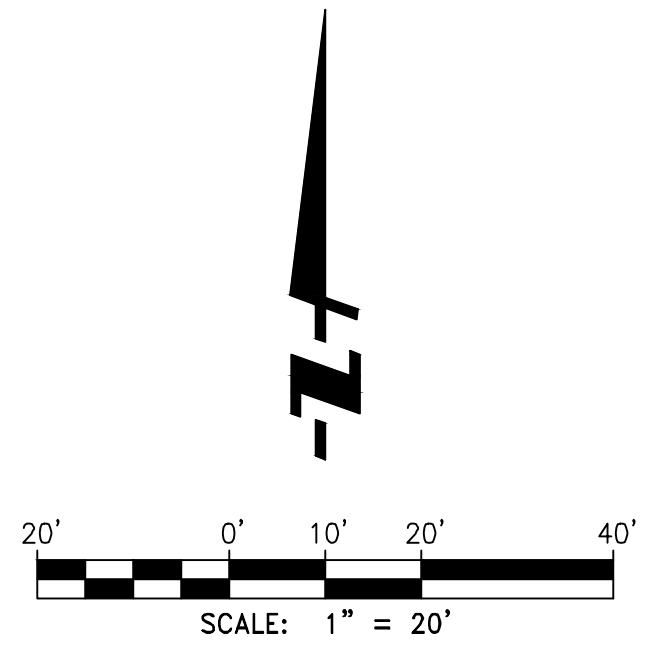


CONSTRUCTION NOTES

- ① 0" CURB
- ② 6" CURB
- ③ 6" CURB & GUTTER
- ④ CURB TRANSITION - 0" TO 6"
- ⑤ RIBBON GUTTER PER DETAIL D/SHEET 6
- ⑥ VEGETATED SWALE
- ⑦ MASONRY RETAINING WALL PER SDRSD C-03, HEIGHT PER PLAN
- ⑧ MASONRY RETAINING WALL PER SDRSD C-09 TYOE A, HEIGHT PER PLAN
- ⑨ DECOMPOSED GRANITE PER LANDSCAPE ARCHITECT PLANS
- ⑩ ARTIFICIAL TURF PER LANDSCAPE ARCHITECT PLANS



SECTION A
NOT TO SCALE



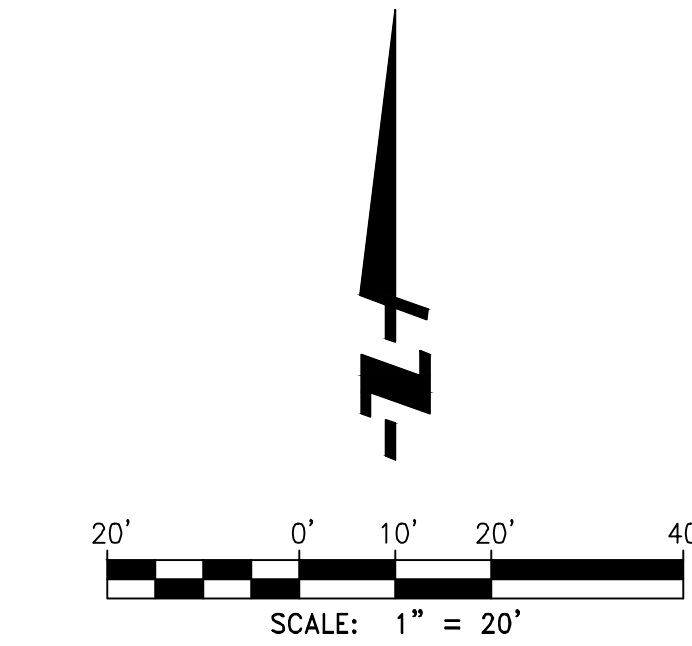
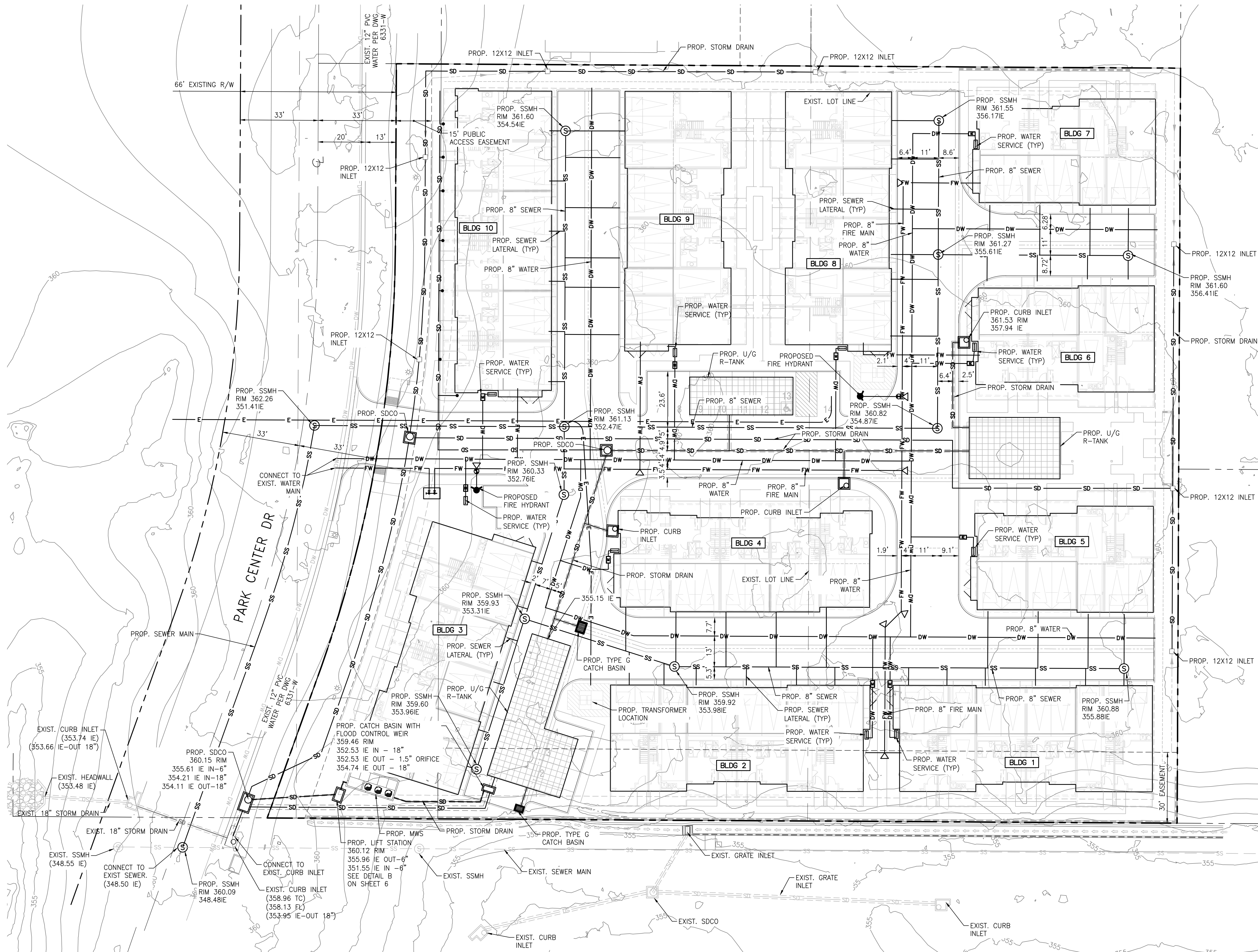
PASEO
CONCEPTUAL GRADING PLAN

REVISIONS					
NO.	INIT.	DATE	DESCRIPTION	APP'D	DATE

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San Diego, Ca 92122
858.554.1500 fuscoe.com

JOB NO.
1076-006
DRAWN BY:
FJ
SHEET
3 OF 7

ALL PROJECTS: (760) 409-1100 FAX: (760) 409-1101 EMAIL: SALES@FUSCOE.COM (760) 409-1101 WEBSITE: WWW.FUSCOE.COM
 PRINTED BY: GENERATORS



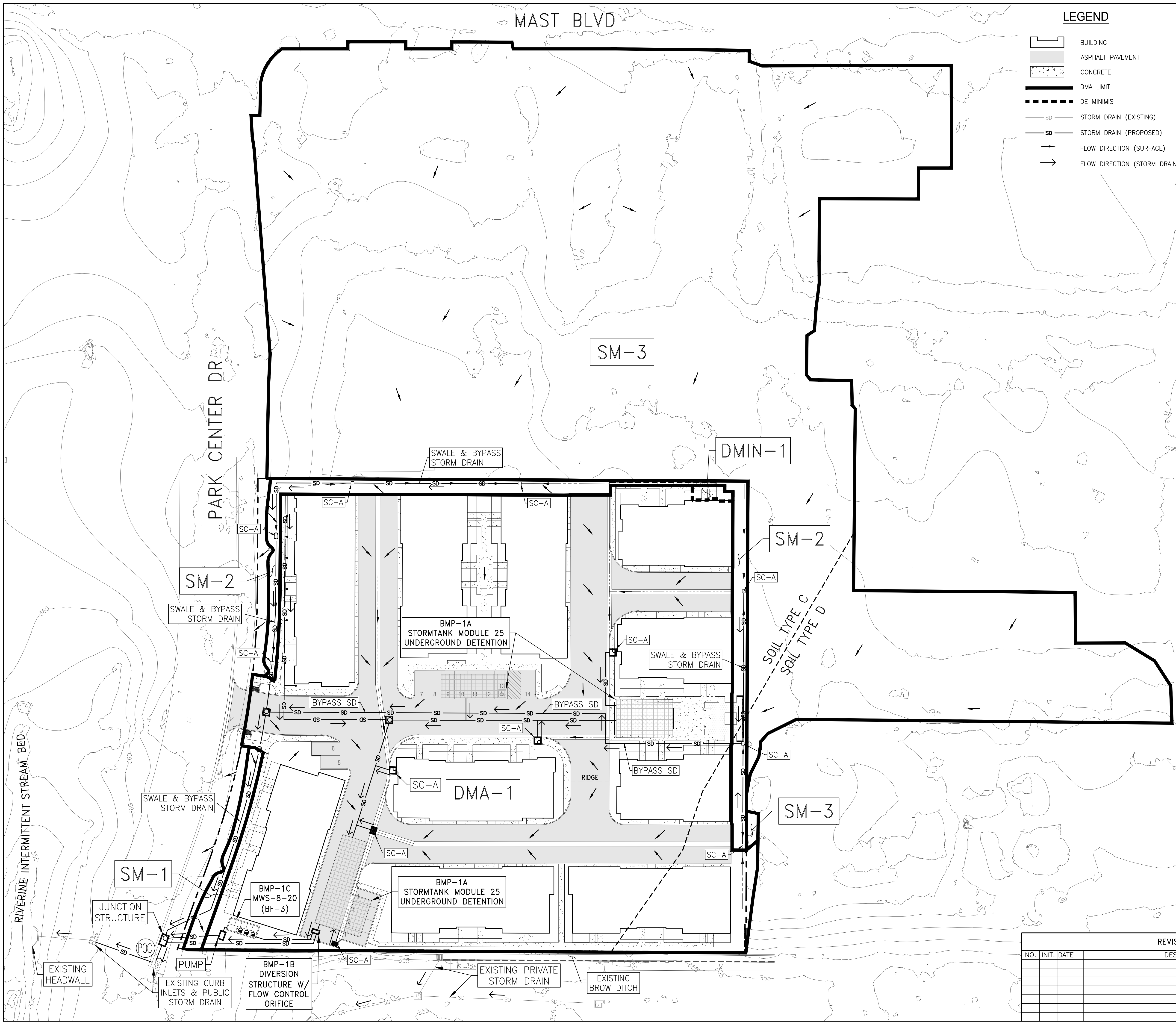
PASEO
CONCEPTUAL UTILITY PLAN

REVISIONS					
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ENGINEERING
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 San Diego, Ca 92122
 858.554.1500 fuscoe.com

JOB NO.
1076-006
 DRAWN BY:
FJ
 SHEET
4 OF 7

CONSULT THE CITY OF SAN DIEGO PLANS DEPARTMENT FOR ALL CITY ORDINANCES (07-08-2004, 01-12-2004). PROVIDED BY: GENERATOR



LEGEND

- BUILDING
- ASPHALT PAVEMENT
- CONCRETE
- DMA LIMIT
- DE MINIMIS
- STORM DRAIN (EXISTING)
- STORM DRAIN (PROPOSED)
- FLOW DIRECTION (SURFACE)
- FLOW DIRECTION (STORM DRAIN)

PASEO DMA SUMMARY					
DMA ID	DMA-1	DMIN-1	SM-1*	SM-2*	SM-3*
DMA Type	Treated	De Minimis	Self-Mitigating	Self-Mitigating	Self-Mitigating
BMP ID	BMP-1	n/a	n/a	n/a	n/a
POC ID	A	n/a	n/a	n/a	n/a
BMP Type	Proprietary	n/a	n/a	n/a	n/a
Infiltration?	No	n/a	n/a	n/a	n/a
Runoff Factors	Area (sf)	Area (sf)	Area (sf)	Area (sf)	Area (sf)
Impervious =	0.90	89,154	250	0	0
Pervious =	0.10	12,272	0	1,257	6,253
					147,499
DMA Area	sf	101,426	250	1,257	6,253
	ac	2.33	0.01	0.03	0.14
					3.39
% Impervious		87.90%	100.00%	0.00%	0.00%
Weighted Runoff Factor (C)		0.80			
85th Percentile, 24-Hr Rainfall (in)		0.50			
DCV (cf)		3,383			
BMP Size Required (cfs)		0.559			
BMP Size Provided (cfs)		0.577			
Cistern Size Provided (cf)		12,540			

PROJECT SITE INFO

- UNDERLYING HYDROLOGIC SOIL GROUP(S): NRCS TYPES C & D
- APPROXIMATE GROUNDWATER DEPTH: 10 FT < GW DEPTH > 20 FT
- EXISTING NATURAL HYDROLOGIC FEATURES: NONE
- CRITICAL COARSE SEDIMENT YIELD AREAS: NONE
- OFFSITE DRAINAGE ONTO SITE: YES

Area Breakdown		
	sf	ac
Parcel Area	110,775	2.54
Existing Impervious	2,220	0.05
Disturbed Area	109,186	2.51
Replaced/Added Impervious	89,404	2.05
Proposed Pervious	19,782	0.46
% Increase Impervious		4027%

SOURCE CONTROL BMPS

SC-A. ONSITE STORM DRAIN INLETS
 PERMANENT CONTROLS – MARK ALL INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR SIMILAR.
 OPERATIONAL BMPS – MAINTAIN AND PERIODICALLY REPAIR OR REPLACE INLET MARKINGS. PROVIDE STORM WATER POLLUTION PREVENTION INFORMATION TO NEW SITE OWNERS, LESSEES, OR OPERATORS. SEE APPLICABLE OPERATIONAL BMPS IN FACT SHEET SC-44, "DRAINAGE SYSTEM MAINTENANCE," IN THE CASQA STORMWATER QUALITY HANDBOOKS AT WWW.CABMPHANDBOOKS.COM. INCLUDE THE FOLLOWING IN LEASE AGREEMENTS: "TENANTS SHALL NOT ALLOW ANYONE TO DISCHARGE ANYTHING TO STORM DRAINS OR TO STORE OR DEPOSIT MATERIALS SO AS TO CREATE A POTENTIAL DISCHARGE TO STORM DRAINS."

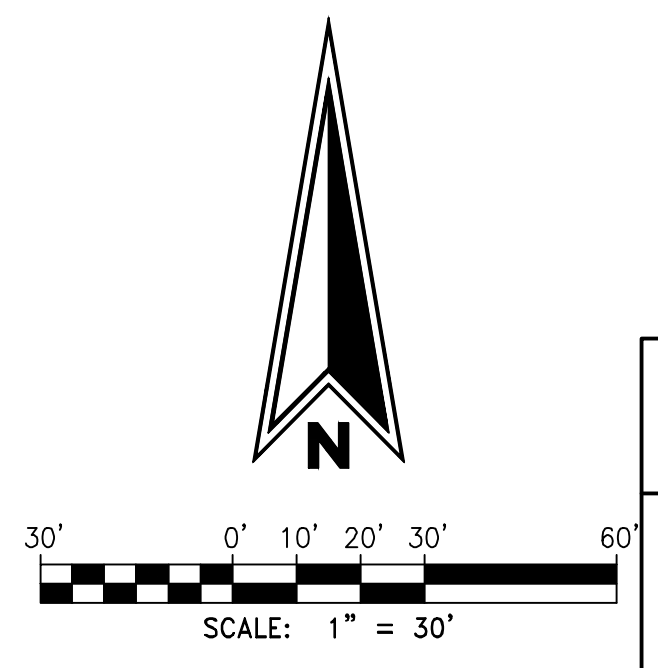
SC-D2. LANDSCAPE/OUTDOOR PESTICIDE USE
 PERMANENT CONTROLS – FINAL LANDSCAPE PLANS WILL ACCOMPLISH ALL OF THE FOLLOWING: PRESERVE EXISTING DROUGHT TOLERANT TREES, SHRUBS, AND GROUND COVER TO THE MAXIMUM EXTENT POSSIBLE. DESIGN LANDSCAPING TO MINIMIZE IRRIGATION AND RUNOFF, TO PROMOTE SURFACE INFILTRATION WHERE APPROPRIATE, AND TO MINIMIZE THE USE OF FERTILIZERS AND PESTICIDES THAT CAN CONTRIBUTE TO STORM WATER POLLUTION. WHERE LANDSCAPED AREAS ARE USED TO RETAIN OR DETAIN STORM WATER, SPECIFY PLANTS THAT ARE TOLERANT OF PERIODIC SATURATED SOIL CONDITIONS. CONSIDER USING PEST-RESISTANT PLANTS, ESPECIALLY ADJACENT TO HARDSCAPE. TO ENSURE SUCCESSFUL ESTABLISHMENT, SELECT PLANTS APPROPRIATE TO SITE SOILS, SLOPES, CLIMATE, SUN, WIND, RAIN, LAND USE, AIR MOVEMENT, ECOLOGICAL CONSISTENCY, AND PLANT INTERACTIONS.

OPERATIONAL BMPS – MAINTAIN LANDSCAPING USING MINIMUM OR NO PESTICIDES. SEE APPLICABLE OPERATIONAL BMPS IN THE FACT SHEET SC-41, "BUILDING AND GROUNDS MAINTENANCE," IN THE CASQA STORMWATER QUALITY HANDBOOKS AT WWW.CABMPHANDBOOKS.COM. PROVIDE IPM INFORMATION TO NEW OWNERS LESSEES AND OPERATORS.

SC-N. FIRE SPRINKLER TEST WATER
 PERMANENT CONTROLS – PROVIDE A MEANS TO DRAIN FIRE SPRINKLER TEST WATER TO THE SANITARY SEWER.
 OPERATIONAL BMPS – SEE THE NOTE IN FACT SHEET SC-41, "BUILDING AND GROUNDS MAINTENANCE," IN THE CASQA STORMWATER QUALITY HANDBOOKS AT WWW.CABMPHANDBOOKS.COM.

SC-O. MISCELLANEOUS DRAIN OR WASH WATER – ROOFING, GUTTERS, AND TRIM
 PERMANENT CONTROLS – AVOID ROOFING, GUTTERS, AND TRIM MADE OF COPPER OR OTHER UNPROTECTED METALS THAT MAY LEACH INTO RUNOFF.
 OPERATIONAL BMPS – SEE THE NOTE IN FACT SHEET SC-41, "BUILDING AND GROUNDS MAINTENANCE," IN THE CASQA STORMWATER QUALITY HANDBOOKS AT WWW.CABMPHANDBOOKS.COM.

SC-P. PLAZAS, SIDEWALKS, AND PARKING LOTS
 OPERATIONAL BMPS – PLAZAS, SIDEWALKS, AND PARKING LOTS SHALL BE SWEEPED REGULARLY TO PREVENT THE ACCUMULATION OF LITTER AND DEBRIS. DEBRIS FROM PRESSURE WASHING SHALL BE COLLECTED TO PREVENT ENTRY INTO THE STORM DRAIN SYSTEM. WASHWATER CONTAINING ANY CLEANING AGENT OR DEGREASER SHALL BE COLLECTED AND DISCHARGED TO THE SANITARY SEWER AND NOT DISCHARGED TO A STORM DRAIN.



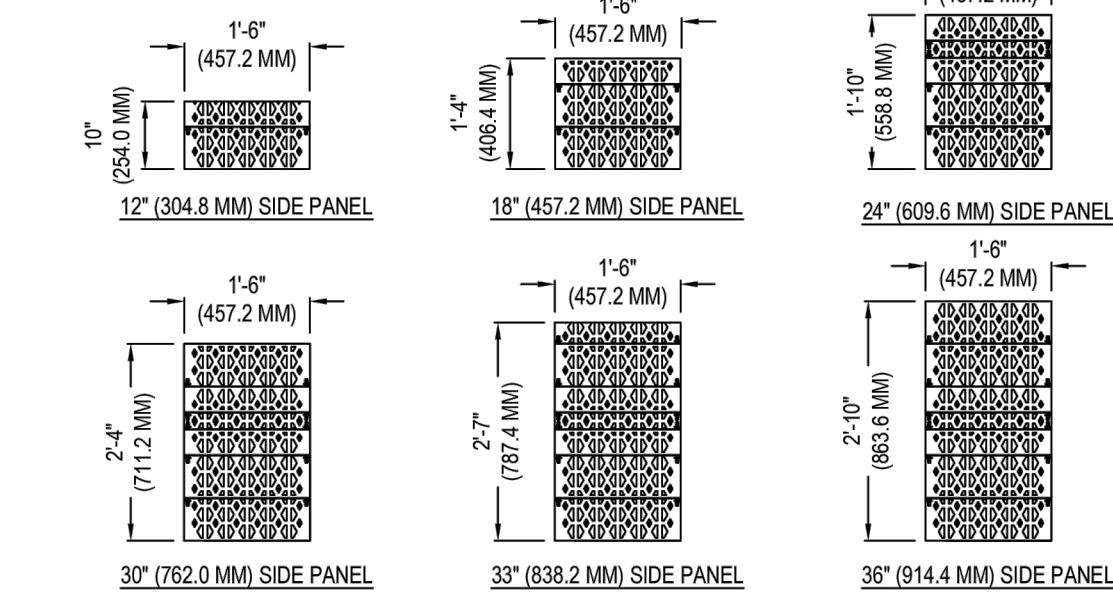
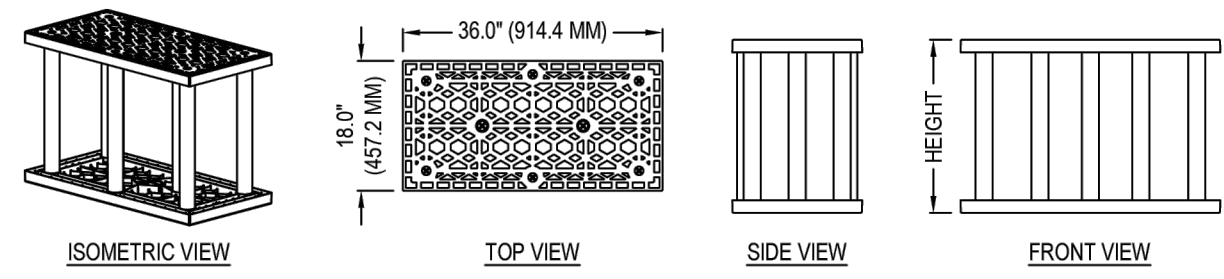
PASEO	
BMP PLAN	
JOB NO. 1076-006	 6390 Greenwich Dr, Suite 170 San Diego, Ca 92122 858.554.1500 fuscoe.com
DRAWN BY: FJ	
SHEET 5 OF 7	

REVISIONS					
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STORMTANK (BRENTWOOD INDUSTRIES)
621 BRENTWOOD DRIVE
READING, PA 19611
PHONE: (610) 374-5109
www.stormtank.com



- SIDE PANELS TO BE INSTALLED ALONG SYSTEM PERIMETER, UNLESS OTHERWISE SPECIFIED.
- ALL HEIGHTS TO BE CUT FROM A 36" (914.4 MM) SIDE PANEL AT PRE-SCRIBED LOCATIONS, EXCEPT 33" (838.2 MM) & 12" (304.8 MM) SIDE PANEL.

25 SERIES MODULE				
MODEL	HEIGHT (MM)	CAPACITY (M ³)	NOMINAL VOID (%)	NOMINAL WEIGHT (KG)
2512	12" (304.8)	4.216 CF (0.1194)	93.70%	17.56 LBS. (7.965)
2518	18" (457.2)	6.436 CF (0.1824)	95.50%	22.70 LBS. (10.29)
2524	24" (609.6)	8.656 CF (0.2454)	96.00%	26.30 LBS. (11.92)
2530	30" (762.0)	10.876 CF (0.3084)	96.50%	29.50 LBS. (13.39)
2533	33" (838.2)	11.986 CF (0.3359)	96.90%	29.82 LBS. (13.53)
2536	36" (914.4)	13.096 CF (0.3714)	97.00%	33.10 LBS. (15.01)

MANUFACTURER NOTES:

- REFERENCE CURRENT INSTALLATION INSTRUCTIONS FOR PROPER INSTALLATION PRACTICES.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
- CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4907-008



4907-008
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REVISION DATE 14/05/2020
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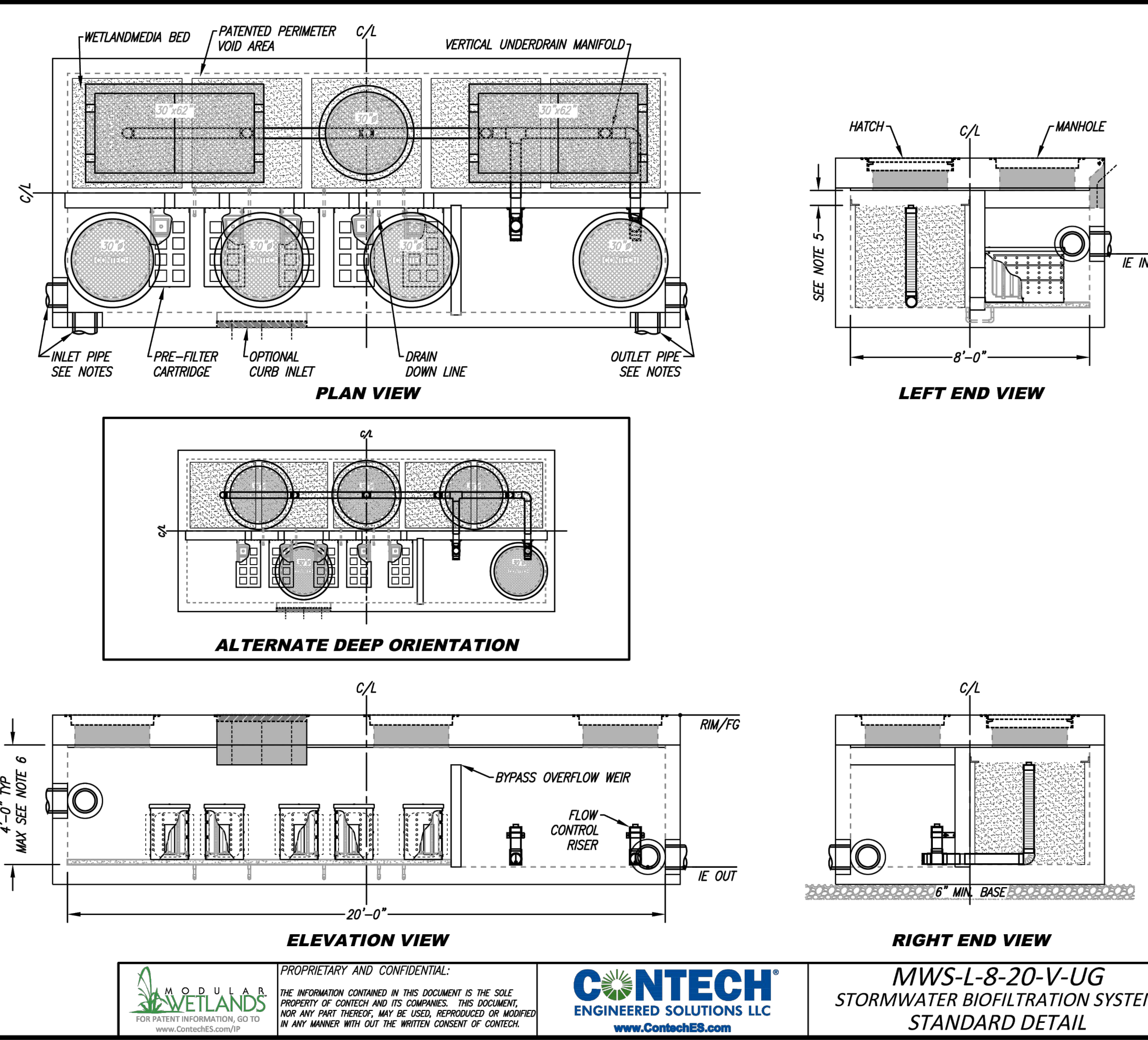
STORMTANK MODULE 25 SERIES DETAIL (A)
NOT TO SCALE

SITE SPECIFIC DATA			
PROJECT NUMBER			
PROJECT NAME			
PROJECT LOCATION			
STRUCTURE ID			
TREATMENT REQUIRED			
TREATMENT FLOW (CFS)			
PRETREATMENT LOADING RATE (GPM/SF)	2.1 GPM/SF		
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0		
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE	(CFS)		
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
	PRETREATMENT	BIOFILTRATION	DISCHARGE
RIM ELEVATION			
SURFACE LOAD	PEDESTRIAN		
NOTES:			

* PRELIMINARY ONLY - NOT FOR CONSTRUCTION

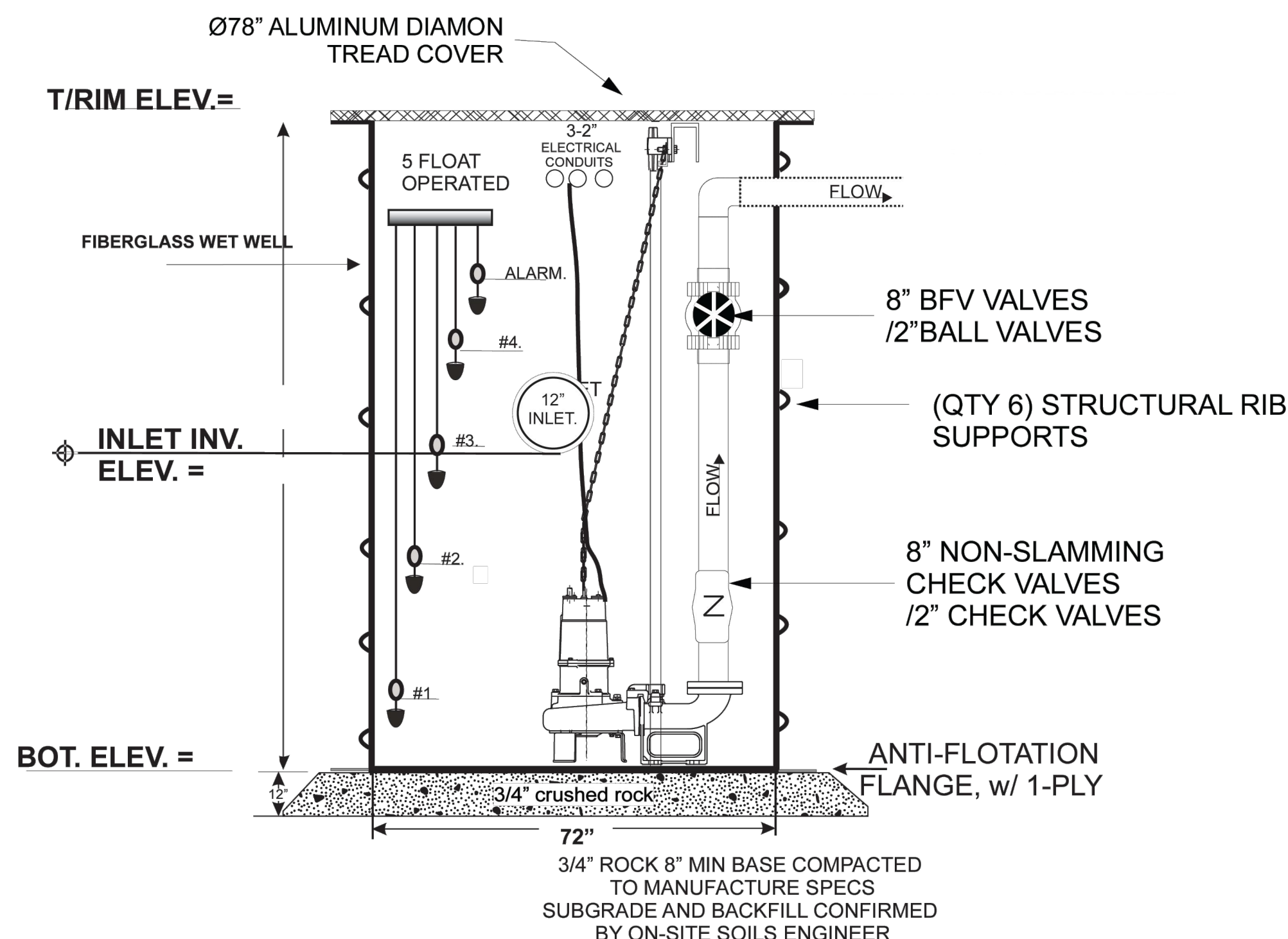
INSTALLATION NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATER-TIGHT PER MANUFACTURER'S STANDARD CONNECTION DETAIL.
- CONTRACTOR RESPONSIBLE FOR CONTACTING CONTECH FOR ACTIVATION OF UNIT. MANUFACTURER'S WARRANTY IS VOID WITHOUT PROPER ACTIVATION BY A CONTECH REPRESENTATIVE.
- ALTERNATE DEEP FRAME & COVER ORIENTATION USED WHEN CEILING TO MEDIA DISTANCE IS 2.5' OR GREATER.
- VERTICAL HEIGHT VARIES BASED ON SITE SPECIFIC REQUIREMENTS.

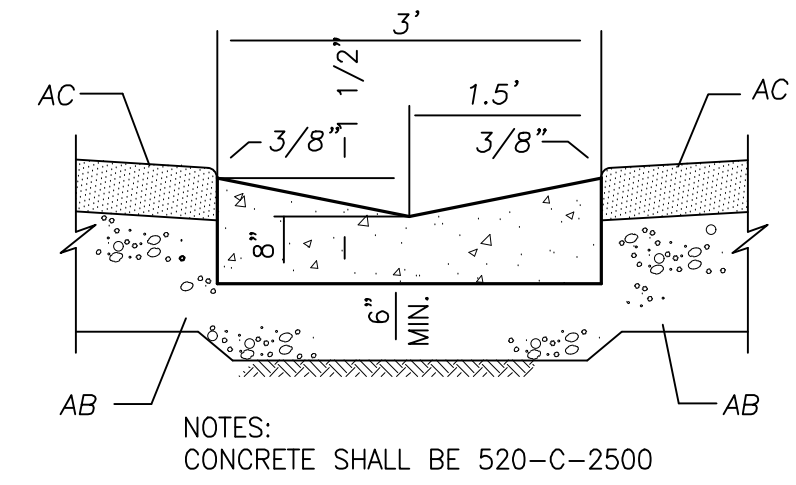


MODULAR WETLANDS
CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com

MODULAR WETLANDS SYSTEM DETAIL (C)
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STORM DRAIN PUMP DETAIL (B)
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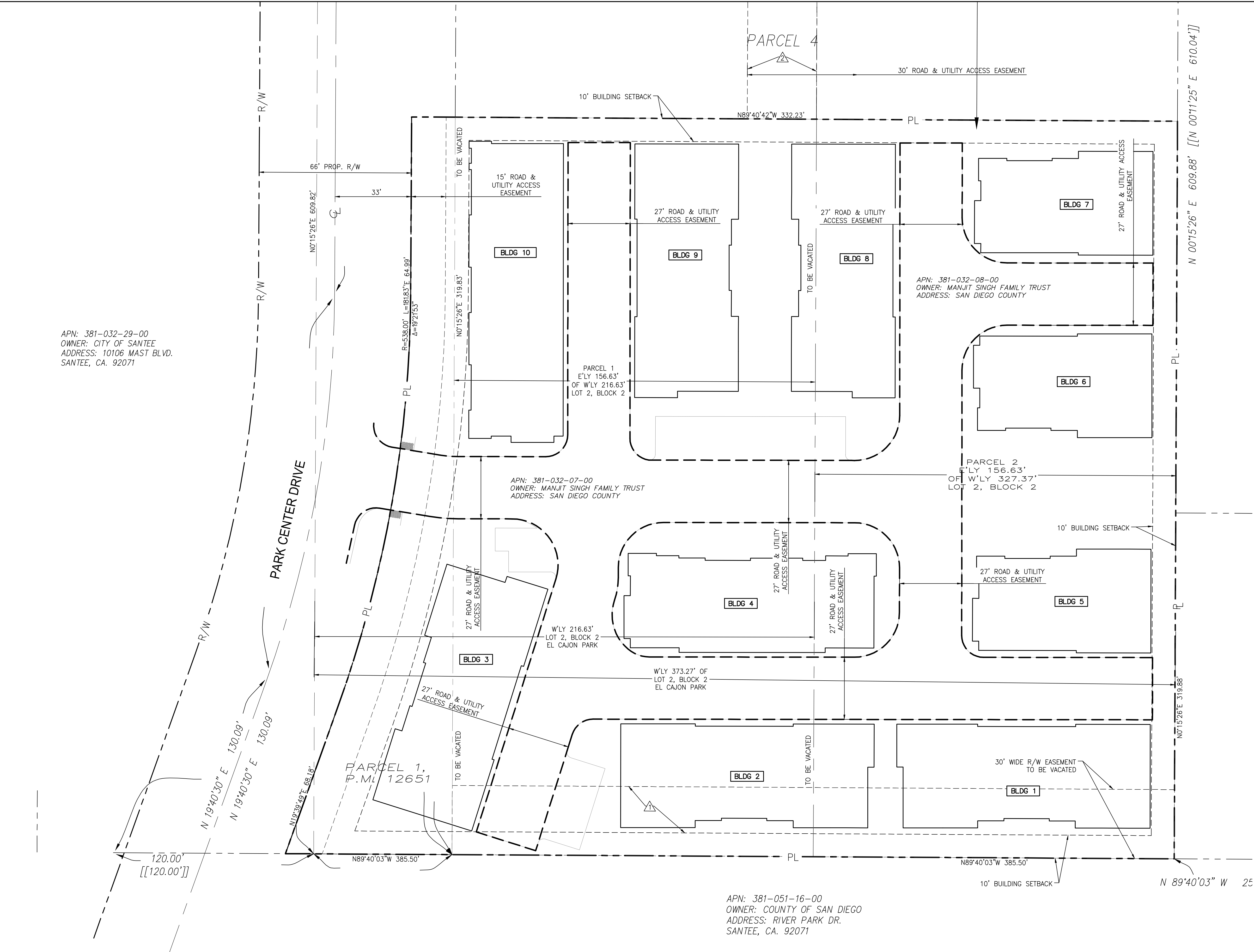
RIBBON GUTTER (D)
NOT TO SCALE

PASEO	
DETAILS	
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JOB NO. 1076-006	DRAWN BY: FJ
SHEET 6 OF 7	

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APN: 381-032-29-00
 OWNER: CITY OF SANTEE
 ADDRESS: 10106 MAST BLVD.
 SANTEE, CA. 92071



PROJECT LEGEND

EXISTING PROPERTY/ROW LINE	—————
CENTERLINE	- - - - -
ACCESS EASEMENT	— · — · —

LOT SUMMARY

FEE PARCEL 1: 50,097.35 SQ. FT. (1.15 ACRES)
 FEE PARCEL 2: 50,104.57 SQ. FT. (1.15 ACRES)
 TOTAL FEE PARCEL AREA: 100,201.92 SQ. FT. (2.30 ACRES)

EASEMENT PARCEL 3: 9,398.11 SQ. FT. (0.215 ACRES)
 EASEMENT PARCEL 4: 8,700.011 SQ. FT. (0.199 ACRES)

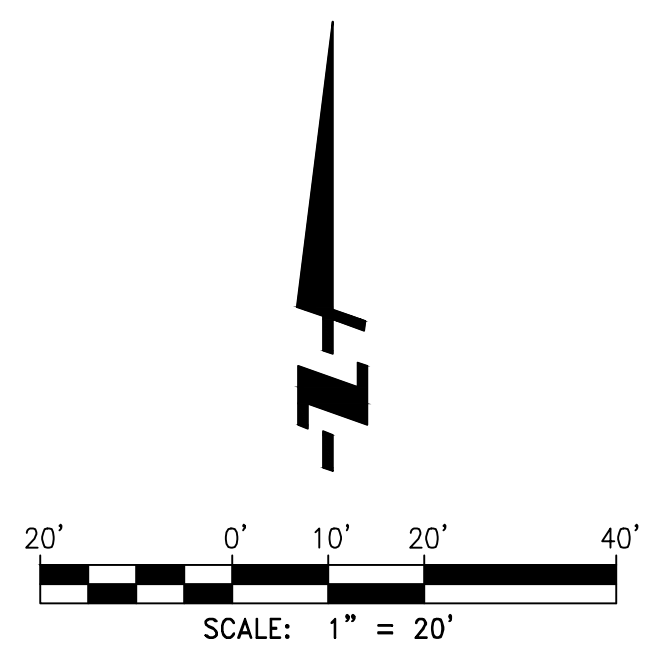
BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6 (EPOCH 1991.35) ADJUSTED, GRID BEARING BETWEEN CITY OF VISTA HORIZONTAL AND VERTICAL CONTROL STATIONS '2401' AND '2406' PER THE CITY'S CONTROL REPORT SHEETS.

TITLE REPORT/EASEMENTS

- ⚠ AN EASEMENT AND RIGHT OF WAY FOR ROAD PURPOSES, TO BE USED IN COMMON WITH OTHERS, OVER THAT PORTION OF THE SOUTHERLY 30.00 FEET OF LOT 2 IN BLOCK 2 OF CAJON PARK, IN THE CITY OF SANTEE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 767, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, NOVEMBER 27, 1893.
- ⚠ AN EASEMENT FOR ROAD PURPOSES, WATER MAIN AND OTHER PUBLIC UTILITIES AND INCIDENTS THERETO OVER, ALONG AND ACROSS THE EASTERLY 30.00 FEET OF THE NORTHERLY 290.00 FEET OF THE WESTERLY 216.63 FEET OF LOT 2 IN BLOCK 2 OF CAJON PARK, IN THE CITY OF SANTEE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 767, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, NOVEMBER 27, 1893.

APN: 381-051-16-00
 OWNER: COUNTY OF SAN DIEGO
 ADDRESS: RIVER PARK DR.
 SANTEE, CA. 92071



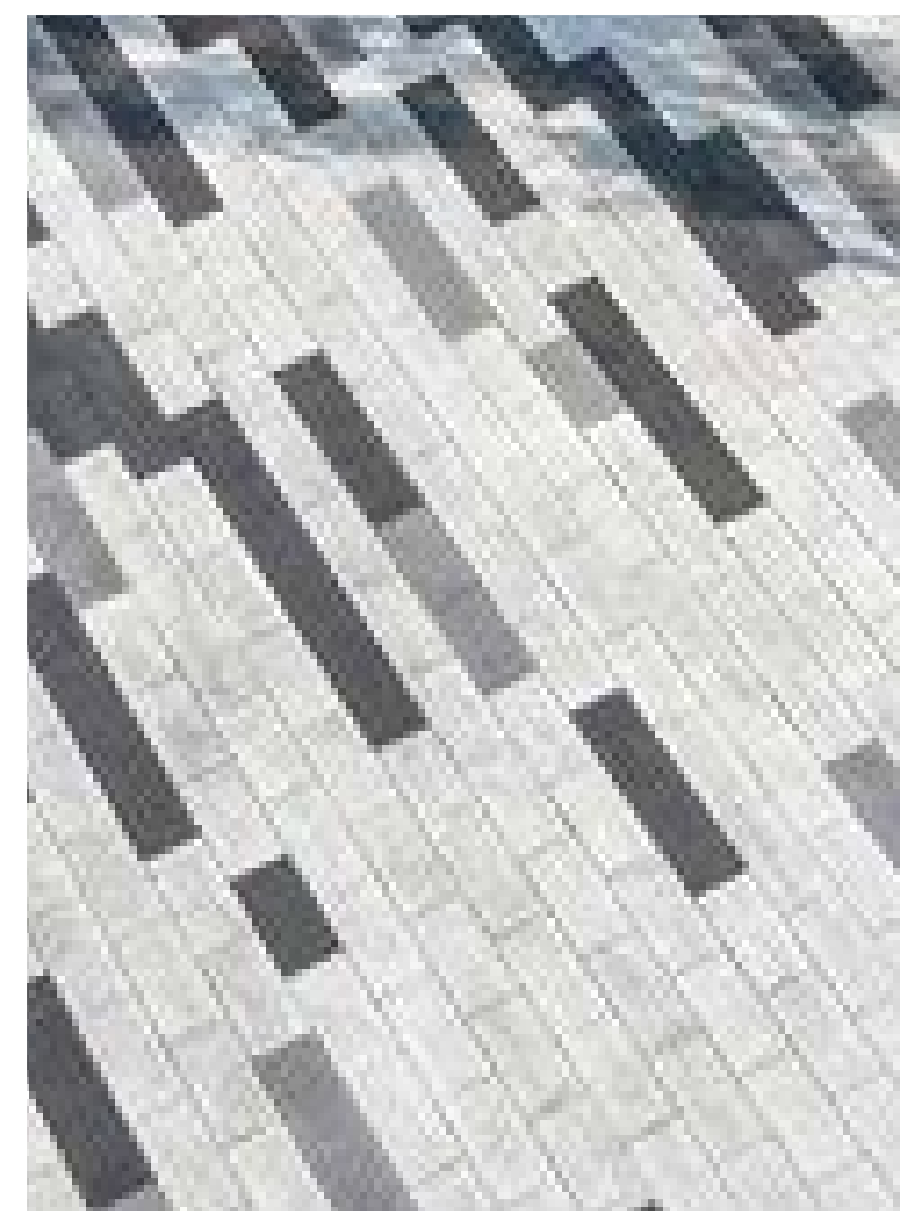
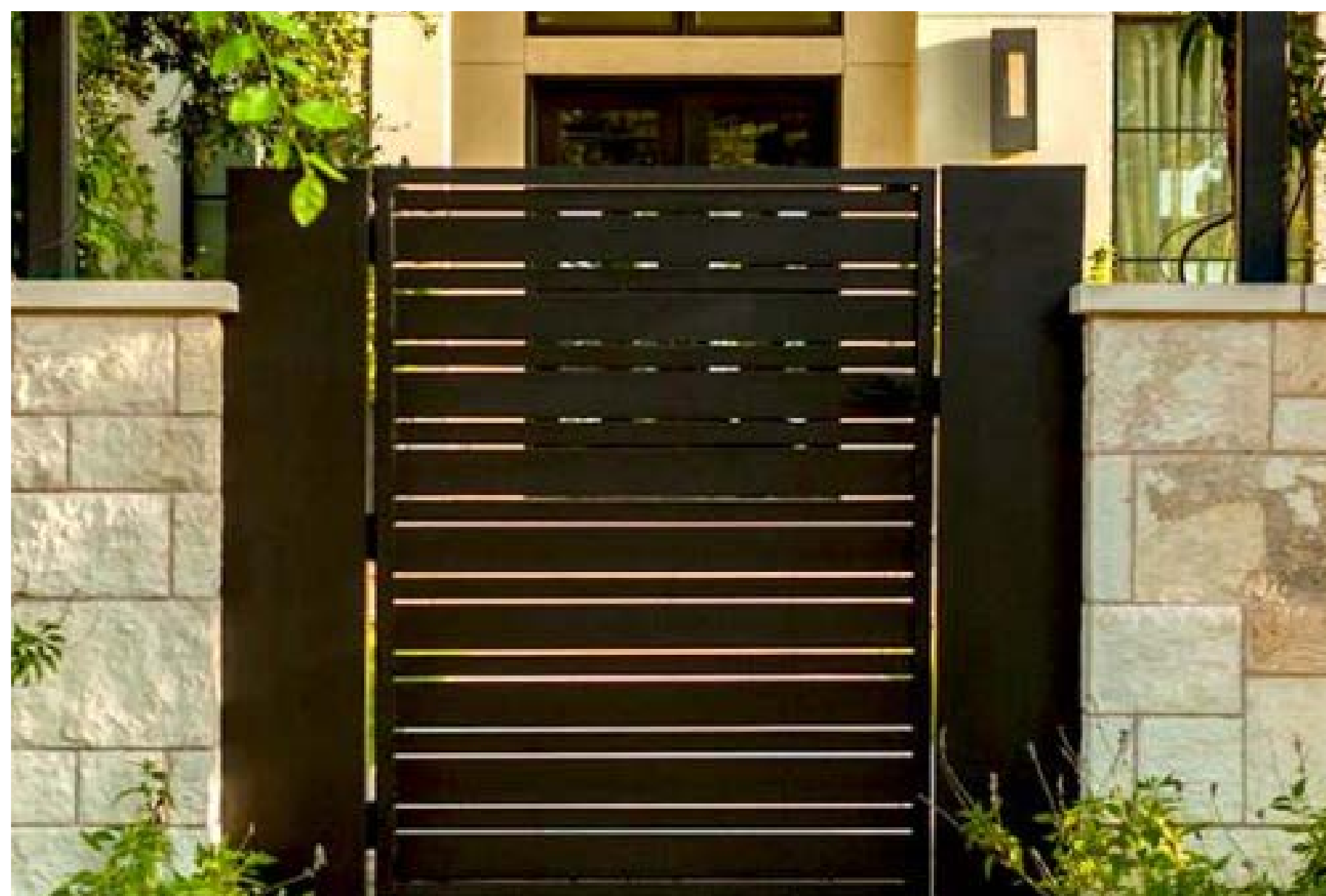
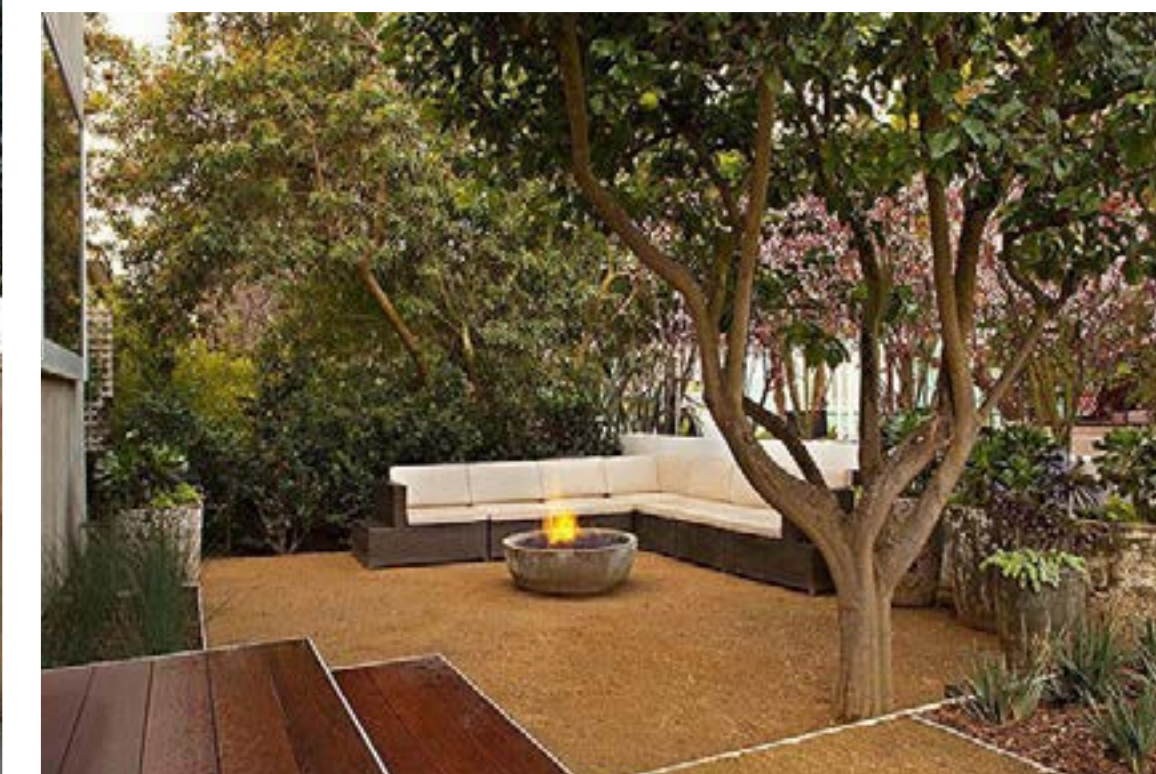
PASEO	
VESTING TENTATIVE SUBDIVISION MAP	
<div style="display: flex; align-items: center;"> <div> <p>FUSCOE ENGINEERING</p> <p>6390 Greenwich Dr, Suite 170 San Diego, Ca 92122 858.554.1500 fuscoe.com</p> </div> </div>	<p>JOB NO. 1076-006</p> <p>DRAWN BY: FJ</p> <p>SHEET 7 OF 7</p>

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LEGEND

- 1 Project Entry with Enhanced Planting
- 2 Pedestrian Sidewalk with Shade Trees
- 3 Private Patio Fence and Gate
- 4 Common Open Space
- 5 Mailbox Cluster
- 6 Property Frontage Landscaping
- 7 Screening Planting
- 8 Transformer

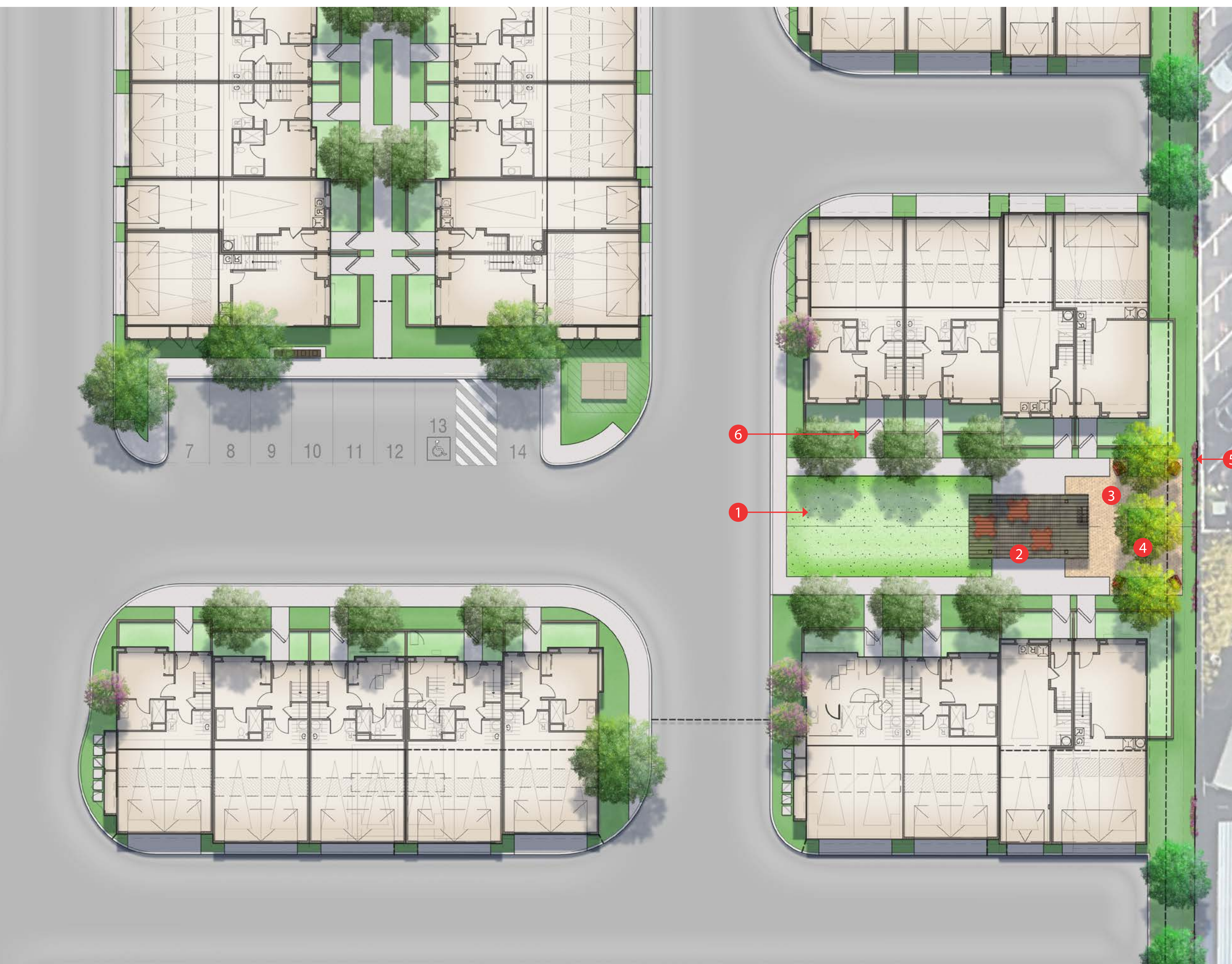


LEGEND

- 1 Event Lawn
- 2 Shade Structure with Picnic Tables & BBQ
- 3 Social Seating Area in Decomposed Granite Paving
- 4 Accent Canopy Trees
- 5 Screening Vine Planting
- 6 Parivate Patio Fence and Gate



KEYMAP



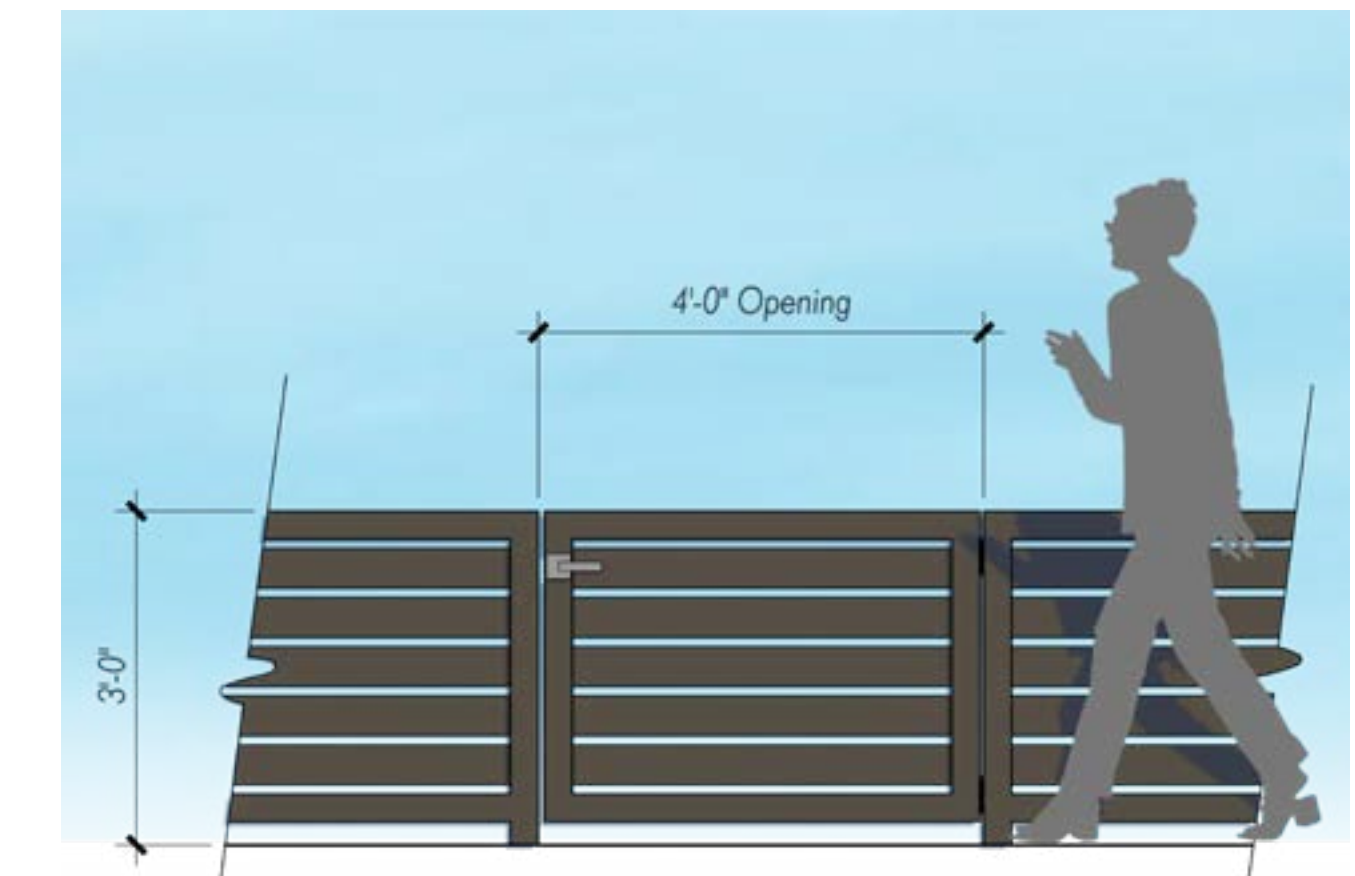


LEGEND



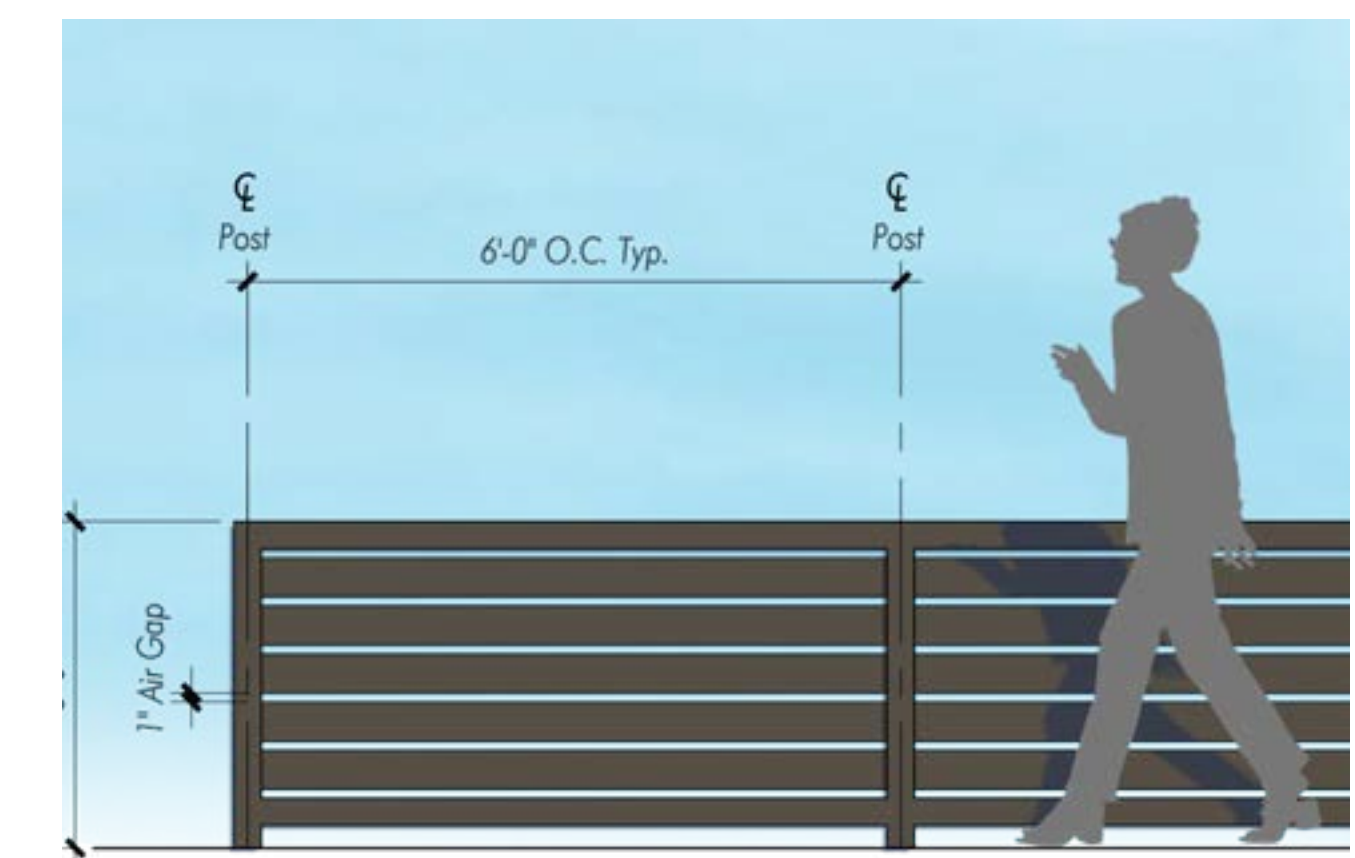
Patio Gate

- 36" H x 36" opening min
- Color to Match Architecture



Patio Fence

- 36" H x 36" opening min
- Color to Match Architecture





RECTANGULAR DINING TABLE
AT SHADE STRUCTURE



ROUND DINING TABLE
AT SHADE STRUCTURE



CHAIR
AT SHADE STRUCTURE WITH RECTANGULAR AND ROUND DINING TABLES



B B O
AT SHADE STRUCTURES



TRASH CAN



MAIL BOX



BIKE RACK



392 SM PET WASTE STATION
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PET WASTE STATION

TREE SCHEDULE:

BOTANICAL NAME	COMMON NAME	SIZE
<i>Arbutus unedo</i>	Strawberry Tree	15 gal min
<i>Cercidium 'Desert Museum'</i>	Desert Museum Palo Verde	15 gal min
<i>Cercis occidentalis</i>	Western Redbud	15 gal min
<i>Chilopsis linearis</i>	Desert Willow	15 gal min
<i>Dracaena draco</i>	Dragon Tree	15 gal min
<i>Magnolia spp.</i>	Magnolia	15 gal min
<i>Olea europaea 'Swan Hill'</i>	Swan Hill Olive	15 gal min
<i>Podocarpus gracilior</i>	Fern Podocarpus	15 gal min
<i>Platanus racemosa</i>	California Sycamore	15 gal min
<i>Pyrus kawakamii</i>	Evergreen Pear	15 gal min
<i>Quercus agrifolia</i>	Coast Live Oak	15 gal min
<i>Quercus wislizeni</i>	Interior Live Oak	15 gal min
<i>Rhus lancea</i>	African Sumac	15 gal min
<i>Tipuana tipu</i>	Tipu Tree	15 gal min
<i>Tristania conferta</i>	Brisbane Box	15 gal min
<i>Ulmus parvifolia</i>	Chinese Elm	15 gal min



SHRUB SCHEDULE:

BOTANICAL NAME	COMMON NAME	SIZE
<i>Agave spp.</i>	Agave	5 gal
<i>Aloe vera</i>	Aloe Vera	1 gal
<i>Bougainvillea spp.</i>	Bougainvillea	5 gal
<i>Carissa m. 'Boxwood Beauty'</i>	Boxwood Beauty Natal Plum	1 gal
<i>Dasyliirion spp.</i>	Desert Spoon	5 gal
<i>Dietes bicolor</i>	Fortnight Lily	5 gal
<i>Hesperaloe parviflora</i>	Red Yucca	1 gal
<i>Lavandula dentata</i>	French Lavender	1 gal
<i>Leucophyllum f. 'Green Cloud'</i>	Green Cloud Texas Sage	1 gal
<i>Lomandra longifolia</i>	Spiny-headed Mat Rush	1 gal
<i>Myrtus communis</i>	True Myrtle	1 gal
<i>Prunus caroliniana 'Bright n Tight'</i>	Cherry Laurel	15 gal
<i>Raphiolepis i. 'Clara'</i>	Clara Indian Hawthorn	5 gal
<i>Raphiolepis i. 'Majestic Beauty'</i>	Majestic Beauty Hawthorn	5 gal
<i>Rhus integrifolia</i>	Lemonade Berry	5 gal
<i>Yucca spp.</i>	Yucca	5 gal



GROUNDCOVER SCHEDULE:

BOTANICAL NAME	COMMON NAME	SIZE
<i>Lantana spp.</i>	Lantana	1 gal
<i>Lonicera japonica 'Halliana'</i>	Hall's Honeysuckle	1 gal
<i>Myoporum parvifolium</i>	Myoporum	1 gal
<i>Rosmarinus 0. 'Huntington Carpet'</i>	Rosemary Huntington Carpet	1 gal
<i>Senecio mandraliscae</i>	Blue Chalk Sticks	1 gal



Note:
 1. Plant selection and landscape/irrigation design should comply with the Water Efficient Landscape requirements and ordinances.
 2. California native/drought-tolerant plants shall be used to the maximum extent feasible to minimize the need for irrigation. Where irrigation is necessary, then the system shall be designed and installed to prevent overspray or irrigation runoff during normal operations and during a break in the line.