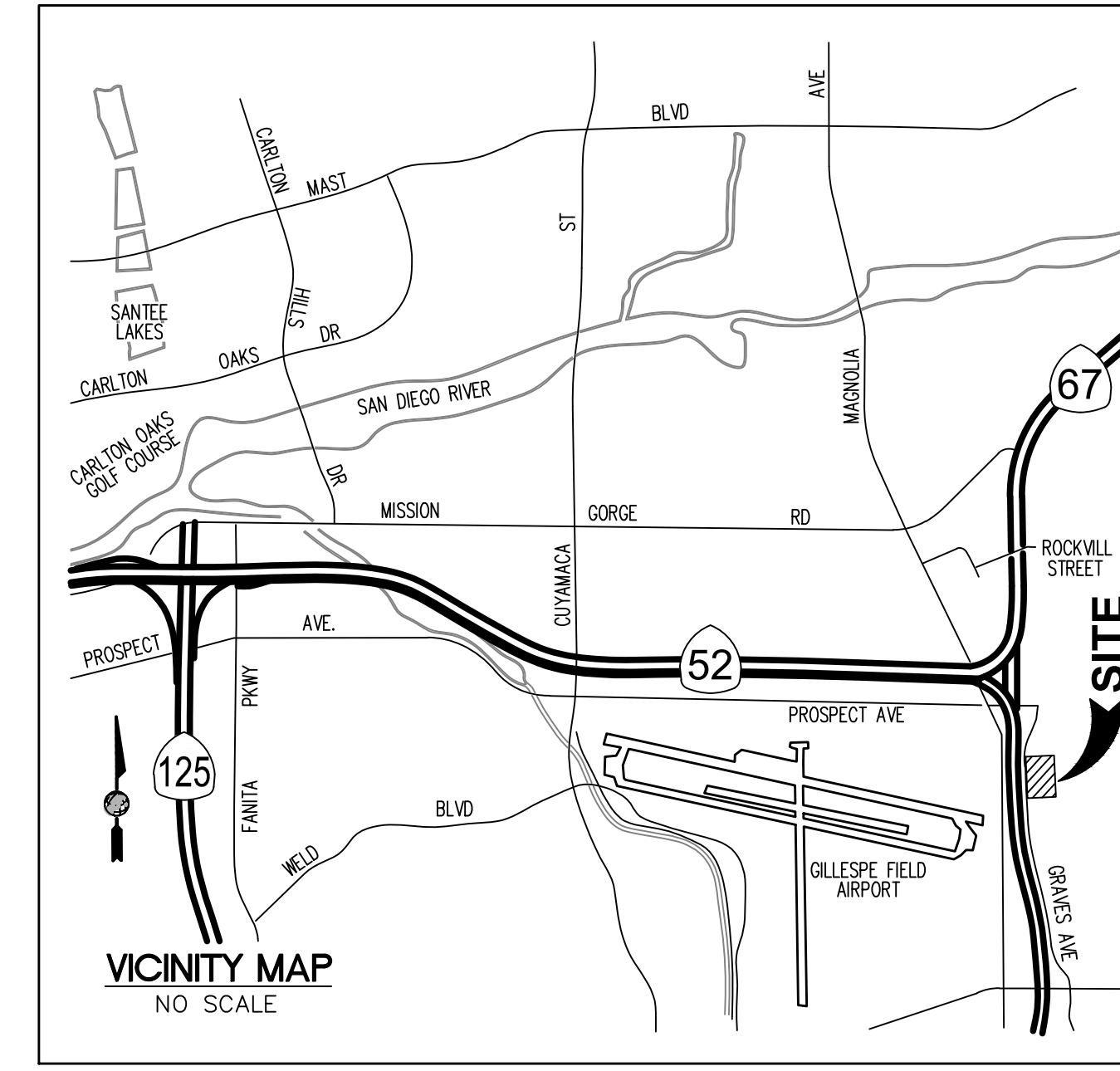
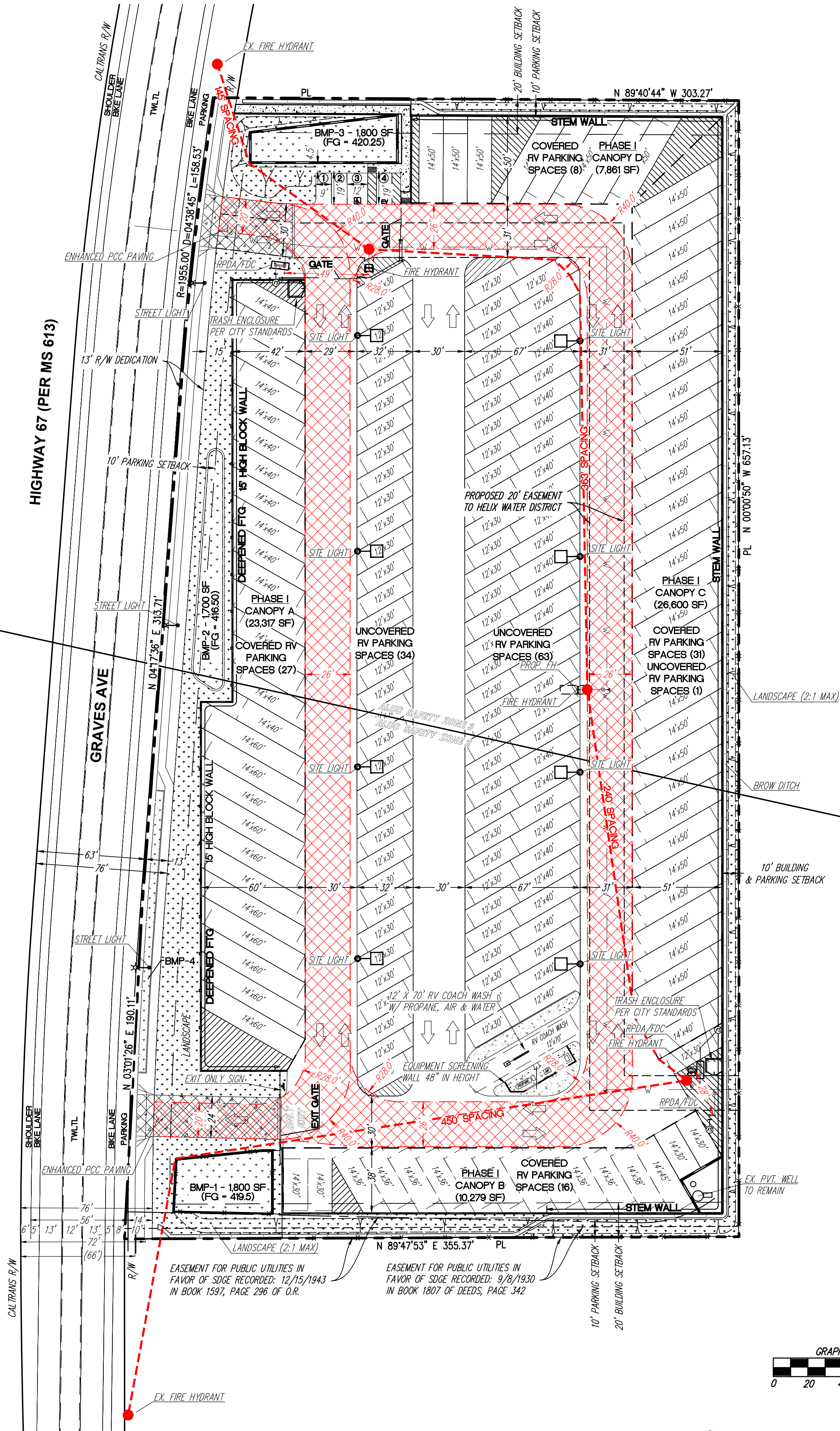


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- SHEET INDEX:**
- C-1 SITE PLAN PHASE I
 - C-2 SITE PLAN PHASE II
 - C-3 CONSTRAINTS SITE PLAN
 - C-4 CONCEPTUAL GRADING SITE PLAN PHASE I
 - C-5 CONCEPTUAL GRADING SITE PLAN PHASE II
 - C-6 CONCEPTUAL UTILITY SITE PLAN PHASE I
 - C-7 CONCEPTUAL UTILITY SITE PLAN PHASE II
 - C-8 CONCEPTUAL SECTIONS
 - C-9 DMA PLAN
- A-4 BUILDING A ELEVATIONS
 A-4C BUILDING A COLOR ELEVATIONS
 A-5 BUILDING B ELEVATIONS
 A-5C BUILDING B COLOR ELEVATIONS
- L-1 PRELIMINARY LANDSCAPE PLAN
 L-2 PRELIMINARY LANDSCAPE PLAN
 L-3 PRELIMINARY LANDSCAPE PLAN
- FIRE SPRINKLER NOTE:**
 ALL BUILDINGS SHALL BE PROTECTED BY AUTOMATIC FIRE SPRINKLERS

PROJECT DATA:

SITE ADDRESS	8355 GRAVES AVENUE (VACANT LOT) SANTEE, CA 92071
APN	387-061-11 & 387-061-12
SITE AREA (GROSS)	219,721 SQ. FT. (5.044 ACRES)
SITE AREA (NET)	211,072 SQ. FT. (4.846 ACRES)
R/W DEDICATION	8,649 SQ. FT. (0.198 ACRES)

PHASE 1 BUILDING AREA:
 N.A. (RV PARKING ONLY WITH PHASE I)

SITE COVERAGE:

BUILDING FOOTPRINTS	0.0	SQ. FT. (0.0%)
COVERED PARKING	68,057	SQ. FT. (32.2%)
CANOPY A	23,317	SQ. FT.
CANOPY B	10,279	SQ. FT.
CANOPY C	26,600	SQ. FT.
CANOPY D	7,861	SQ. FT.
DRIVEWAYS / UNCOVERED PARKING	106,309	SQ. FT. (50.4%)
WALKWAYS	1,972	SQ. FT. (0.9%)
LANDSCAPED AREA	29,063	SQ. FT. (13.6%)
UNDISTURBED AREA	0.0	SQ. FT. (0.0%)
RETENTION AREA	5,671	SQ. FT. (2.7%)
TOTAL	211,072	SQ. FT. (100%)

PHASE 1 PARKING TABULATION:

VEHICLE PARKING

TOTAL PROVIDED	4
RV PARKING	
UNCOVERED	68 - 12'x30'
	29 - 12'x40'
COVERED	
	10 - 14'x36'
	38 - 14'x50'
	11 - 14'x60'
	1 - 14'x45'
	17 - 14'x40'
	1 - 14'x38'
	4 - 14'x30'
TOTAL PROVIDED	179

OWNER / DEVELOPER:
 CAMERON BROTHERS CONSTRUCTION CO., L.P.
 10580 PROSPECT AVENUE - SUITE 200
 SANTEE, CA 92071

CONTACT: CHRIS COOK
 PHONE: 619.562.3050
 EMAIL: CHRIS@CAMERONBROS.NET

ARCHITECT:
 VALLI ARCHITECTURAL GROUP
 12 JOURNEY - SUITE 270
 ALISO VIEJO, CA 92656

CONTACT: ARIEL L. VALLI
 PHONE: 949.349.1777
 EMAIL: ARIEL@VALLIARCH.COM

CIVIL ENGINEER:
 OMEGA ENGINEERING CONSULTANTS, INC.
 4320 VIEWRIDGE AVENUE - SUITE C
 SAN DIEGO, CA 92123

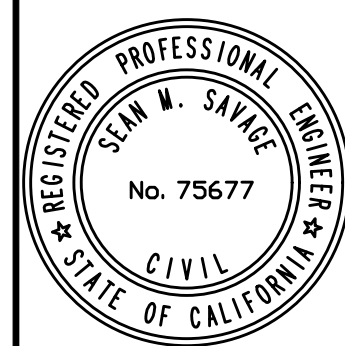
CONTACT: SEAN SAVAGE
 PHONE: 858.634.8620
 EMAIL: SEAN@OMEGA-CONSULTANTS.COM

SETBACKS:

EXISTING ZONING:	R14 - MEDIUM-HIGH DENSITY RESIDENTIAL
PARKING/LANDSCAPE:	FRONT 10 FT
	SIDE 10 FT
	REAR 10 FT
BUILDING:	FRONT 10 FT
	SIDE 20 FT
	REAR 10 FT

SITE PLAN - PHASE 1

PLANS PREPARED BY:
OMEGA ENGINEERING CONSULTANTS, INC.
 4320 Viewridge Avenue, Suite C, San Diego, CA 92123
 T: 858.634.8620 | F: 858.634.8627 [OEC Project Number 0430]



SEAN M. SAVAGE R.C.E. 75677
 DATE: 9/16/2024

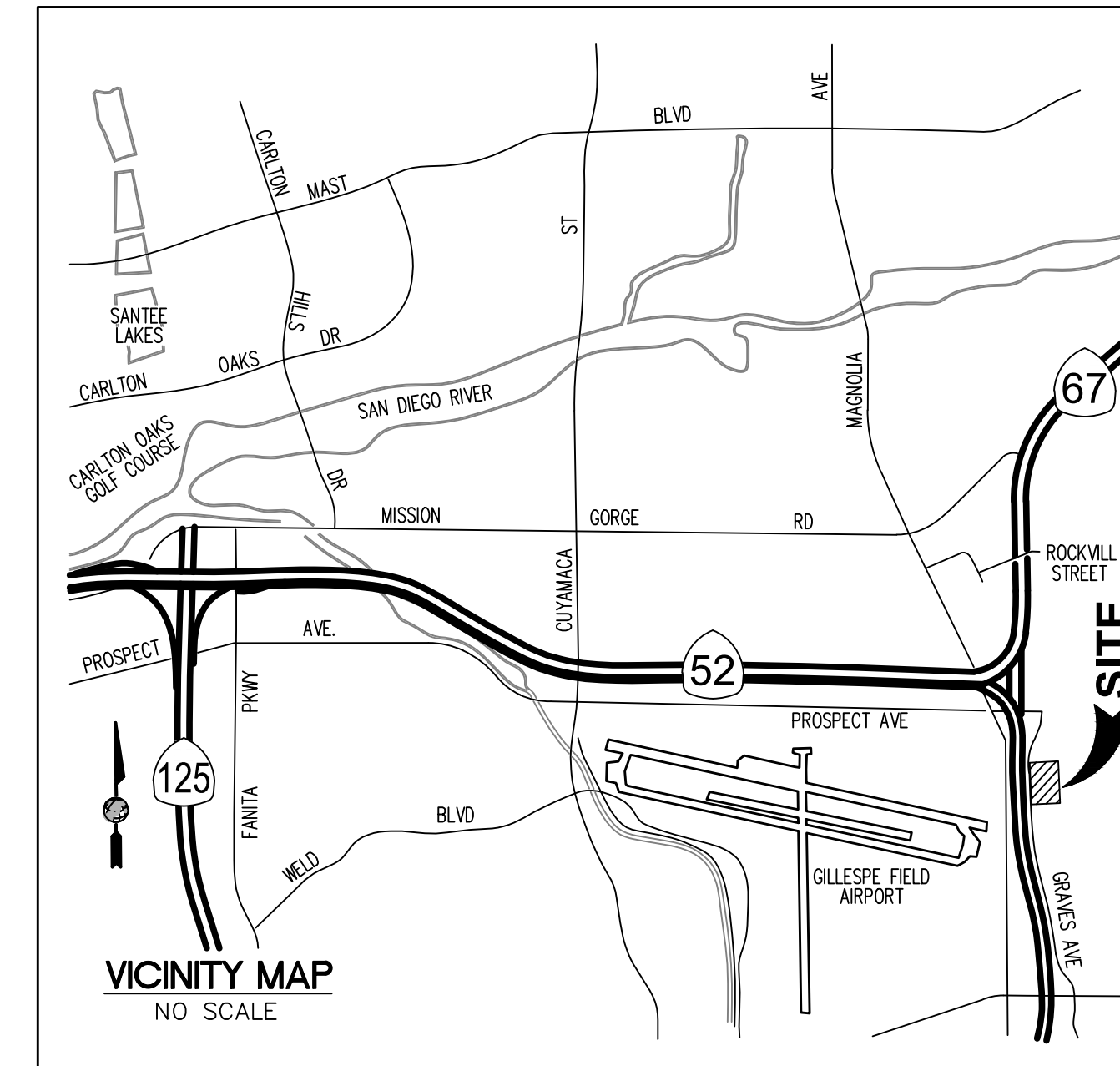
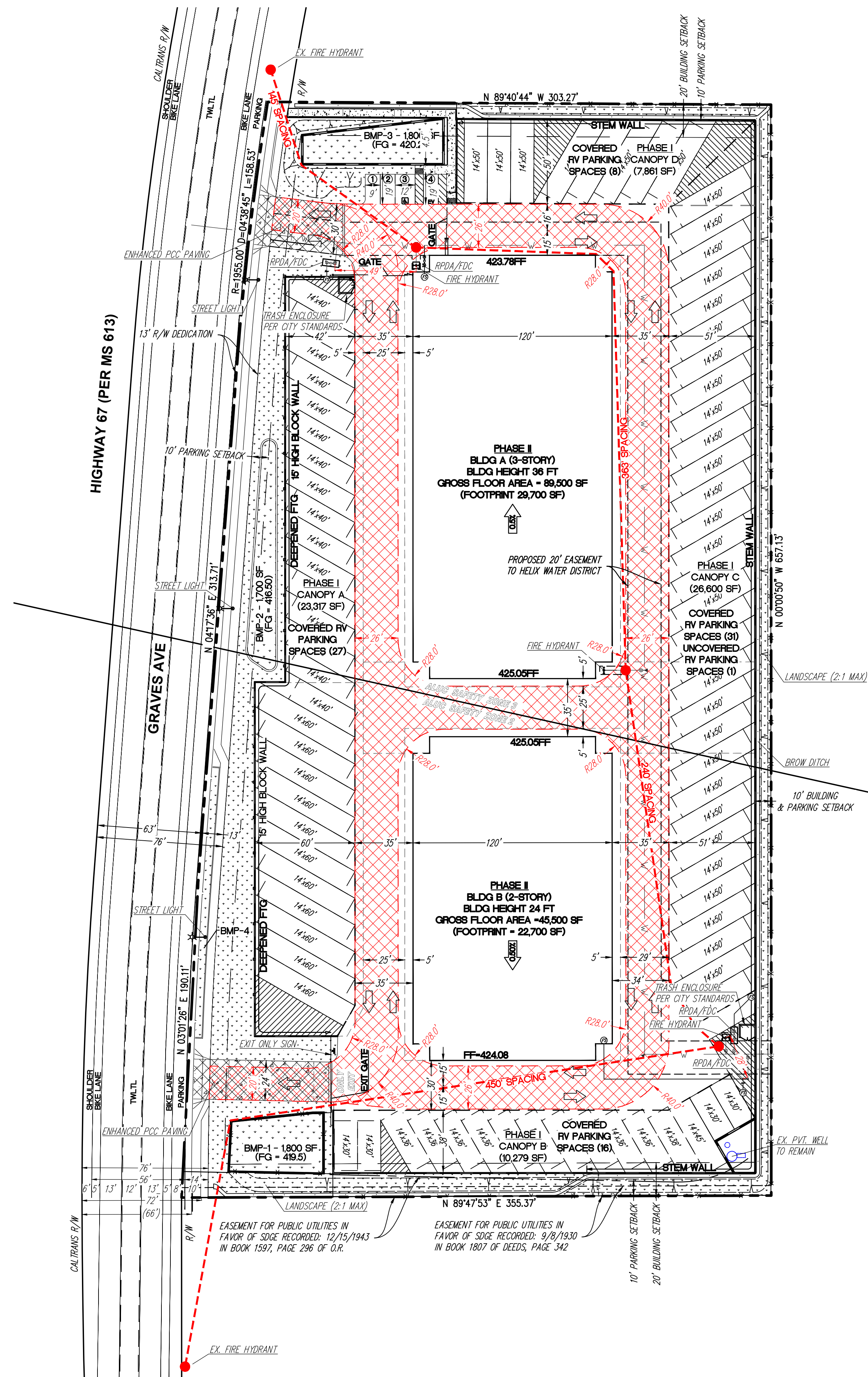
CITY OF SANTEE
PERMIT NO: _____

APPLICANT: CAMERON BROTHERS CONSTRUCTION CO., L.P.
 ASSESSORS PARCEL NO(S): 387-061-11-00 & 387-061-12-00
 REQUEST: _____

PC RESOLUTION NO.: _____
 CC RESOLUTION NO.: _____
 ORDINANCE NO.: _____

C-1

DATE: 5/29/2024 3:14:49 PM FILENAME: P:\DMG\OMEGA\0430 CAMERON GRAVES AVE\0430\0430-COP-02-SITE PLAN PH2.DWG BY: MCK SBRADISA



PROJECT DATA:

SITE ADDRESS	8355 GRAVES AVENUE (VACANT LOT) SANTEE, CA 92071
APN	387-061-11 & 387-061-12
SITE AREA (GROSS)	219,721 SQ. FT. (5.044 ACRES)
SITE AREA (NET)	211,072 SQ. FT. (4.846 ACRES)
R/W DEDICATION	8,649 SQ. FT. (0.198 ACRES)

PHASE 2 BUILDING AREA:

BUILDING 'A'	89,500 SQ. FT. (3-STORY)
BUILDING 'B'	45,500 SQ. FT. (2-STORY)
PHASE 2 TOTAL	135,000 SQ. FT. (*)

(*) NO OFFICE PROPOSED ON-SITE

SITE COVERAGE:

BUILDING FOOTPRINTS	0.0	SQ. FT. (0.0%)
COVERED PARKING	68,057	SQ. FT. (32.2%)
CANOPY A	23,317	SQ. FT.
CANOPY B	10,279	SQ. FT.
CANOPY C	26,600	SQ. FT.
CANOPY D	7,861	SQ. FT.
DRIVEWAYS / UNCOVERED PARKING	106,309	SQ. FT. (50.4%)
WALKWAYS	1,972	SQ. FT. (0.9%)
LANDSCAPED AREA	29,063	SQ. FT. (13.6%)
UNDISTURBED AREA	0.0	SQ. FT. (0.0%)
RETENTION AREA	5,671	SQ. FT. (2.7%)
TOTAL	211,072	SQ. FT. (100%)

2022 CALIFORNIA BUILDING CODE COMPLIANCE ANALYSIS (FOR TYPE II-B CONSTRUCTION - S-1 OCCUPANCY - FIRE SPRINKLERED)

BUILDING A FIRST FLOOR:	29,700 SF
BUILDING A SECOND FLOOR:	29,900 SF
BUILDING A THIRD FLOOR:	29,900 SF
BUILDING A TOTAL:	89,500 SF
BUILDING B FIRST FLOOR:	22,700 SF
BUILDING B SECOND FLOOR:	22,800 SF
BUILDING B TOTAL:	45,500 SF

ALLOWABLE BUILDING AREAS (CBC TABLE 506.2)

ALLOWED:	52,500 SF PER FLOOR
PROPOSED BLDG A:	29,900 SF MAX FLOOR AREA (COMPLIES)
PROPOSED BLDG B:	22,800 SF MAX FLOOR AREA (COMPLIES)

ALLOWABLE NUMBER OF STORIES (CBC 504.4)

ALLOWED:	4 STORIES
PROPOSED BLDG A:	3 STORIES (COMPLIES)
PROPOSED BLDG B:	2 STORIES (COMPLIES)

ALLOWABLE BUILDING HEIGHT (CBC TABLE 504.3)

ALLOWED:	75 FEET
PROPOSED BLDG A:	36 FT (COMPLIES)
PROPOSED BLDG B:	24 FT (COMPLIES)

FIRE SPRINKLER NOTE:
ALL BUILDINGS SHALL BE PROTECTED BY AUTOMATIC FIRE SPRINKLERS

PHASE 2 PARKING TABULATION:

VEHICLE PARKING

TOTAL PROVIDED	4
RV PARKING	
COVERED	10 - 14'x36'
	38 - 14'x50'
	11 - 14'x60'
	1 - 14'x45'
	17 - 14'x40'
	1 - 14'x38'
	4 - 14'x30'
TOTAL PROVIDED	82 SPACES

OWNER / DEVELOPER:
CAMERON BROTHERS CONSTRUCTION CO., L.P.
10580 PROSPECT AVENUE - SUITE 200
SANTEE, CA 92071

CONTACT: CHRIS COOK
PHONE: 619.562.3050
EMAIL: CHRIS@CAMERONBROS.NET

ARCHITECT:
VALLI ARCHITECTURAL GROUP
12 JOURNEY - SUITE 270
ALISO VIEJO, CA 92656

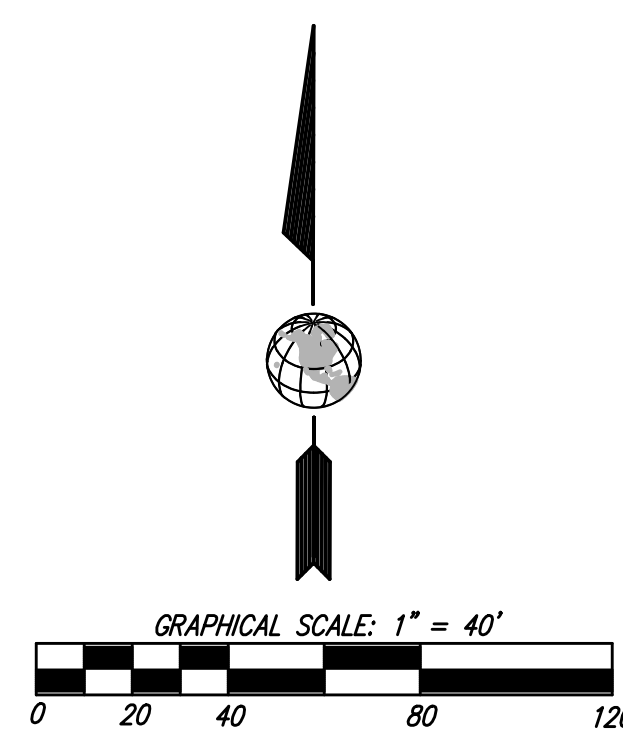
CONTACT: ARIEL L. VALLI
PHONE: 949.349.1777
EMAIL: ARIEL@VALLIARCH.COM

CIVIL ENGINEER:
OMEGA ENGINEERING CONSULTANTS, INC.
4320 VIEWRIDGE AVENUE - SUITE C
SAN DIEGO, CA 92123

CONTACT: SEAN SAVAGE
PHONE: 858.634.8620
EMAIL: SEAN@OMEGA-CONSULTANTS.COM

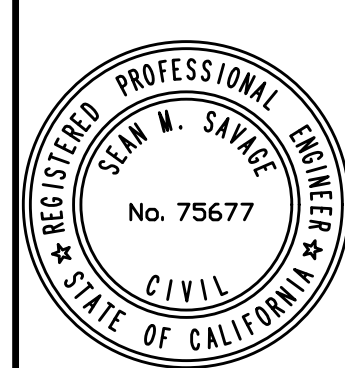
SETBACKS:

PARKING/LANDSCAPE:	FRONT 10 FT
	SIDE 10 FT
	REAR 10 FT
BUILDING:	FRONT 10 FT
	SIDE 20 FT
	REAR 10 FT



SITE PLAN - PHASE 2

PLANS PREPARED BY:
OMEGA ENGINEERING CONSULTANTS, INC.
4320 Viewridge Avenue, Suite C, San Diego, CA 92123
T: 858.634.8620 | F: 858.634.8627 | OEC Project Number 0430



Signature of Sean M. Savage
SEAN M. SAVAGE R.C.E. 75677
9/16/2024 DATE

CITY OF SANTEE

PERMIT NO: _____

APPLICANT: CAMERON BROTHERS CONSTRUCTION CO., L.P.

ASSESSORS PARCEL NO(S): 387-061-11-00 & 387-061-12-00

REQUEST: _____

PC RESOLUTION NO.: _____

CC RESOLUTION NO.: _____

ORDINANCE NO.: _____

C-2

CONSTRAINTS SITE PLAN

GRAVES AVENUE RV STORAGE
8353 GRAVES AVENUE, SANTEE, CA 92071

TITLE INFORMATION:

CAMERON BROTHERS CONSTRUCTION CO., L.P., A CALIFORNIA LIMITED PARTNERSHIP PER GRANT DEED RECORDED MARCH 01, 2018 AS DOC # 2018-0081697 & DOC # 2018-0081704.

EASEMENT NOTES:

AN EASEMENT FOR PUBLIC UTILITIES, INGRESS, EGRESS AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 08, 1930 IN BOOK 1807 OF DEEDS, PAGE 342.
IN FAVOR OF: SAN DIEGO GAS AND ELECTRIC COMPANY

AN EASEMENT FOR PUBLIC UTILITIES, INGRESS, EGRESS AND INCIDENTAL PURPOSES, RECORDED DECEMBER 15, 1943 AS BOOK 1597, PAGE 296 OF OFFICIAL RECORDS.
IN FAVOR OF: SAN DIEGO GAS AND ELECTRIC COMPANY

BOUNDARY NOTES

THE BOUNDARY AND ALL DIMENSIONS SHOWN HEREON ARE BASED ON A RETRACEMENT OF RECORD OF SURVEY 22888 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

THE BOUNDARY RETRACTED HEREON IS FOR TITLE INSURANCE PURPOSES ONLY AND IS NOT INTENDED TO BE USED FOR DESIGN PURPOSES, BOUNDARY LINE STAKE-OUT, OR CERTIFICATION PURPOSES. ANY CORNERS FOR WHICH MONUMENTS WERE NOT FOUND OR SET RAISES THE PROBABILITY OF UNCERTAINTIES IN BOUNDARY LINE LOCATIONS

LEGEND:

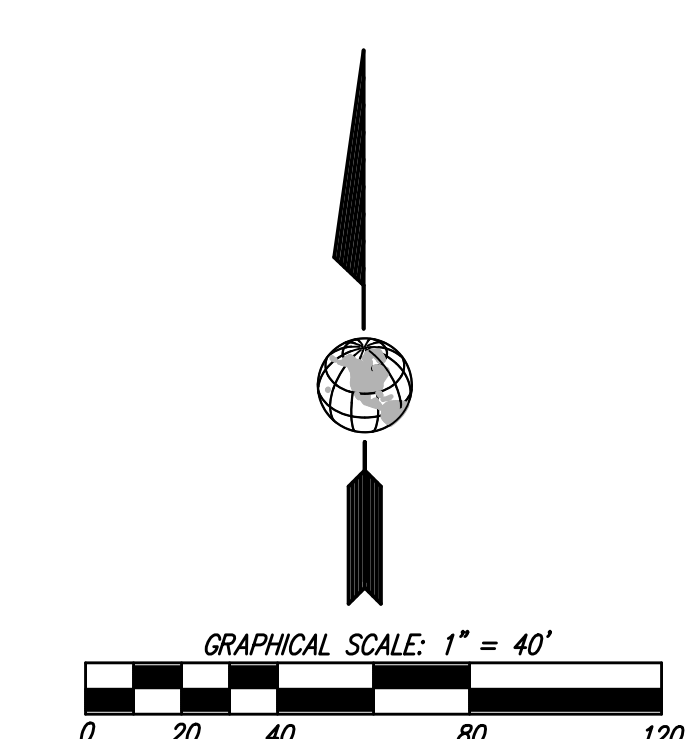
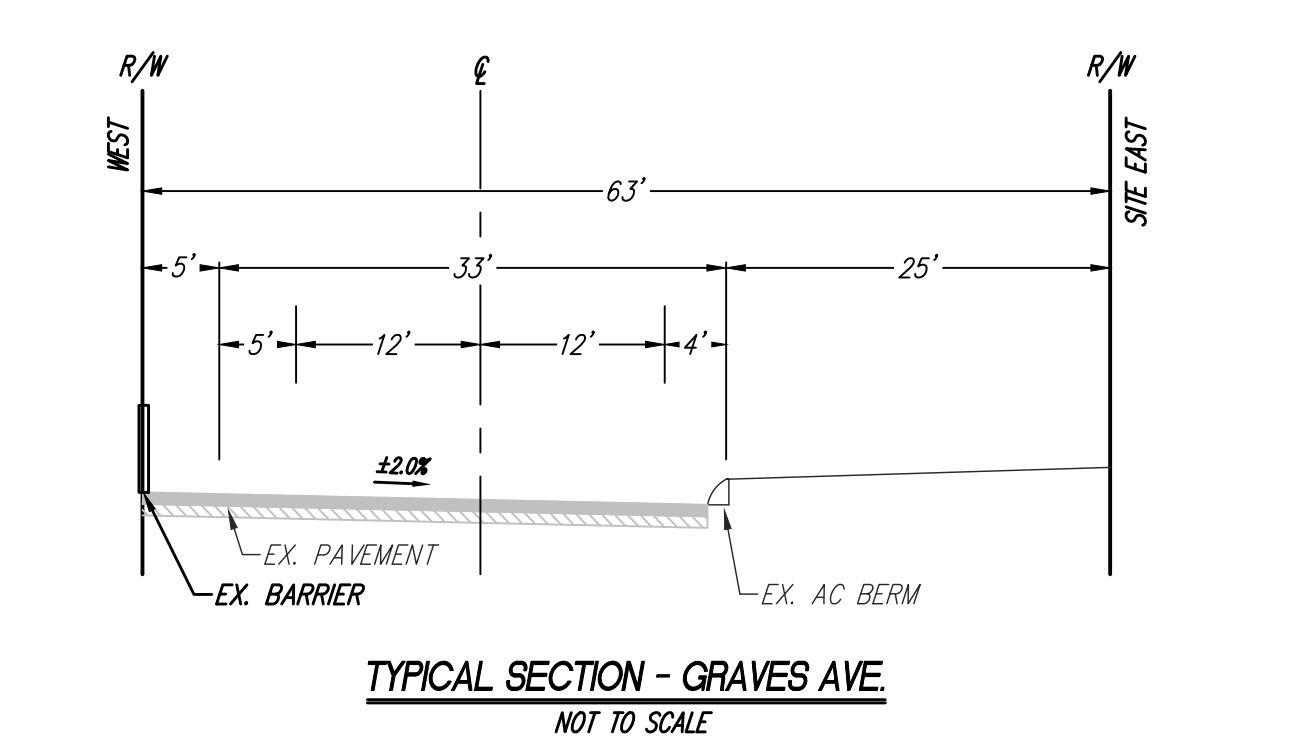
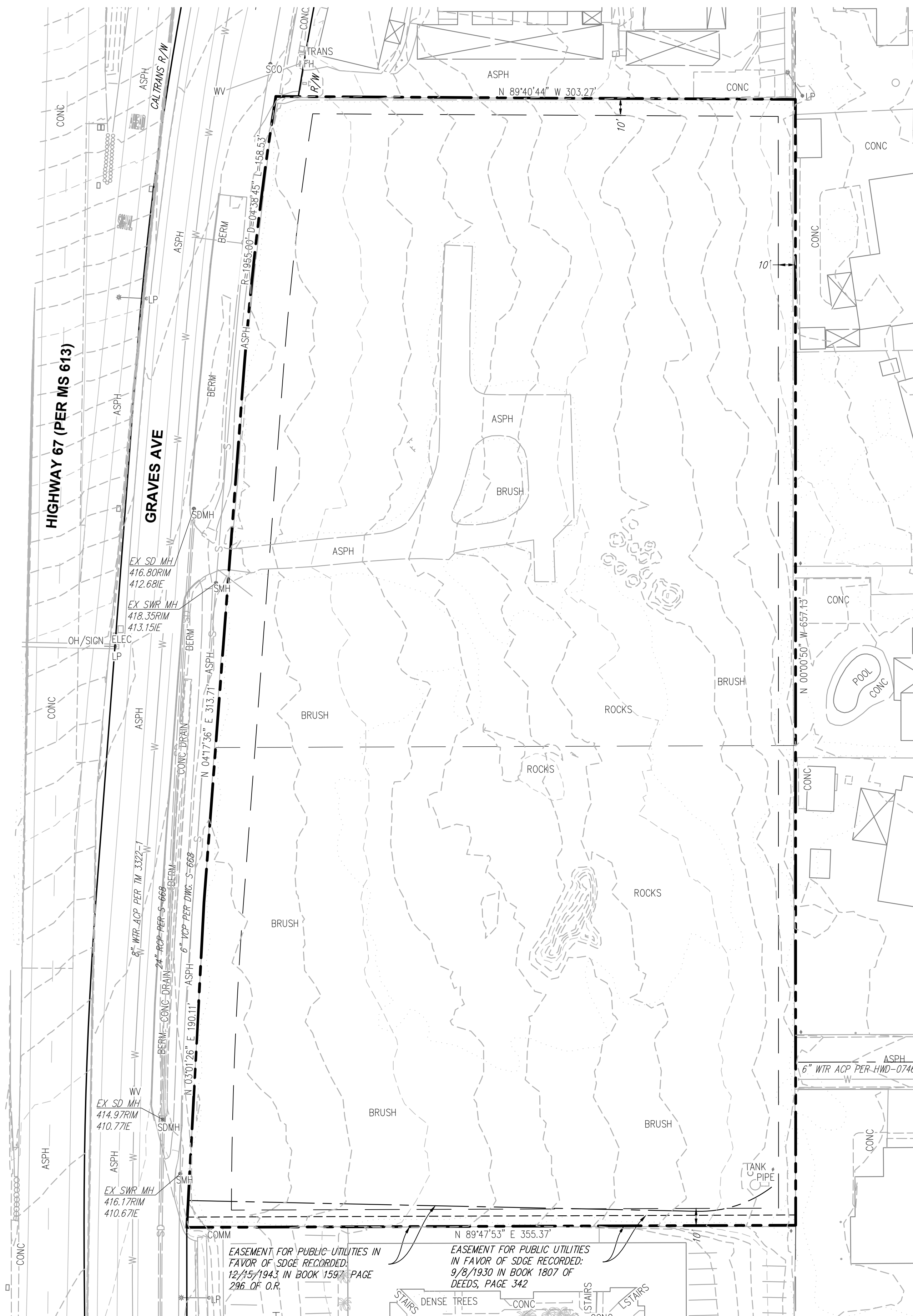
ITEM	SYMBOL
EXISTING SPOT ELEVATIONS	385.00
EXISTING CONTOUR	385
EXISTING GAS MAIN	G
EXISTING WATER LINE	W
EXISTING SEWER LINE	S
EXISTING FIRE HYDRANT ASSEMBLY	FH
EXISTING STORM DRAIN	SD
EXISTING STORM DRAIN INLET	SDI
EXISTING STREET LIGHT	SL
EXISTING CURB & GUTTER	C&G
EXISTING DRAINAGE PATTERN	DP
EXISTING PCC PAVT.	PCC
EXISTING WATER METER	WM
CENTERLINE	CL
RIGHT OF WAY LINE	R/W
PROPERTY/BOUNDARY LINE	PL

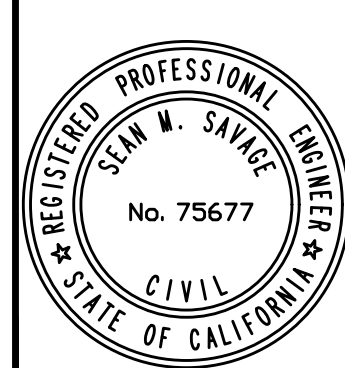
ABBREVIATIONS:

AC	ASPHALT CONCRETE	LP	LIGHT POLE
B	BOLLARD	LS	LANDSCAPE
BB	BIO BASIN	P	PAVEMENT
BW	BOTTOM OF WALL	PL	PROPERTY LINE
CB	CATCH BASIN	R/W	RIGHT-OF-WAY
CONC	CONCRETE	SCD	SEWER CLEAN-OUT
ELEC	ELECTRICAL UTILITIES	SD	STORM DRAIN UTILITIES
FF	FINISH FLOOR	SMH	SEWER MANHOLE
FG	FINISH GRADE	TC	TOP OF CURB
FH	FIRE HYDRANT	TW	TOP OF WALL
FL	FLOW LINE	WM	WATER METER BOX
GAS	GAS FACILITIES	WV	WATER VALVE

SOURCE OF TOPOGRAPHY

TOPOGRAPHY SHOWN HEREON IS BASED ON AERIAL PHOTOGAMMETRIC MAPPING CONDUCTED BY PHOTO GEODETIC, HORIZONTAL AND VERTICAL GROUND CONTROL WERE ESTABLISHED BY OMEGA LAND SURVEYING, INC. ON FEBRUARY 5, 2020 WITH SUPPLEMENTAL DATA COLLECTED ON MARCH 4, 2020



PLANS PREPARED BY: OMEGA ENGINEERING CONSULTANTS, INC. 4320 Viewridge Avenue, Suite C, San Diego, CA 92123 T: 858.634.8620 F: 858.634.8627 [OEC Project Number 0430]	CITY OF SANTEE		
	PERMIT NO: _____		
 SEAN M. SAVAGE R.C.E. 75677 DATE 9/13/2024	APPLICANT: CAMERON BROTHERS CONSTRUCTION CO., L.P. ASSESSORS PARCEL NO(S): 387-061-11-00 & 387-061-12-00 REQUEST: _____		
	PC RESOLUTION NO.: _____ CC RESOLUTION NO.: _____ ORDINANCE NO.: _____	C-3	

DATE: 5/29/2024 4:36:38 PM BY: MITCHELL SMITH FILENAME: P:\DMC\OMEGA\0430\CAMERON\GRAVES AVE\ACAD\03P\0430-CBP-03-CONSTRAINTS.DWG

CONCEPTUAL GRADING SITE PLAN - PHASE 1

GRAVES AVENUE RV STORAGE
8353 GRAVES AVENUE, SANTEE, CA 92071

OWNER/DEVELOPER:

CAMERON BROTHERS CONSTRUCTION CO., L.P., A CALIFORNIA LIMITED PARTNERSHIP PER GRANT DEED RECORDED MARCH 01, 2018 AS DOC # 2018-0081697 & DOC # 2018-0081704.

LEGAL DESCRIPTION

APN 387-061-11

THAT PORTION OF TRACT 5 OF THE HILL ESTATES IN RANCHO EL CAJON, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SET OFF TO THE HEIRS OF JAMES HILL, DECEASED ACCORDING TO THE PARTITION MAP OF THE LAND OF SAID HILL ESTATE MADE BY M. G. WHEELER IN 1874 AND FILED IN THE COUNTY CLERK'S OFFICE OF SAN DIEGO COUNTY, S OFFICE OF SAN DIEGO COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTER LINE OF MAGNOLIA AVENUE WITH THE CENTER LINE OF PEPPER DRIVE (FORMERLY KNOWN AS CENTRAL AVENUE) AS SAID AVENUE AND DRIVE ARE SHOWN ON RECORD OF SURVEY MAP NO. 2932, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY OCTOBER 17, 1952; THENCE ALONG THE CENTER LINE OF SAID PEPPER DRIVE NORTH 89°47'53" EAST 642.40 FEET; THENCE NORTH 1649.90 53" EAST 642.40 FEET; THENCE NORTH 1649.90 FEET TO A POINT IN NORTHERLY LINE OF SAID TRACT 5; THENCE ALONG SAID NORTHERLY LINE SOUTH 89°51'00" WEST 642.88 FEET; THENCE SOUTH 0°03' EAST TO AND ALONG THE CENTER LINE OF SAID MAGNOLIA AVENUE 1650.45 FEET TO THE POINT OF BEGINNING.

EXCEPTING FROM SAID PROPERTY THE SOUTHERLY 995.01 FEET THEREOF.

ALSO EXCEPTING THEREFROM THE NORTHERLY 276.31 FEET THEREOF.

AND ALSO EXCEPTING THEREFROM ANY PORTION THEREOF LOCATED WITHIN ANY PUBLIC STREET OR AVENUE.

ALSO EXCEPTING THEREFROM THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THE LAND CONVEYED TO GEORGE J. PERMIGANO, ET UX, BY DEED RECORDED DECEMBER 31, 1954 IN BOOK 5480, PAGE 507 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG THE NORTHERLY LINE OF SAID PERMIGANO LAND, NORTH 89°56'08" EAST, 307.07 FEET; THENCE FROM A TANGENT WHICH BEARS SOUTH 08° EAST, 307.07 FEET; THENCE FROM A TANGENT WHICH BEARS SOUTH 08° WEST, ALONG A CURVE TO THE LEFT WITH A RADIUS OF 1,955 FEET, THROUGH AN ANGLE OF 4°35'04", A DISTANCE OF 156.43 FEET; THENCE SOUTH 41°36' WEST, 313.69 FEET; THENCE SOUTH 301°18' WEST, 190.21 FEET TO THE SOUTHEAST CORNER OF THAT PARCEL OF 18" WEST, 190.21 FEET TO THE SOUTHEAST CORNER OF THAT PARCEL OF LAND DESCRIBED IN DEED TO THE STATE OF CALIFORNIA, RECORDED MARCH 22, 1960, AS FILED NO. 58635, IN SERIES 1, BOOK 1960, OF OFFICIAL RECORDS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY; THENCE ALONG THE EASTERLY LINE OF LAST SAID PARCEL, NORTH 0°02'14" WEST, 280 FEET TO THE NORTHEAST CORNER THEREOF; THENCE 14" WEST, 280 FEET TO THE NORTHEAST CORNER THEREOF; THENCE ALONG THE NORTHERLY LINE OF LAST SAID PARCEL NORTH 89°56'08" WEST, 255.02 FEET TO 08" WEST, 255.02 FEET TO THE NORTHWEST CORNER THEREOF; LAST SAID CORNER BEING ALSO A SOUTHWEST CORNER OF SAID PERMIGANO LAND, NORTH 0°03'52" WEST, 378.05 FEET TO THE POINT OF BEGINNING. 52" WEST, 378.05 FEET TO THE POINT OF BEGINNING.

APN 387-061-12

HAT PART OF THE NORTHERLY 280 FEET OF THE SOUTHERLY 995.01 FEET OF THAT PORTION OF TRACT 5 OF THE HILL ESTATE IN THE RANCHO EL CAJON, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SET OFF TO THE HEIRS OF JAMES HILL, DECEASED, ACCORDING TO THE PARTITION MAP OF THE LANDS OF SAID HILL ESTATES, MADE BY M. G. WHEELER IN 1874, AND ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DESCRIBED OF RECORD AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTER LINE OF MAGNOLIA AVENUE WITH THE CENTER LINE OF PEPPER DRIVE (FORMERLY KNOWN AS CENTRAL AVENUE) AS SAID AVENUE AND DRIVE ARE SHOWN ON RECORD OF SURVEY MAP 2932, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 17, 1952; THENCE ALONG THE CENTER LINE OF SAID PEPPER DRIVE, NORTH 89°47'53" EAST 642.40 FEET; THENCE NORTH 1649.90 FEET TO A 53" EAST 642.40 FEET; THENCE NORTH 1649.90 FEET TO A POINT IN THE NORTHERLY LINE OF SAID TRACT 5 THENCE ALONG SAID NORTHERLY LINE SOUTH 89°51'00" WEST 643.88 FEET; THENCE SOUTH 0°03' EAST TO AND ALONG THE CENTERLINE OF 00" WEST 643.88 FEET; THENCE SOUTH 0°03' EAST TO AND ALONG THE CENTERLINE OF MAGNOLIA AVENUE, 1650.45 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM ANY PORTION THEREOF LOCATED WITHIN ANY PUBLIC STREETS OR AVENUES, AS EXISTED ON SEPTEMBER 11, 1939.

ALSO EXCEPTING THEREFROM THAT PORTION THEREOF DESCRIBED IN DEED TO THE STATE OF CALIFORNIA FOR FREEWAY PURPOSES RECORDED MARCH 22, 1960 AS FILE PAGE 58635 IN SERIES 1 BOOK 1960 OF OFFICIAL RECORDS.

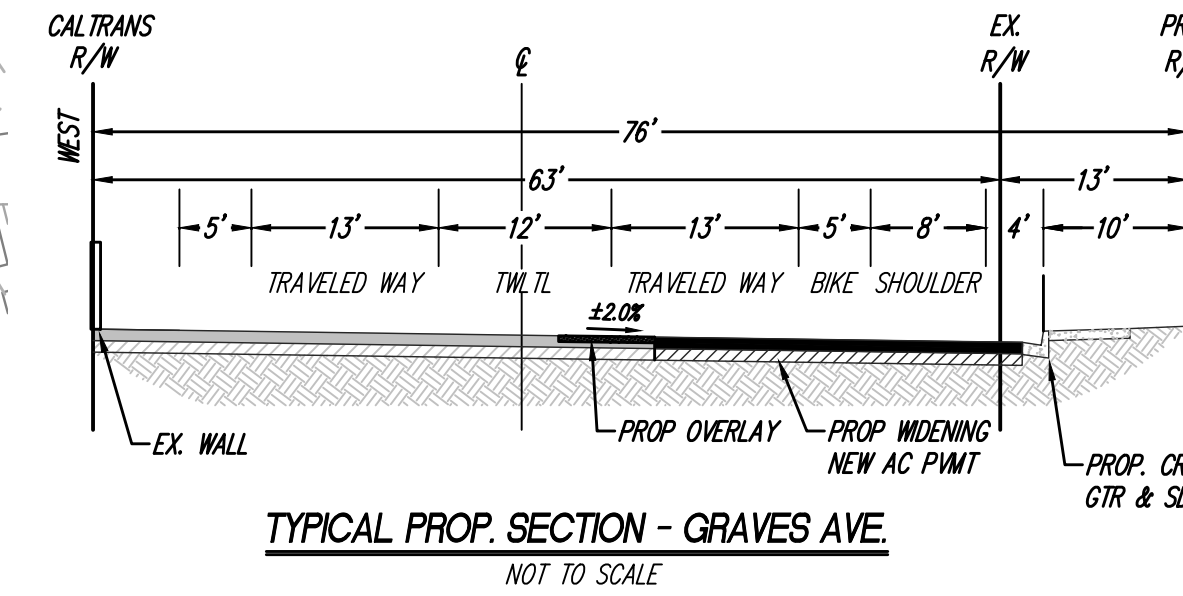
EASEMENT NOTES:

AN EASEMENT FOR PUBLIC UTILITIES, INGRESS, EGRESS AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 08, 1930 IN BOOK 1807 OF DEEDS, PAGE 342. IN FAVOR OF: SAN DIEGO GAS AND ELECTRIC COMPANY

AN EASEMENT FOR PUBLIC UTILITIES, INGRESS, EGRESS AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 08, 1930 IN BOOK 1807 OF DEEDS, PAGE 342. IN FAVOR OF: SAN DIEGO GAS AND ELECTRIC COMPANY

PUBLIC DISTRICTS AND UTILITIES

GAS AND ELECTRIC	SDG&E
TELEPHONE	ATT
CABLE TV	COX
FIRE PROTECTION	CITY OF SANTEE FIRE DEPARTMENT
WATER	PAIDRE DAM
SEWER	PAIDRE DAM
SCHOOL DISTRICT	SANTEE SCHOOL DISTRICT GROSSMONT UNION HIGH SCHOOL DIST.



LEGEND:

ITEM	SYMBOL
EXISTING SPOT ELEVATIONS	385.00
EXISTING CONTOUR	385
EXISTING GAS MAIN	G-W
EXISTING WATER LINE	W
EXISTING SEWER LINE	S
EXISTING FIRE HYDRANT ASSEMBLY	Hydrant symbol
EXISTING STORM DRAIN	SD symbol
EXISTING STORM DRAIN INLET	SD Inlet symbol
EXISTING STREET LIGHT	Street Light symbol
EXISTING CURB & GUTTER	C&G symbol
EXISTING DRAINAGE PATTERN	Drainage symbol
EXISTING PCC PAVT.	PCC symbol
EXISTING WATER METER	Water Meter symbol
CENTERLINE	Centerline symbol
RIGHT OF WAY LINE	R/W symbol
PROPERTY/BOUNDARY LINE	Property line symbol
DEDICATION/EASEMENT LINE	Dedication line symbol
PROPOSED BIOPRETENTION BASIN	Basin symbol
PROPOSED BUILDING (PHASE 2)	Building symbol
PROPOSED CUT / FILL LIMITS	Cut/Fill symbol
PROPOSED CUT / FILL SLOPES	Slopes symbol
PROPOSED STORM DRAIN	SD symbol
PROPOSED ENERGY DISSIPATION RIP RAP	Rip Rap symbol
PROPOSED DRAINAGE ARROWS	Arrows symbol
PROPOSED PCC BROW DITCH (SDRS D-75 TYPE B)	Brow Ditch symbol
PROPOSED SD CLEANOUT	Cleanout symbol
PROPOSED CURB & GUTTER (SDRS G-02)	C&G symbol
PROPOSED CURB RAMP (SDRS G-31)	Curb Ramp symbol
PROPOSED PARKING STALLS STRIPING	Striping symbol
PROPOSED COVERED TRASH ENCLOSURE	Trash Enclosure symbol
PROPOSED PVT. WATER LINE	Pvt. Water Line symbol
PROPOSED PVT. FIRE SERVICE LINE	Pvt. Fire Line symbol
PROPOSED PVT. FIRE HYDRANT ((2) 2.5" & (1) 4" PORTS)	Pvt. Hydrant symbol
PROPOSED FIRE SERVICE BACKFLOW (RPDA)	RPDA symbol
PROPOSED PROTECTIVE BOLLARD	Bollard symbol
PROPOSED FIRE SERVICE CONNECTION	Fire Conn. symbol
PROPOSED WATER SERVICE	Water Service symbol
PROPOSED WATER BACKFLOW (RPDA)	RPDA symbol
PROPOSED SEWER LATERAL	Sewer Lateral symbol
PROPOSED SD INLET	SD Inlet symbol
PROPOSED AA CLEANOUT (SDRS D-09)	Cleanout symbol
PROPOSED CURB OUTLET (SDRS D-25A)	Curb Outlet symbol
PROPOSED CONCRETE SIDEWALK (SDRS G-07)	Sidewalk symbol
PROPOSED CONCRETE PAVEMENT	Pavement symbol
PROPOSED GRADEBREAK	Gradebreak symbol
PROPOSED CMU WALL	CMU Wall symbol
PROPOSED 4' WIDE RIBBON GUTTER	Ribbon Gutter symbol
PROPOSED SD INLET	SD Inlet symbol

BENCH MARK

DESCRIPTION: CITY OF SANTEE STATION "1083" PER R/S 11252 BEING A 3.5" BRASS DISC STAMPED "US COAST AND GEODETIC SURVEY BM G281 1955"
ELEVATION: 406.68' (MSL/NGVD2011) (RAISED +2.240')

GRADING

CUT (TO FINISH SURFACE):	5,415 CY
FILL (TO FINISH SURFACE):	14,385 CY
UNDERCUTS:	4,520 CY
IMPORT:	4,450 CY
REMEDIAL:	UNKNOWN CY

PROJECT DATA:

SITE ADDRESS	8353 GRAVES AVENUE (VACANT LOT) SANTEE, CA 92071
APN	387-061-11 & 387-061-12
SITE AREA (GROSS)	219,721 SQ. FT. (5.044 ACRES)
SITE AREA (NET)	211,072 SQ. FT. (4.846 ACRES)
R/W DEDICATION	8,649 SQ. FT. (0.198 ACRES)

PLANS PREPARED BY:
OMEGA ENGINEERING CONSULTANTS, INC.
4320 Viewridge Avenue, Suite C, San Diego, CA 92123
T: 858.634.8620 | F: 858.634.8627 | OEC Project Number 0430



Sean M. Savage
SEAN M. SAVAGE R.C.E. 75677

9/13/2024
DATE

CITY OF SANTEE

PERMIT NO: _____

APPLICANT: CAMERON BROTHERS CONSTRUCTION CO., L.P.
ASSESSORS PARCEL NO(S): 387-061-11-00 & 387-061-12-00
REQUEST: _____

PC RESOLUTION NO.: _____
CC RESOLUTION NO.: _____
ORDINANCE NO.: _____

C-4

CONCEPTUAL GRADING SITE PLAN - PHASE 2

GRAVES AVENUE RV STORAGE
8353 GRAVES AVENUE, SANTEE, CA 92071

OWNER/DEVELOPER:

CAMERON BROTHERS CONSTRUCTION CO., L.P., A CALIFORNIA LIMITED PARTNERSHIP PER GRANT DEED RECORDED MARCH 01, 2018 AS DOC # 2018-0081697 & DOC # 2018-0081704.

LEGAL DESCRIPTION

APN 387-061-11

THAT PORTION OF TRACT 5 OF THE HILL ESTATES IN RANCHO EL CAJON, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SET OFF TO THE HEIRS OF JAMES HILL, DECEASED ACCORDING TO THE PARTITION MAP OF THE LAND OF SAID HILL ESTATE MADE BY M. G. WHEELER IN 1874 AND FILED IN THE COUNTY CLERK'S OFFICE OF SAN DIEGO COUNTY, S OFFICE OF SAN DIEGO COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTER LINE OF MAGNOLIA AVENUE WITH THE CENTER LINE OF PEPPER DRIVE (FORMERLY KNOWN AS CENTRAL AVENUE) AS SAID AVENUE AND DRIVE ARE SHOWN ON RECORD OF SURVEY MAP NO. 2932, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY OCTOBER 17, 1952; THENCE ALONG THE CENTER LINE OF SAID PEPPER DRIVE NORTH 89°47'53" EAST 642.40 FEET; THENCE NORTH 1649.90 53" EAST 642.40 FEET; THENCE NORTH 1649.90 FEET TO A POINT IN NORTHERLY LINE OF SAID TRACT 5; THENCE ALONG SAID NORTHERLY LINE SOUTH 89°51'00" WEST 642.88 FEET; THENCE SOUTH 0°03' EAST TO AND ALONG THE CENTERLINE OF SAID MAGNOLIA AVENUE 1650.45 FEET TO THE POINT OF BEGINNING.

EXCEPTING FROM SAID PROPERTY THE SOUTHERLY 995.01 FEET THEREOF.

ALSO EXCEPTING THEREFROM THE NORTHERLY 276.31 FEET THEREOF.

AND ALSO EXCEPTING THEREFROM ANY PORTION THEREOF LOCATED WITHIN ANY PUBLIC STREET OR AVENUE.

ALSO EXCEPTING THEREFROM THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF THAT PARCEL OF LAND CONVEYED TO GEORGE J. PERMIGANO, ET UX, BY DEED RECORDED DECEMBER 31, 1954 IN BOOK 5480, PAGE 507 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG THE NORTHERLY LINE OF SAID PERMIGANO LAND, NORTH 89°56'08" EAST, 307.07 FEET; THENCE FROM A TANGENT WHICH BEARS SOUTH 08° EAST, 307.07 FEET; THENCE FROM A TANGENT WHICH BEARS SOUTH 85°24'0" WEST, ALONG A CURVE TO THE LEFT WITH A RADIUS OF 1,955 FEET, THROUGH AN ANGLE OF 4°35'04", A DISTANCE OF 156.43 FEET; THENCE SOUTH 41°36' WEST, 313.69 FEET; 36" WEST, 313.69 FEET; THENCE SOUTH 301°18' WEST, 190.21 FEET TO THE SOUTHEAST CORNER OF THAT PARCEL OF 18" WEST, 190.21 FEET TO THE SOUTHEAST CORNER OF THAT PARCEL OF LAND DESCRIBED IN DEED TO THE STATE OF CALIFORNIA, RECORDED MARCH 22, 1960, AS FILED NO. 58635, IN SERIES 1, BOOK 1960, OF OFFICIAL RECORDS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY; THENCE ALONG THE EASTERLY LINE OF LAST SAID PARCEL, NORTH 02°14' WEST, 280 FEET TO THE NORTHEAST CORNER THEREOF; THENCE 14" WEST, 280 FEET TO THE NORTHEAST CORNER THEREOF; THENCE ALONG THE NORTHERLY LINE OF LAST SAID PARCEL SOUTH 89°56'08" WEST, 255.02 FEET TO 08" WEST, 255.02 FEET TO THE NORTHEAST CORNER THEREOF; LAST SAID CORNER BEING ALSO A SOUTHWEST CORNER OF SAID PERMIGANO LAND, NORTH 0°03'52" WEST, 378.05 FEET TO THE POINT OF BEGINNING. 52" WEST, 378.05 FEET TO THE POINT OF BEGINNING.

APN 387-061-12

HAT PART OF THE NORTHERLY 280 FEET OF THE SOUTHERLY 995.01 FEET OF THAT PORTION OF TRACT 5 OF THE HILL ESTATE IN THE RANCHO EL CAJON, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SET OFF TO THE HEIRS OF JAMES HILL, DECEASED, ACCORDING TO THE PARTITION MAP OF THE LANDS OF SAID HILL ESTATES, MADE BY M. G. WHEELER IN 1874, AND ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DESCRIBED OF RECORD AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTER LINE OF MAGNOLIA AVENUE WITH THE CENTER LINE OF PEPPER DRIVE (FORMERLY KNOWN AS CENTRAL AVENUE) AS SAID AVENUE AND DRIVE AS SHOWN ON RECORD OF SURVEY MAP 2932, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 17, 1952; THENCE ALONG THE CENTER LINE OF SAID PEPPER DRIVE, NORTH 89°47'53" EAST 642.40 FEET; THENCE NORTH 1649.90 FEET TO A 53" EAST 642.40 FEET; THENCE NORTH 1649.90 FEET TO A POINT IN THE NORTHERLY LINE OF SAID TRACT 5 THENCE ALONG SAID NORTHERLY LINE SOUTH 89°51'00" WEST 643.88 FEET; THENCE SOUTH 0°03' EAST TO AND ALONG THE CENTERLINE OF 00" WEST 643.88 FEET; THENCE SOUTH 0°03' EAST TO AND ALONG THE CENTERLINE OF 00" WEST 643.88 FEET; THENCE SOUTH 0°03' EAST TO AND ALONG THE CENTERLINE OF EAST TO AND ALONG THE CENTERLINE OF MAGNOLIA AVENUE, 1650.45 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM ANY PORTION THEREOF LOCATED WITHIN ANY PUBLIC STREETS OR AVENUES, AS EXISTED ON SEPTEMBER 11, 1939.

ALSO EXCEPTING THEREFROM THAT PORTION THEREOF DESCRIBED IN DEED TO THE STATE OF CALIFORNIA FOR FREEWAY PURPOSES RECORDED MARCH 22, 1960 AS FILE PAGE 58635 IN SERIES 1 BOOK 1960 OF OFFICIAL RECORDS.

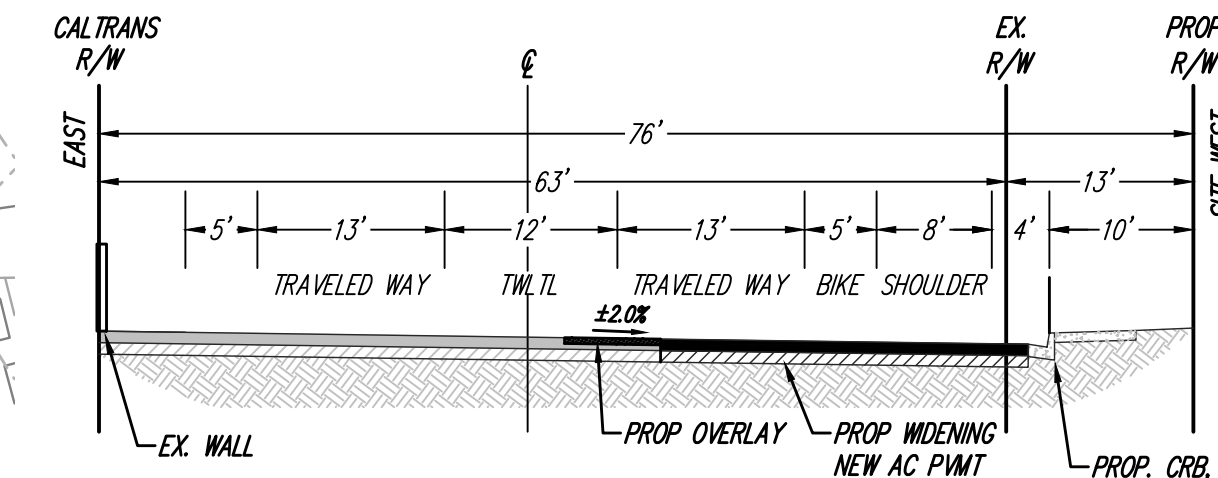
EASEMENT NOTES:

AN EASEMENT FOR PUBLIC UTILITIES, INGRESS, EGRESS AND INCIDENTAL PURPOSES, RECORDED DECEMBER 15, 1943 AS BOOK 1597, PAGE 296 OF OFFICIAL RECORDS. IN FAVOR OF: SAN DIEGO GAS AND ELECTRIC COMPANY

AN EASEMENT FOR PUBLIC UTILITIES, INGRESS, EGRESS AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 08, 1930 IN BOOK 1807 OF DEEDS, PAGE 342. IN FAVOR OF: SAN DIEGO GAS AND ELECTRIC COMPANY

PUBLIC DISTRICTS AND UTILITIES

- GAS AND ELECTRIC. SDG&E
- TELEPHONE. ATT
- CABLE TV. COX
- FIRE PROTECTION. CITY OF SANTEE FIRE DEPARTMENT
- WATER. PADRE DAM
- SEWER. PADRE DAM
- SCHOOL DISTRICT. SANTEE SCHOOL DISTRICT
GROSSMONT UNION HIGH SCHOOL DIST.



LEGEND:

- ITEM SYMBOL
- EXISTING SPOT ELEVATIONS. 385.00
 - EXISTING CONTOUR. 385
 - EXISTING GAS MAIN. G-G
 - EXISTING WATER LINE. W-W
 - EXISTING SEWER LINE. S-S
 - EXISTING FIRE HYDRANT ASSEMBLY.
 - EXISTING STORM DRAIN.
 - EXISTING STORM DRAIN INLET.
 - EXISTING STREET LIGHT.
 - EXISTING CURB & GUTTER.
 - EXISTING DRAINAGE PATTERN.
 - EXISTING PCC PAVT.
 - EXISTING WATER METER.
 - CENTERLINE.
 - RIGHT OF WAY LINE.
 - PROPERTY/BOUNDARY LINE.
 - DEDICATION/EASEMENT LINE.
 - PROPOSED BIOPRETENTION BASIN.
 - PROPOSED BUILDING (PHASE 2).
 - PROPOSED CUT / FILL LIMITS.
 - PROPOSED CUT / FILL SLOPES.
 - PROPOSED STORM DRAIN.
 - PROPOSED ENERGY DISSIPATION RIP RAP.
 - PROPOSED DRAINAGE ARROWS.
 - PROPOSED PCC BROW DITCH (SDRSO D-75 TYPE B).
 - PROPOSED SD CLEANOUT.
 - PROPOSED CURB & GUTTER (SDRSO G-02).
 - PROPOSED CURB RAMP (SDRSO G-31).
 - PROPOSED PARKING STALLS STRIPING.
 - PROPOSED COVERED TRASH ENCLOSURE.
 - PROPOSED PVT. WATER LINE.
 - PROPOSED PVT. FIRE SERVICE LINE.
 - PROPOSED PVT. FIRE HYDRANT (2) 2.5" & (1) 4" PORTS).
 - PROPOSED FIRE SERVICE BACKFLOW (RPDA).
 - PROPOSED PROTECTIVE BOLLARD.
 - PROPOSED FIRE SERVICE CONNECTION.
 - PROPOSED WATER SERVICE.
 - PROPOSED WATER BACKFLOW (RPDA).
 - PROPOSED SEWER LATERAL.
 - PROPOSED SD INLET.
 - PROPOSED A4 CLEANOUT (SDRSO D-09).
 - PROPOSED CURB OUTLET (SDRSO D-25A).
 - PROPOSED CONCRETE SIDEWALK (SDRSO G-07).
 - PROPOSED CONCRETE PAVEMENT.
 - PROPOSED GRADEBREAK.
 - PROPOSED CMU WALL.
 - PROPOSED 4" WIDE RIBBON GUTTER.
 - PROPOSED SD INLET.

BENCH MARK:


DESCRIPTION: CITY OF SANTEE STATION "1083" PER R/S 11252 BEING A 3.5" BRASS DISC STAMPED "US COAST AND GEODETIC SURVEY BM C281 1955" ELEVATION: 406.68' (MSL/NGVD29) (RAISED +2.240')

GRADING:

- CUT (TO FINISH SURFACE): 5,415 CY
- FILL (TO FINISH SURFACE): 14,385 CY
- UNDERCUTS: 4,520 CY
- IMPORT: 4,450 CY
- REMEDIAL: UNKNOWN CY

PROJECT DATA:

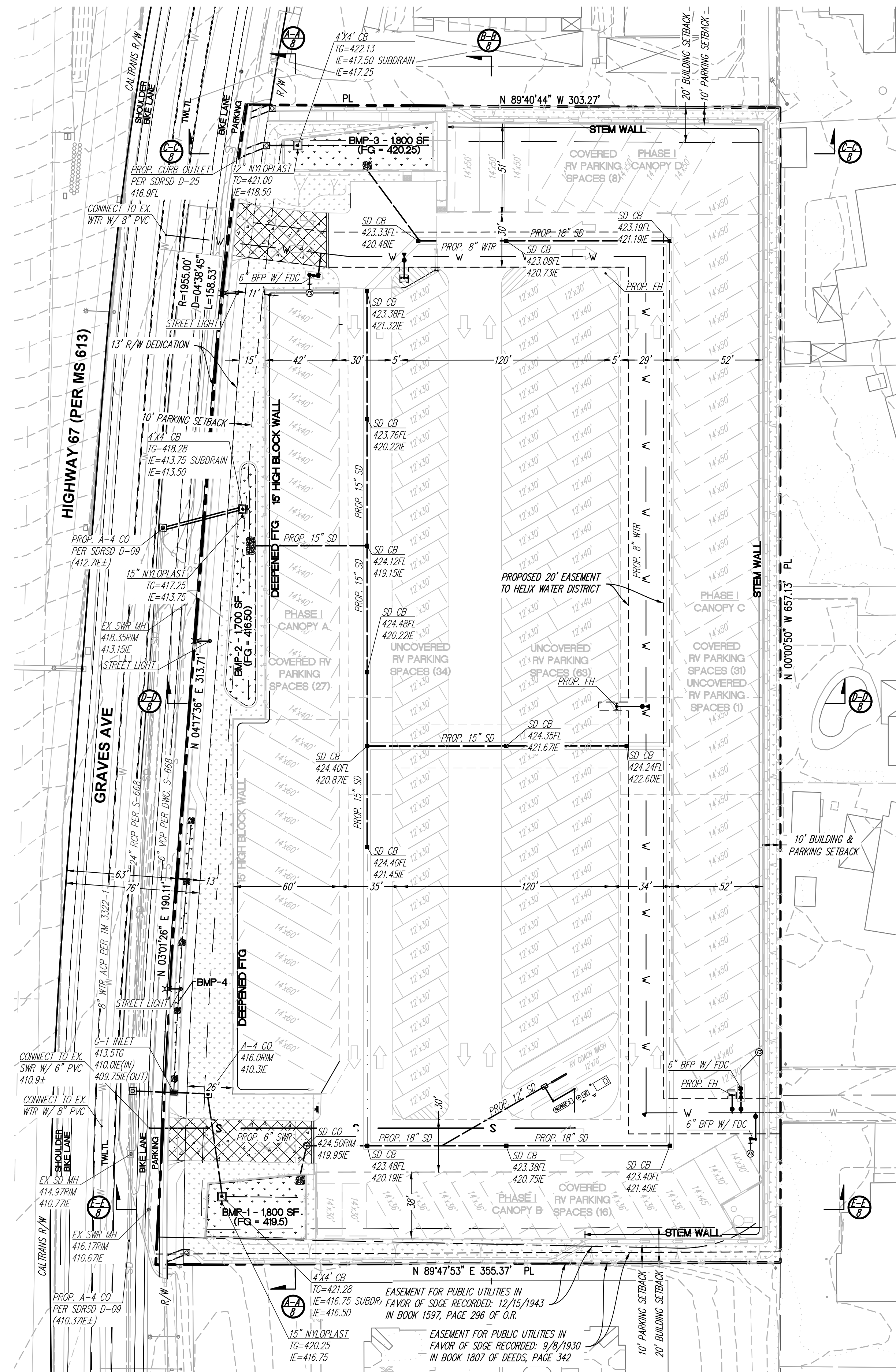
- SITE ADDRESS: 8355 GRAVES AVENUE (VACANT LOT) SANTEE, CA 92071
- APN: 387-061-11 & 387-061-12
- SITE AREA (GROSS): 219,721 SQ. FT. (5.04 ACRES)
- SITE AREA (NET): 211,072 SQ. FT. (4.85 ACRES)
- R/W DEDICATION: 8,649 SQ. FT. (0.23 ACRES)

PLANS PREPARED BY: OMEGA ENGINEERING CONSULTANTS, INC. 4320 Viewridge Avenue, Suite C, San Diego, CA 92123 T: 858.634.8620 F: 858.634.8627 [OEC Project Number 0430]		CITY OF SANTEE PERMIT NO: _____	
APPLICANT: CAMERON BROTHERS CONSTRUCTION CO., L.P. ASSESSORS PARCEL NO(S): 387-061-11-00 & 387-061-12-00 REQUEST: _____		PC RESOLUTION NO.: _____ CC RESOLUTION NO.: _____ ORDINANCE NO.: _____	
 SEAN M. SAVAGE R.C.E. 75677 DATE 9/13/2024		C-5	

DATE: 5/29/2024 6:08:38 PM BY: MITCHELL SMITH FILENAME: P:\DWG\OMEGA\0430\CAMERON GRAVES AVE\ACAD\03P\0430-COP-05-GRV-PH2.DWG

CONCEPTUAL UTILITY SITE PLAN - PHASE 1

GRAVES AVENUE RV STORAGE
8353 GRAVES AVENUE, SANTEE, CA 92071

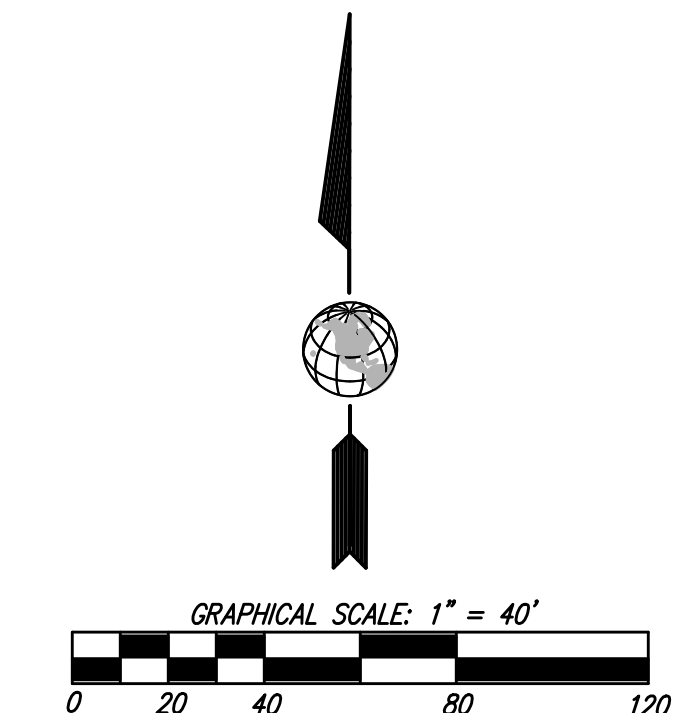


LEGEND:

ITEM	SYMBOL
EXISTING SPOT ELEVATIONS	385.00
EXISTING CONTOUR	385
EXISTING GAS MAIN	G 6"
EXISTING WATER LINE	W 12"
EXISTING SEWER LINE	S 12"
EXISTING FIRE HYDRANT ASSEMBLY	Hydrant symbol
EXISTING STORM DRAIN	SD symbol
EXISTING STORM DRAIN INLET	SD Inlet symbol
EXISTING STREET LIGHT	Street Light symbol
EXISTING CURB & GUTTER	C&G symbol
EXISTING DRAINAGE PATTERN	Drainage symbol
EXISTING PCC PAVT.	PCC symbol
EXISTING WATER METER	Water Meter symbol
CENTERLINE	Centerline symbol
RIGHT OF WAY LINE	ROW symbol
PROPERTY/BOUNDARY LINE	Property symbol
PROPOSED BIORETENTION BASIN	Basin symbol
PROPOSED BUILDING (PHASE 2)	Building symbol
PROPOSED CUT / FILL LIMITS	Cut/Fill symbol
PROPOSED CUT / FILL SLOPES	Slopes symbol
PROPOSED STORM DRAIN	SD symbol
PROPOSED ENERGY DISSIPATION RIP RAP	Rip Rap symbol
PROPOSED DRAINAGE ARROWS	Arrows symbol
PROPOSED PCC BROW DITCH (D-75 TYPE B)	Brow Ditch symbol
PROPOSED SD CLEANOUT	Cleanout symbol
PROPOSED CURB & GUTTER	C&G symbol
PROPOSED CURB RAMP	Curb Ramp symbol
PROPOSED PARKING STALLS STRIPING	Striping symbol
PROPOSED COVERED TRASH ENCLOSURE	Trash Enclosure symbol
PROPOSED PVT. WATER LINE	Pvt. Water symbol
PROPOSED PVT. FIRE SERVICE LINE	Pvt. Fire symbol
PROPOSED PVT. FIRE HYDRANT ((2) 2.5" & (1) 4" PORTS)	Pvt. Hydrant symbol
PROPOSED FIRE SERVICE BACKFLOW (RPDA)	RPDA symbol
PROPOSED PROTECTIVE BOLLARD	Bollard symbol
PROPOSED FIRE SERVICE CONNECTION	Fire Conn. symbol
PROPOSED FDC/PVT.	FDC symbol
PROPOSED WATER SERVICE	Water Serv. symbol
PROPOSED WATER BACKFLOW (RPDA)	RPDA symbol
PROPOSED SEWER LATERAL	Sewer Lat. symbol
PROPOSED SD INLET	SD Inlet symbol
PROPOSED CONCRETE SIDEWALK	Sidewalk symbol
PROPOSED CONCRETE PAVEMENT	Pavement symbol
PROPOSED GRADEBREAK	Gradebreak symbol
PROPOSED CMU WALL	CMU Wall symbol
PROPOSED WATER VALVE (PVT)	Water Valve symbol

PUBLIC DISTRICTS AND UTILITIES

GAS AND ELECTRIC	SOG&E
TELEPHONE	ATT
CABLE TV	COX
FIRE PROTECTION	CITY OF SANTEE FIRE DEPARTMENT
WATER	PADRE DAM
SEWER	PADRE DAM
SCHOOL DISTRICT	SANTEE SCHOOL DISTRICT GROSSMONT UNION HIGH SCHOOL DIST.



PLANS PREPARED BY:
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4320 Viewridge Avenue, Suite C, San Diego, CA 92123
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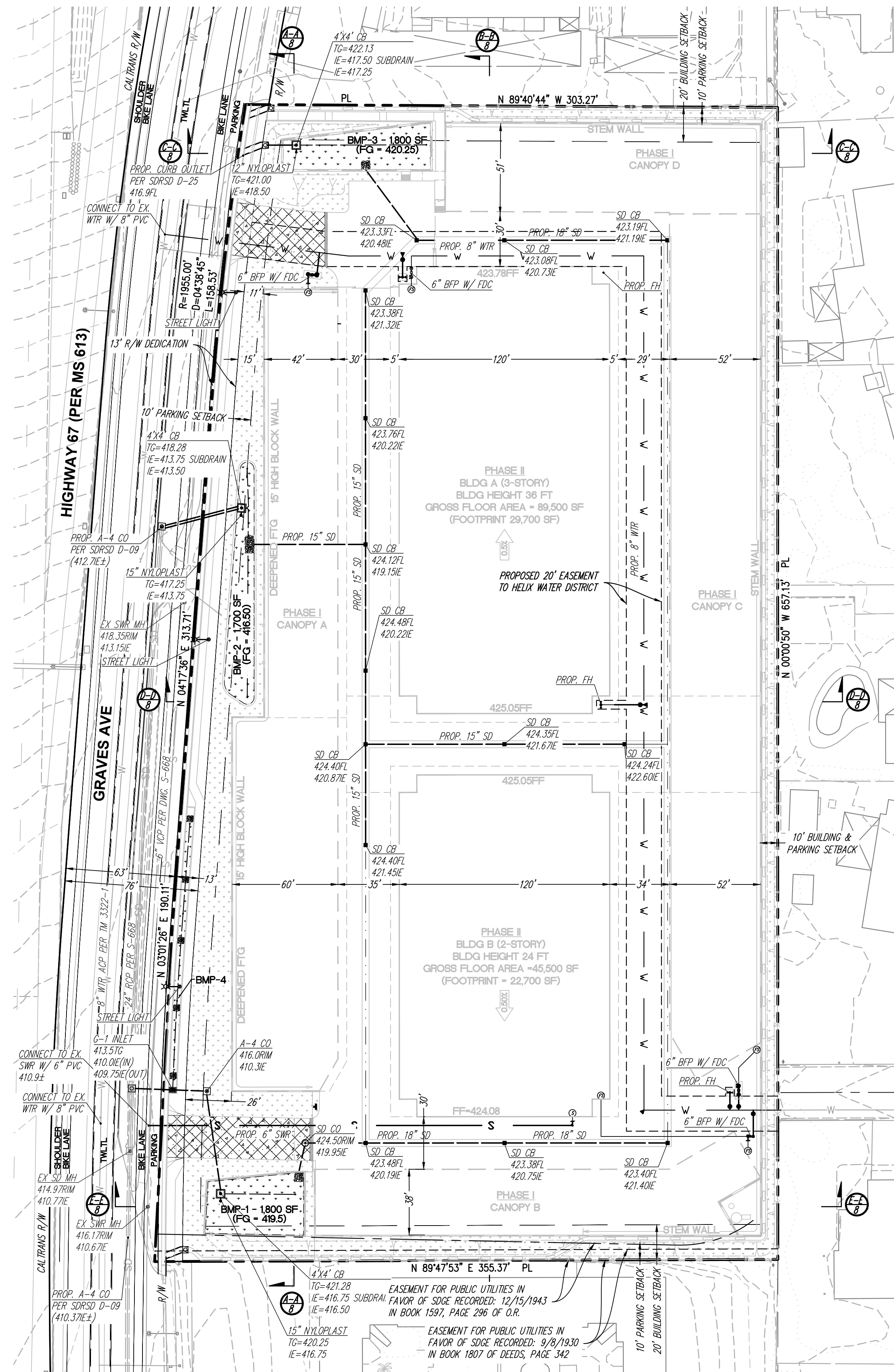
Signature of Sean M. Savage
SEAN M. SAVAGE R.C.E. 75677 DATE 9/13/2024

CITY OF SANTEE	
PERMIT NO: _____	
APPLICANT: CAMERON BROTHERS CONSTRUCTION CO., L.P.	
ASSESSORS PARCEL NO(S): 387-061-11-00 & 387-061-12-00	
REQUEST: _____	
PC RESOLUTION NO: _____	C-6
CC RESOLUTION NO: _____	
ORDINANCE NO: _____	

DATE: 5/29/2024 6:09:27 PM BY: MITCHELL SMITH FILENAME: P:\DMG\OMEGA\0430 CAMERON GRAVES AVE\ACAD\03P1\0430-COP-06-UTILITY-PH1.DWG

CONCEPTUAL UTILITY SITE PLA - PHASE 2

GRAVES AVENUE RV STORAGE
8353 GRAVES AVENUE, SANTEE, CA 92071

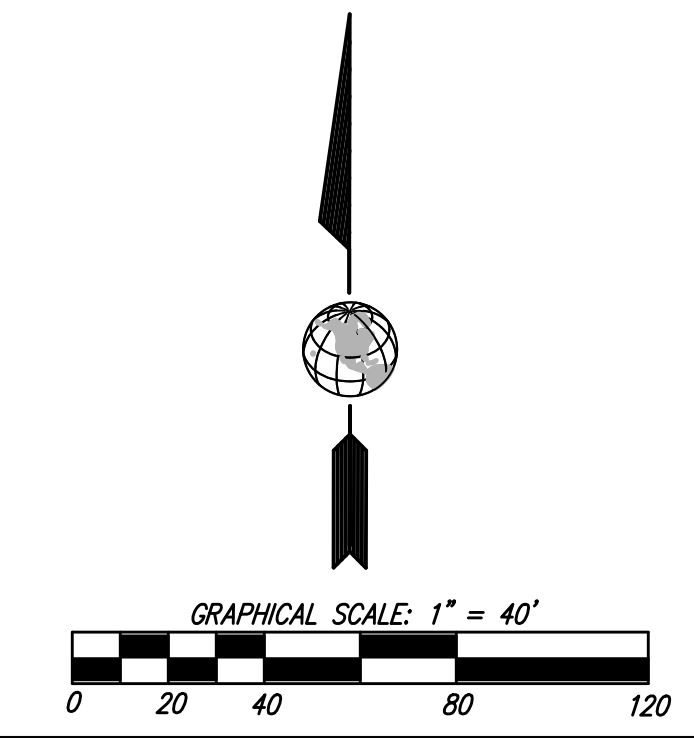


LEGEND:

ITEM	SYMBOL
EXISTING SPOT ELEVATIONS	385.00
EXISTING CONTOUR	385
EXISTING GAS MAIN	G 6"
EXISTING WATER LINE	W
EXISTING SEWER LINE	S
EXISTING FIRE HYDRANT ASSEMBLY	[Symbol]
EXISTING STORM DRAIN	[Symbol]
EXISTING STORM DRAIN INLET	[Symbol]
EXISTING STREET LIGHT	[Symbol]
EXISTING CURB & GUTTER	[Symbol]
EXISTING DRAINAGE PATTERN	[Symbol]
EXISTING PCC PAVT.	[Symbol]
EXISTING WATER METER	[Symbol]
CENTERLINE	[Symbol]
RIGHT OF WAY LINE	[Symbol]
PROPERTY/BOUNDARY LINE	[Symbol]
PROPOSED BIOPRETENTION BASIN	[Symbol]
PROPOSED BUILDING (PHASE 2)	[Symbol]
PROPOSED CUT / FILL LIMITS	[Symbol]
PROPOSED CUT / FILL SLOPES	[Symbol]
PROPOSED STORM DRAIN	[Symbol]
PROPOSED ENERGY DISSIPATION RIP RAP	[Symbol]
PROPOSED DRAINAGE ARROWS	[Symbol]
PROPOSED PCC BROW DITCH (D-75 TYPE B)	[Symbol]
PROPOSED SD CLEANOUT	[Symbol]
PROPOSED CURB & GUTTER	[Symbol]
PROPOSED CURB RAMP	[Symbol]
PROPOSED PARKING STALLS STRIPING	[Symbol]
PROPOSED COVERED TRASH ENCLOSURE	[Symbol]
PROPOSED PVT. WATER LINE	[Symbol]
PROPOSED PVT. FIRE SERVICE LINE	[Symbol]
PROPOSED PVT. FIRE HYDRANT ((2) 2.5" & (1) 4" PORTS)	[Symbol]
PROPOSED FIRE SERVICE BACKFLOW (RPDA)	[Symbol]
PROPOSED PROTECTIVE BOLLARD	[Symbol]
PROPOSED FIRE SERVICE CONNECTION	[Symbol]
PROPOSED WATER SERVICE	[Symbol]
PROPOSED WATER BACKFLOW (RPDA)	[Symbol]
PROPOSED SEWER LATERAL	[Symbol]
PROPOSED SD INLET	[Symbol]
PROPOSED A4 CLEANOUT	[Symbol]
PROPOSED CURB OUTLET	[Symbol]
PROPOSED CONCRETE SIDEWALK	[Symbol]
PROPOSED CONCRETE PAVEMENT	[Symbol]
PROPOSED GRADEBREAK	[Symbol]
PROPOSED CMU WALL	[Symbol]

PUBLIC DISTRICTS AND UTILITIES

GAS AND ELECTRIC	SDG&E
TELEPHONE	ATT
CABLE TV	COX
FIRE PROTECTION	CITY OF SANTEE FIRE DEPARTMENT
WATER	PADRE DAM
SEWER	PADRE DAM
SCHOOL DISTRICT	SANTEE SCHOOL DISTRICT GROSSMONT UNION HIGH SCHOOL DIST.



PLANS PREPARED BY:
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4320 Viewridge Avenue, Suite C, San Diego, CA 92123
T: 858.634.8620 | F: 858.634.8627 | [OEC Project Number 0430]



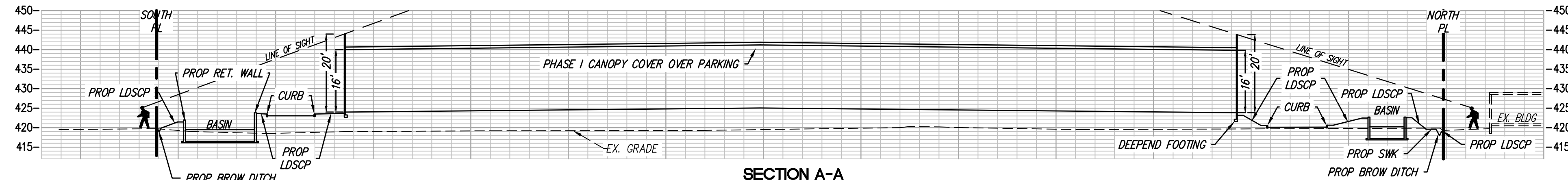
[Signature]
SEAN M. SAVAGE R.C.E. 75677 DATE 9/13/2024

CITY OF SANTEE	
PERMIT NO: _____	
APPLICANT: CAMERON BROTHERS CONSTRUCTION CO., L.P.	
ASSESSORS PARCEL NO(S): 387-061-11-00 & 387-061-12-00	
REQUEST: _____	
PC RESOLUTION NO: _____	C-7
CC RESOLUTION NO: _____	
ORDINANCE NO: _____	

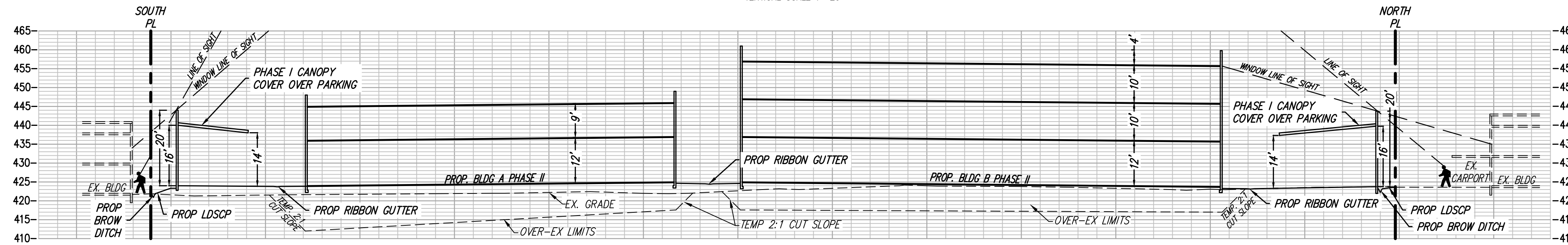
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CONCEPTUAL SECTIONS

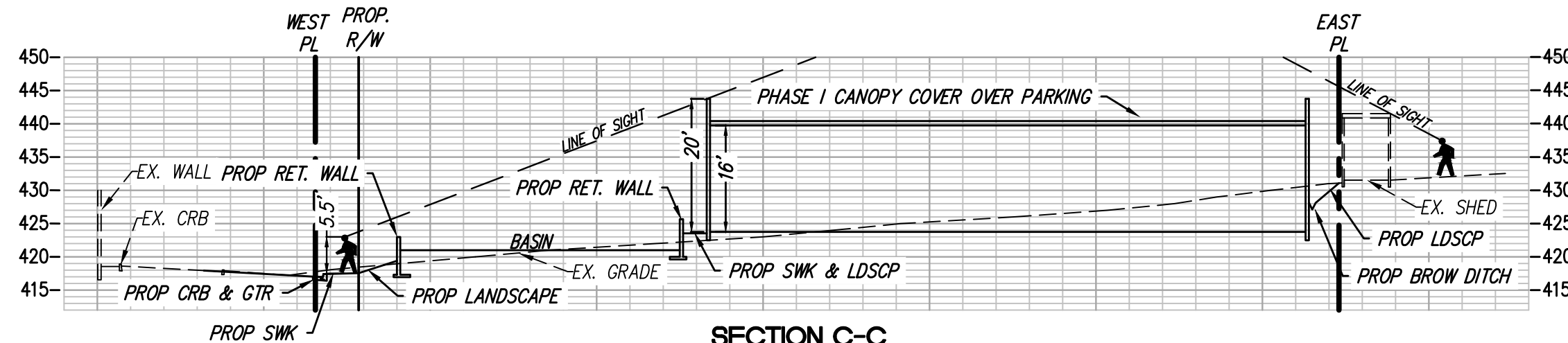
GRAVES AVENUE RV STORAGE
8353 GRAVES AVENUE, SANTEE, CA 92071



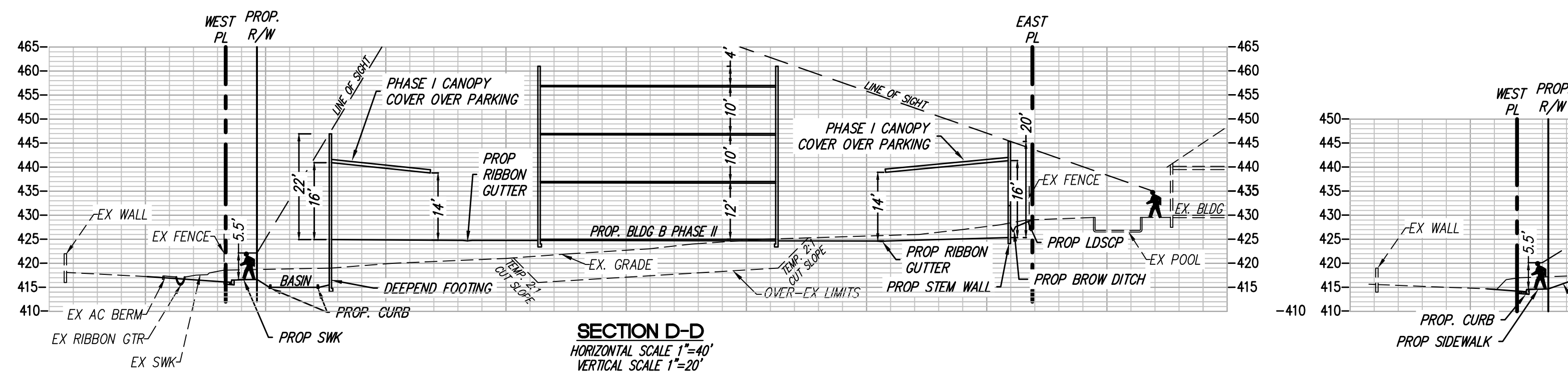
SECTION A-A
HORIZONTAL SCALE 1"=40'
VERTICAL SCALE 1"=20'



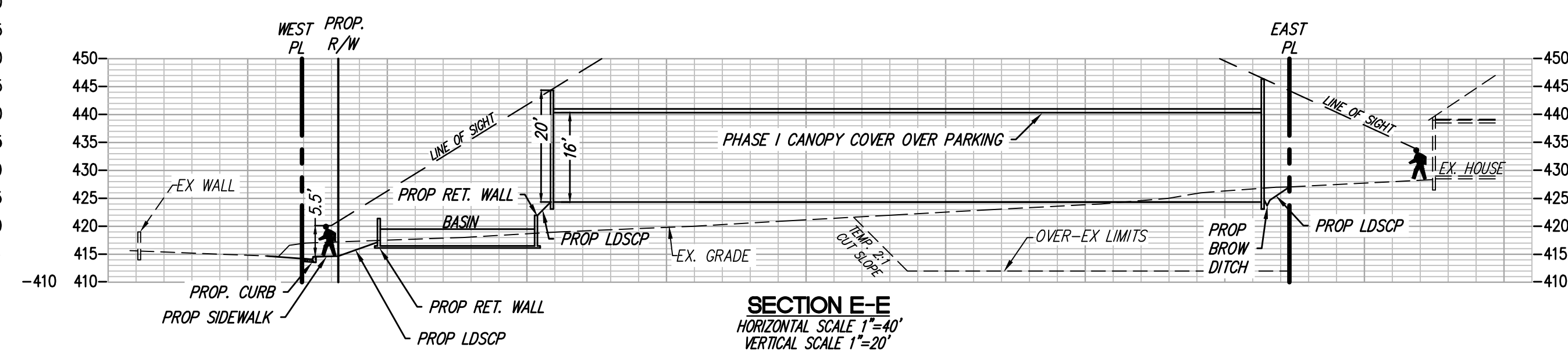
SECTION B-B
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VERTICAL SCALE 1"=20'



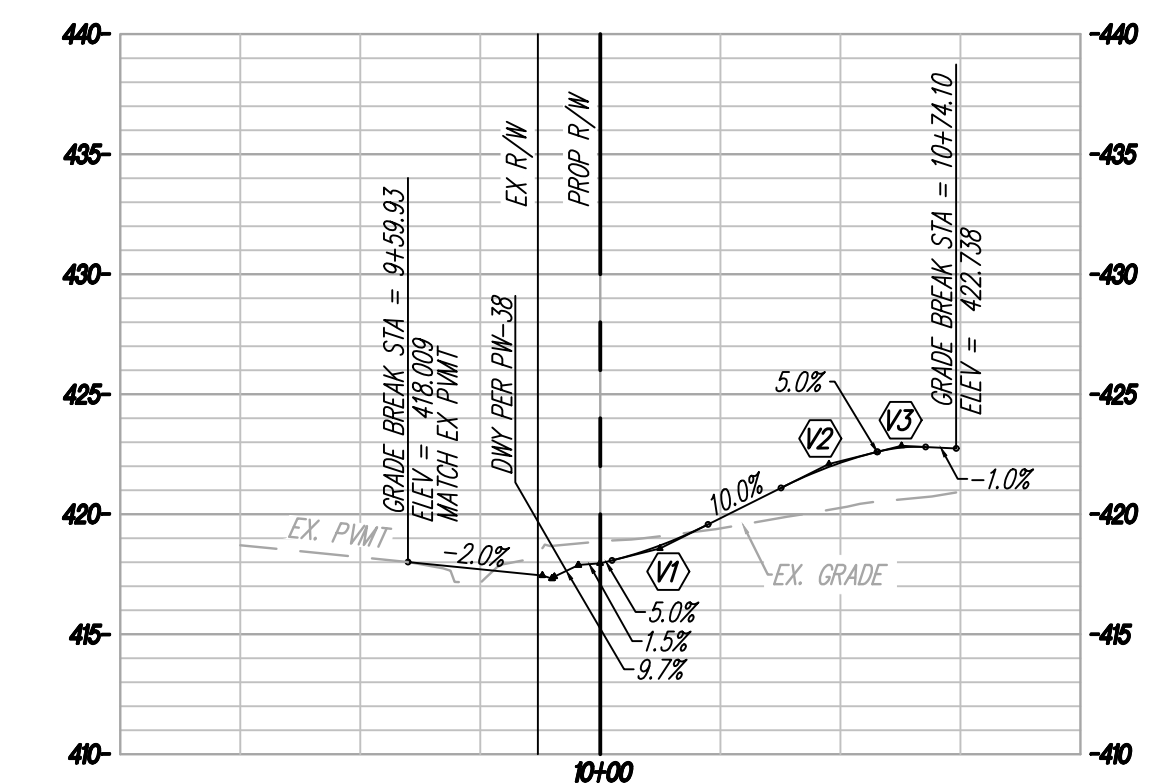
SECTION C-C
HORIZONTAL SCALE 1"=40'
VERTICAL SCALE 1"=20'



SECTION D-D
HORIZONTAL SCALE 1"=40'
VERTICAL SCALE 1"=20'

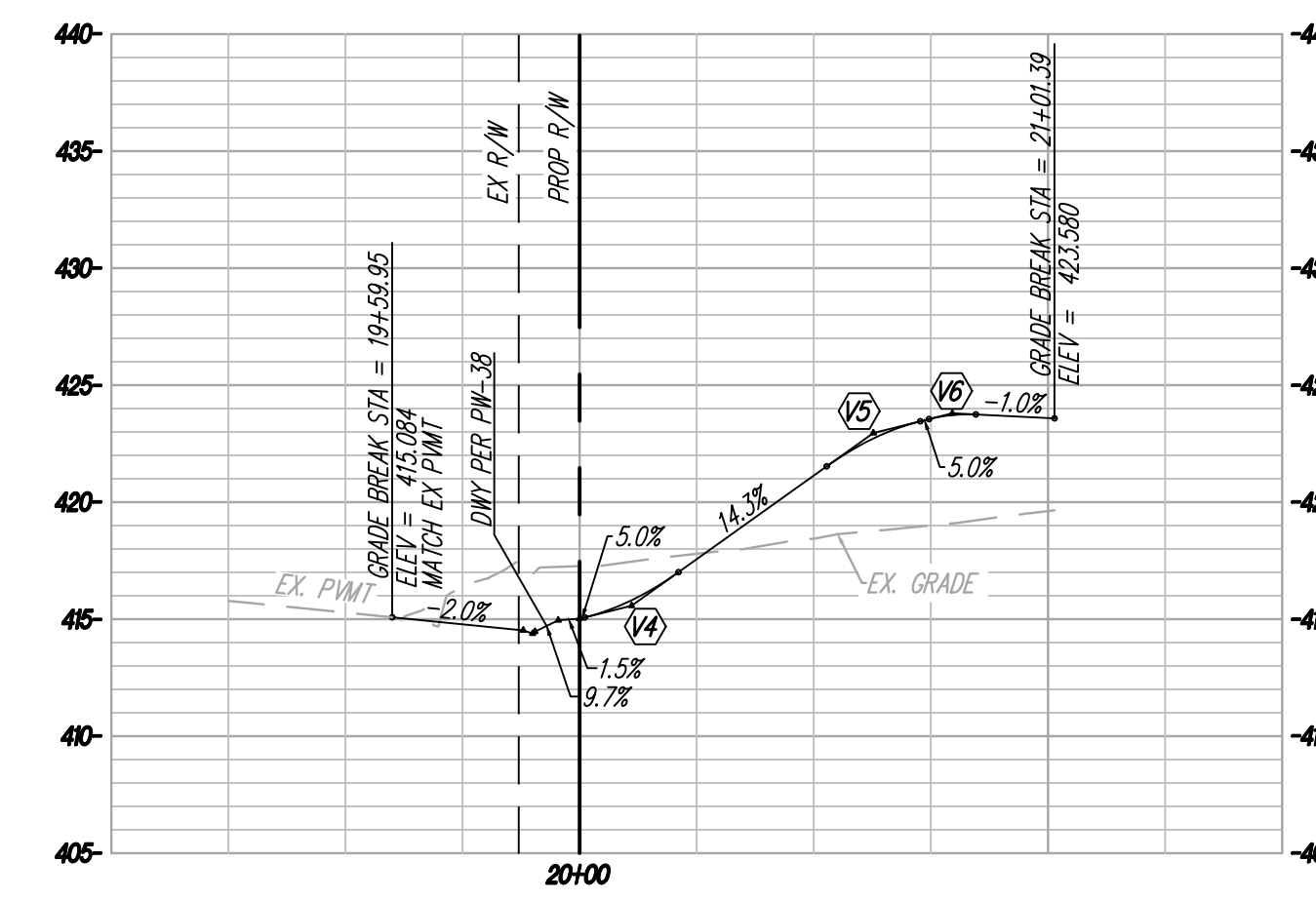


SECTION E-E
HORIZONTAL SCALE 1"=40'
VERTICAL SCALE 1"=20'



DRIVEWAY VERTICAL CURVE
HORIZONTAL SCALE 1"=40'
VERTICAL SCALE 1"=8'

VERTICAL CURVE DATA	
(V1)	PVI STA: 10+12.42
	PVI ELEV: 418.58
	K: 4.00
	LVC: 20.00
	BVC: 10+02.42
(V2)	PVI STA: 10+47.62
	PVI ELEV: 422.10
	K: 4.00
	LVC: 20.00
	BVC: 10+37.62
(V3)	PVI STA: 10+62.74
	PVI ELEV: 422.85
	K: 1.67
	LVC: 10.00
	BVC: 10+52.74

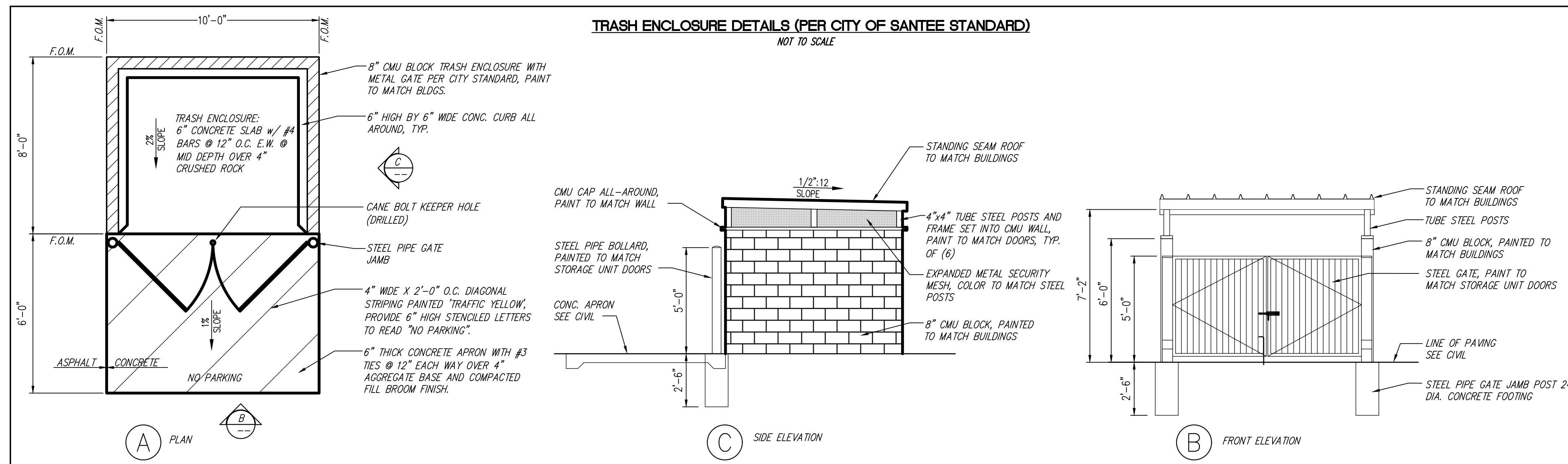


DRIVEWAY VERTICAL CURVE
HORIZONTAL SCALE 1"=40'
VERTICAL SCALE 1"=8'

VERTICAL CURVE DATA	
(V4)	PVI STA: 20+11.09
	PVI ELEV: 415.58
	K: 2.15
	LVC: 20.00
	BVC: 20+01.09
(V5)	PVI STA: 20+62.73
	PVI ELEV: 422.96
	K: 2.15
	LVC: 20.00
	BVC: 20+52.73
(V6)	PVI STA: 20+78.57
	PVI ELEV: 423.80
	K: 1.67
	LVC: 10.00
	BVC: 20+68.57

TRASH ENCLOSURE DETAILS (PER CITY OF SANTEE STANDARD)

NOT TO SCALE



PLANS PREPARED BY:
OMEGA ENGINEERING CONSULTANTS, INC.
4320 Viewridge Avenue, Suite C, San Diego, CA 92123
T: 858.634.8620 | F: 858.634.8627 [OEC Project Number 0430]

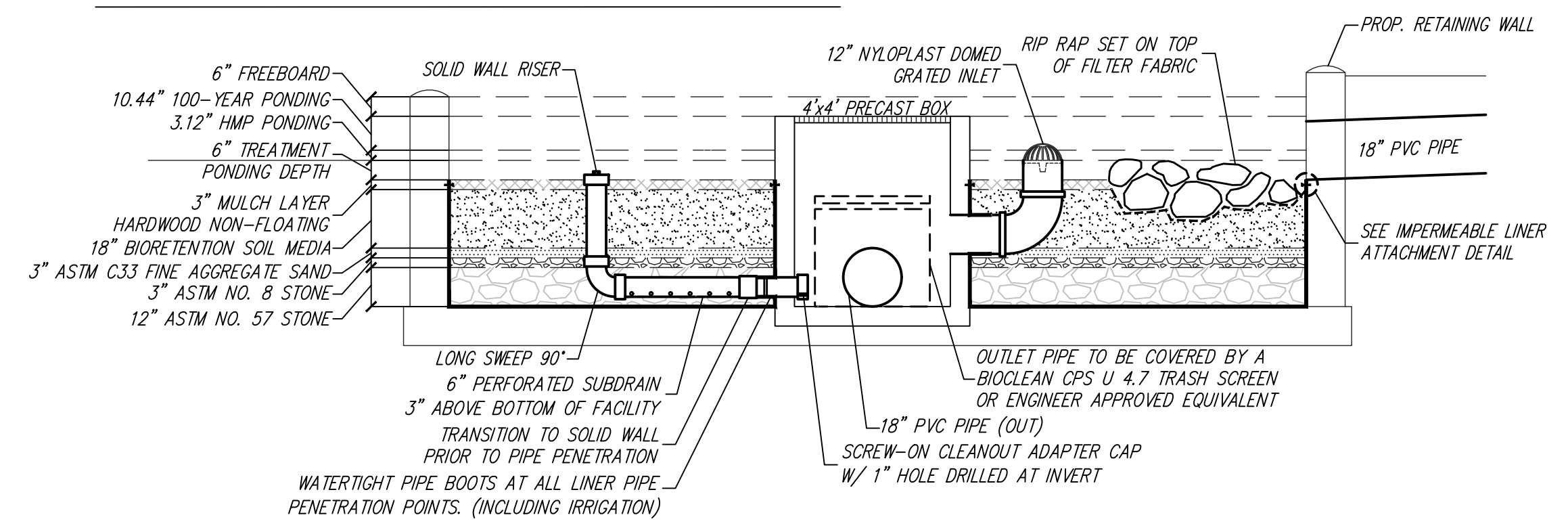
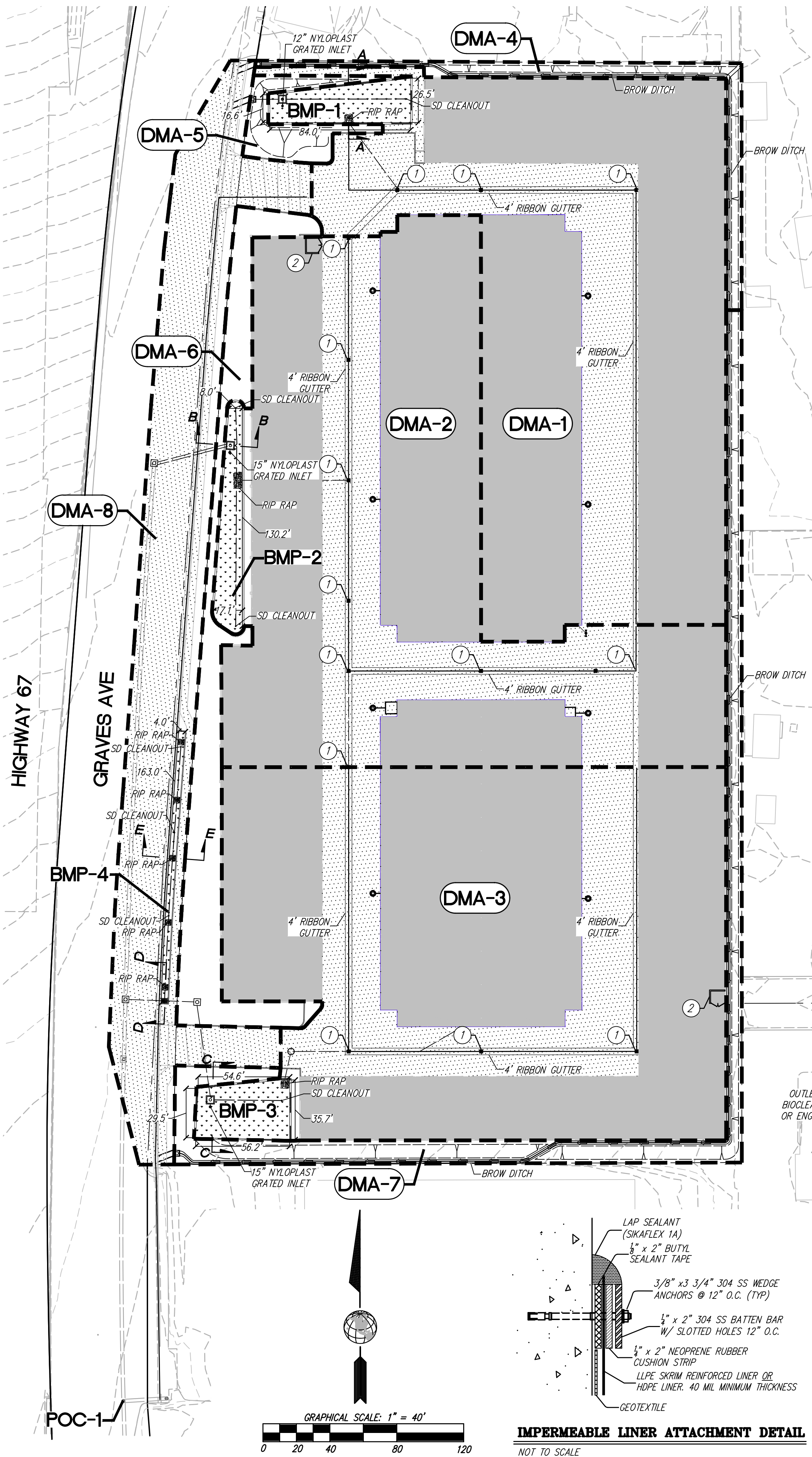


Sean M. Savage
SEAN M. SAVAGE R.C.E. 75677
9/13/2024
DATE

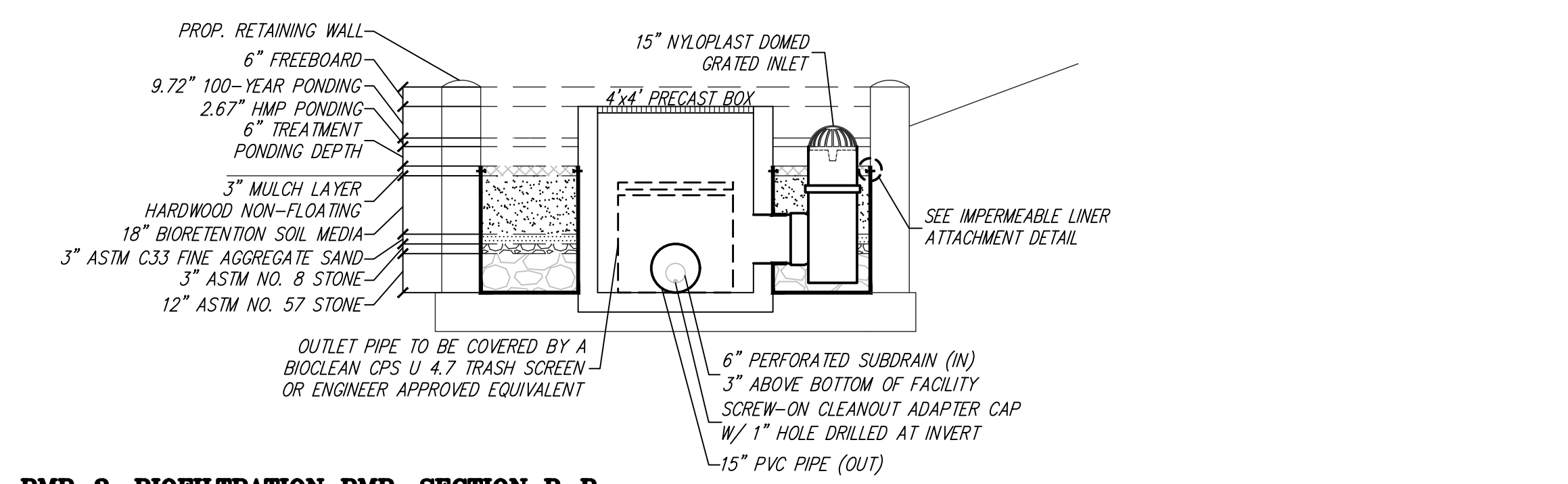
CITY OF SANTEE	
PERMIT NO: _____	
APPLICANT: CAMERON BROTHERS CONSTRUCTION CO., L.P.	
ASSESSORS PARCEL NO(S): 387-061-11-00 & 387-061-12-00	
REQUEST: _____	
PC RESOLUTION NO: _____	C-8
CC RESOLUTION NO: _____	
ORDINANCE NO: _____	

DATE: 5/20/2024 4:38:45 PM BY: MITCHELL SMITH FILENAME: P:\DWG\OMEGA\0430\CAMERON\GRAVES AVE\ACAD\CSP\0430-CSP-08-SECTIONS.DWG

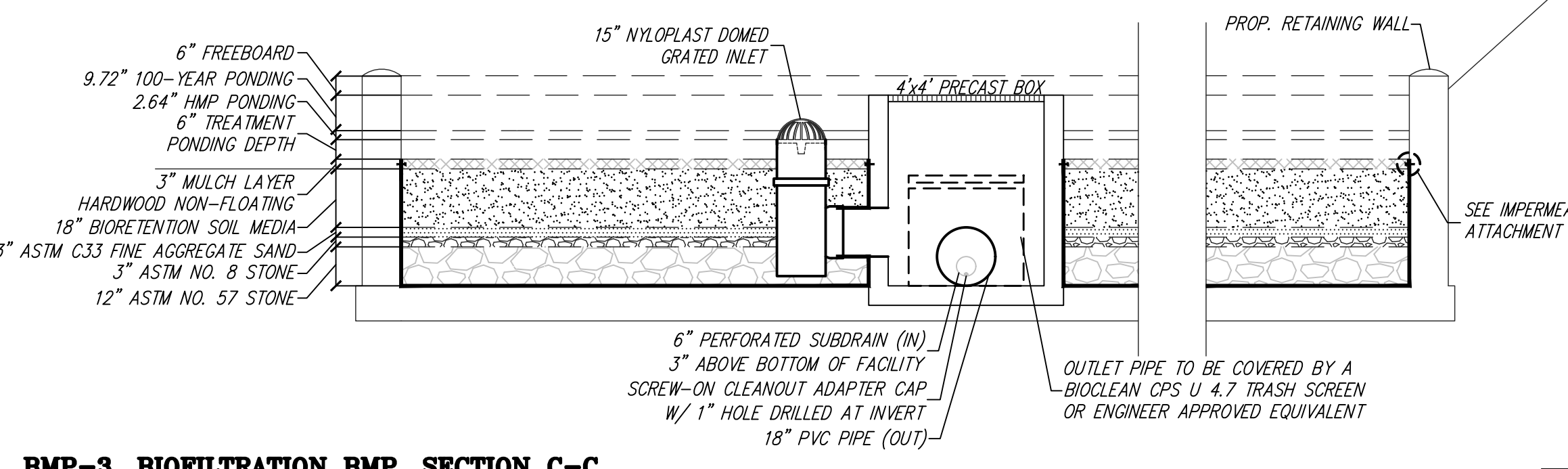
DMA PLAN-PHASE 2



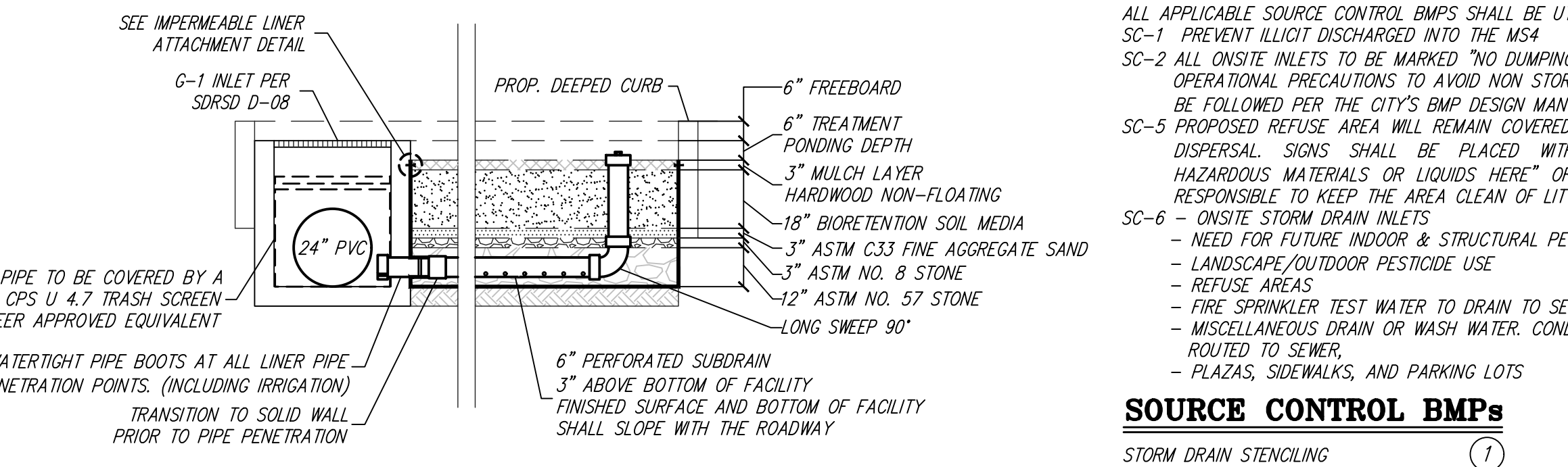
BMP-1, BIOFILTRATION BMP, SECTION A-A
NOT TO SCALE



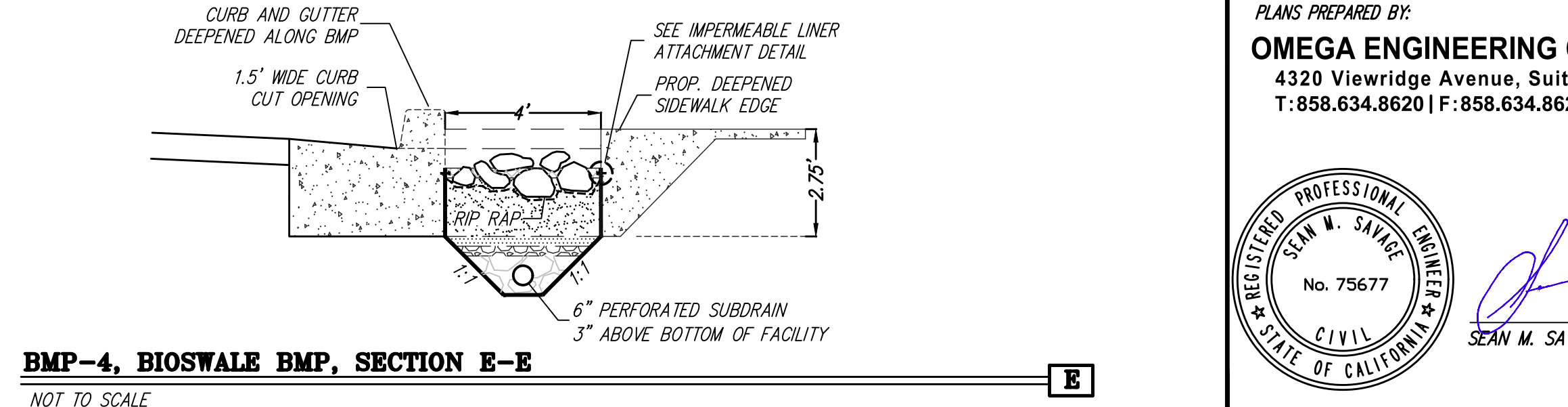
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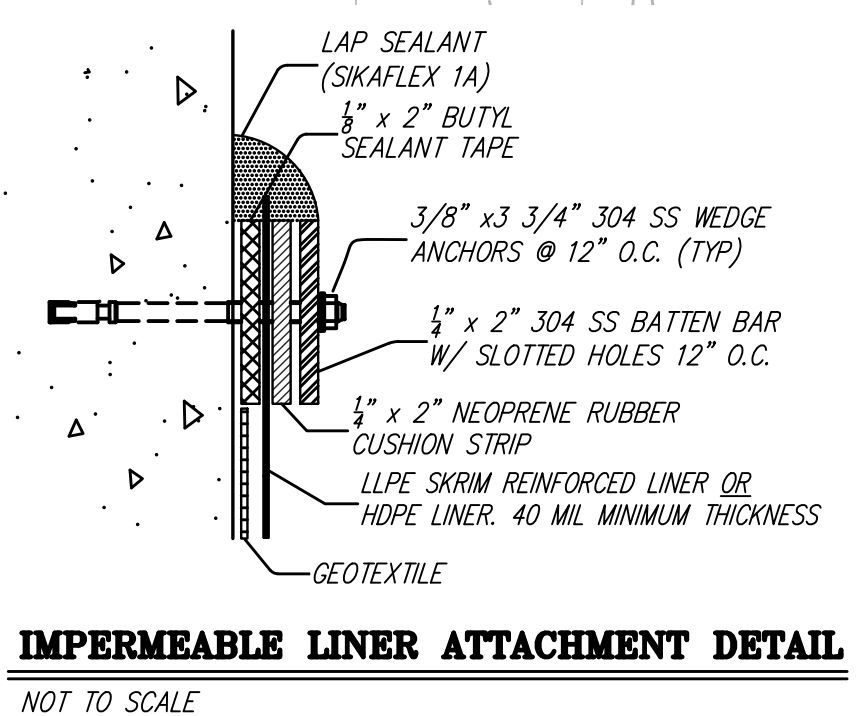
BMP-3, BIOFILTRATION BMP, SECTION C-C
NOT TO SCALE



BMP-4, BIOSWALE BMP, SECTION D-D
NOT TO SCALE



BMP-4, BIOSWALE BMP, SECTION E-E
NOT TO SCALE



IMPERMEABLE LINER ATTACHMENT DETAIL
NOT TO SCALE

LEGEND:

- DMA BOUNDARY: - - - - -
- DRAINAGE ARROWS: →
- DRAINAGE MANAGEMENT AREA: [Pattern]
- STRUCTURAL BEST MANAGEMENT PRACTICE: [Pattern]
- IMPERVIOUS AREA: [Pattern]
- ROOF AREA: [Pattern]
- LANDSCAPED AREAS: [Pattern]
- STORM DRAIN INLET: [Symbol]
- TRASH ENCLOSURE: [Symbol]

DMA DATA TABLE

DMA-NO.	TOT. AREA (SF)	IMPERVIOUS (%)	DCV (CF)	TYPE/TREATED BY
DMA-1	57,759	95.8	2,010	BMP-1
DMA-2	59,968	95.4	2,087	BMP-2
DMA-3	65,722	96.1	2,313	BMP-3
DMA-4	3,402	0	-	SELF-MITIGATING
DMA-5	2,040	0	-	SELF-MITIGATING
DMA-6	8,989	0	-	SELF-MITIGATING
DMA-7	10,275	0	-	SELF-MITIGATING
DMA-8	27,932	88.5	927	BMP-4

TREATMENT BMP DATA TABLE

BMP-#	TREATING	REQUIRED FOOTPRINT	PROPOSED FOOTPRINT	DESCRIPTION
BMP-1	DMA-1	1,550 SF	1,800 SF	FULLY LINED BIOFILTRATION BASIN W/ 1" LOW FLOW ORIFICE
BMP-2	DMA-2	1,560 SF	1,700 SF	FULLY LINED BIOFILTRATION BASIN W/ 1" LOW FLOW ORIFICE
BMP-3	DMA-3	1,720 SF	1,800 SF	FULLY LINED BIOFILTRATION BASIN W/ 1" LOW FLOW ORIFICE
BMP-4	DMA-8	-	650 SF	BIOSWALE PER GREENSTREET STANDARDS

- NOTES**
- UNDERLYING NRCS HYDROLOGIC SOIL GROUP FOR SITE IS TYPE D
 - PER THE GEOTECHNICAL INVESTIGATION PERFORMED BY GEOCON WEST INC. ON MARCH 8, 2023, GROUNDWATER IS EXPECTED TO BE LOCATED AT APPROXIMATELY 50 FEET BELOW GROUND SURFACE.
 - NO EXISTING NATURAL HYDROLOGIC FEATURES
 - NO CRITICAL COARSE SEDIMENT YIELD AREAS ON SITE
 - ALL APPLICABLE SOURCE CONTROL BMPs SHALL BE CONDUCTED

MAINTENANCE RESPONSIBLE PARTY
THE PROPOSED BIOFILTRATION BASINS, BIOSWALE, FULL TRASH CAPTURE BMP'S AND BROW DITCHES WILL BE MAINTAINED BY CAMERON BROTHERS COMPANY, LLC.

- STORM WATER NOTES**
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMPs) DURING ALL PHASES OF CONSTRUCTION.
 - SUFFICIENT BMPs MUST BE INSTALLED TO PREVENT SILT, MUD, OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET OR CONVEYANCE SYSTEM AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMPs.
 - STORM WATER POLLUTION PREVENTION DEVICES AND OR PRACTICES SHALL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES TO ENSURE EFFECTIVENESS. IF AT ANY TIME, BMPs ARE FOUND TO BE INTENTIONALLY DISABLED, RUN-OVER, REMOVED, OR OTHERWISE INEFFECTIVE, THEY SHALL BE MODIFIED AND REPLACED IMMEDIATELY.
 - TRASH AND CONSTRUCTION SOLID WASTES SHALL BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND CONSTRUCTION WASTES MUST BE PROTECTED AGAINST THE POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.
 - A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
 - ALL BMPs SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
 - IF TRENCHING/DIGGING ACTIVITIES ARE NOT COMPLETED WITHIN ONE DAY, PROPER BMPs WILL BE IMPLEMENTED.
 - IF DEBRIS OR MATERIALS WILL BE STORED FOR LONGER THAN ONE DAY, PROPER BMPs WILL BE IMPLEMENTED.

BIORETENTION INSPECTION SCHEDULE NOTES
CONTRACTOR MUST CONTACT ENGINEER FOR INSPECTION OF BMPs AT THE FOLLOWING STAGES OF CONSTRUCTION:

- PRIOR TO START OF CONSTRUCTION OF BIORETENTION AREA
- PRIOR TO CONSTRUCTION OF OUTLET STRUCTURE
- AFTER GRADING OF THE BASIN AREA FOR CERTIFICATION
- AFTER PLACEMENT OF IMPERMEABLE LINER (W/EXTRA LENGTH FOR EMBEDMENT)
- AFTER PLACEMENT OF SUB-DRAIN
- AFTER PLACEMENT OF ORNAMENTAL DRAINAGE LAYER
- AFTER IRRIGATION AND LANDSCAPING ACTIVITIES
- *SURVEY STAKED SHALL BE AVAILABLE FOR EACH AND EVERY INSPECTION

ATTACHMENT 1A

PLANS PREPARED BY:
OMEGA ENGINEERING CONSULTANTS, INC.
4320 Viewridge Avenue, Suite C, San Diego, CA 92123
T: 858.634.8620 | F: 858.634.8627 [OEC Project Number 0430]

CITY OF SANTEE
PERMIT NO: _____

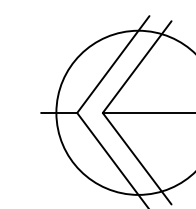
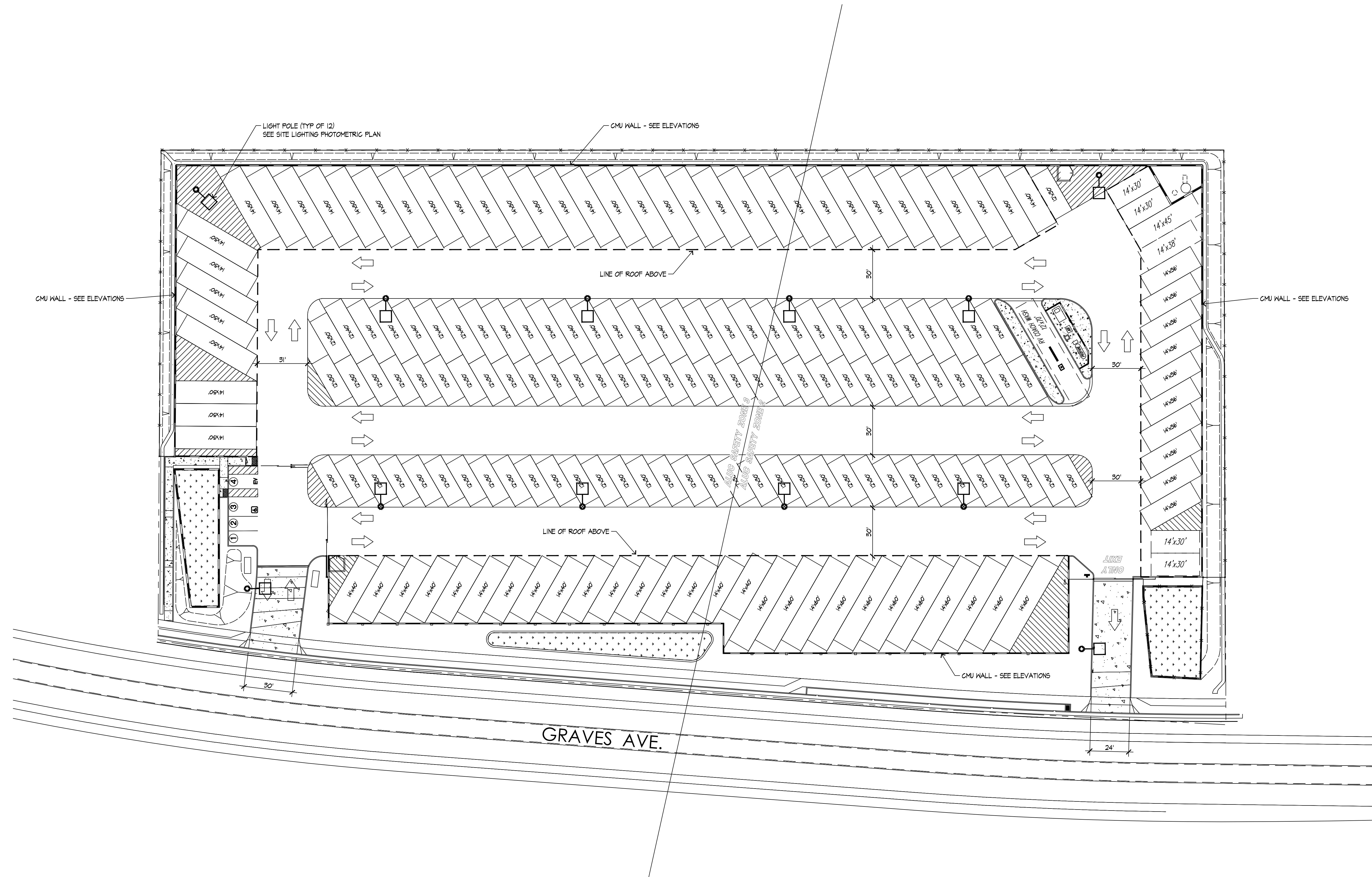
APPLICANT: CAMERON BROTHERS CONSTRUCTION CO., L.P.
ASSESSORS PARCEL NO(S): 387-061-11-00 & 387-061-12-00
REQUEST: _____

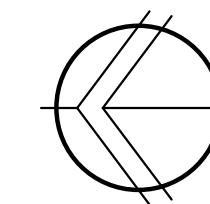
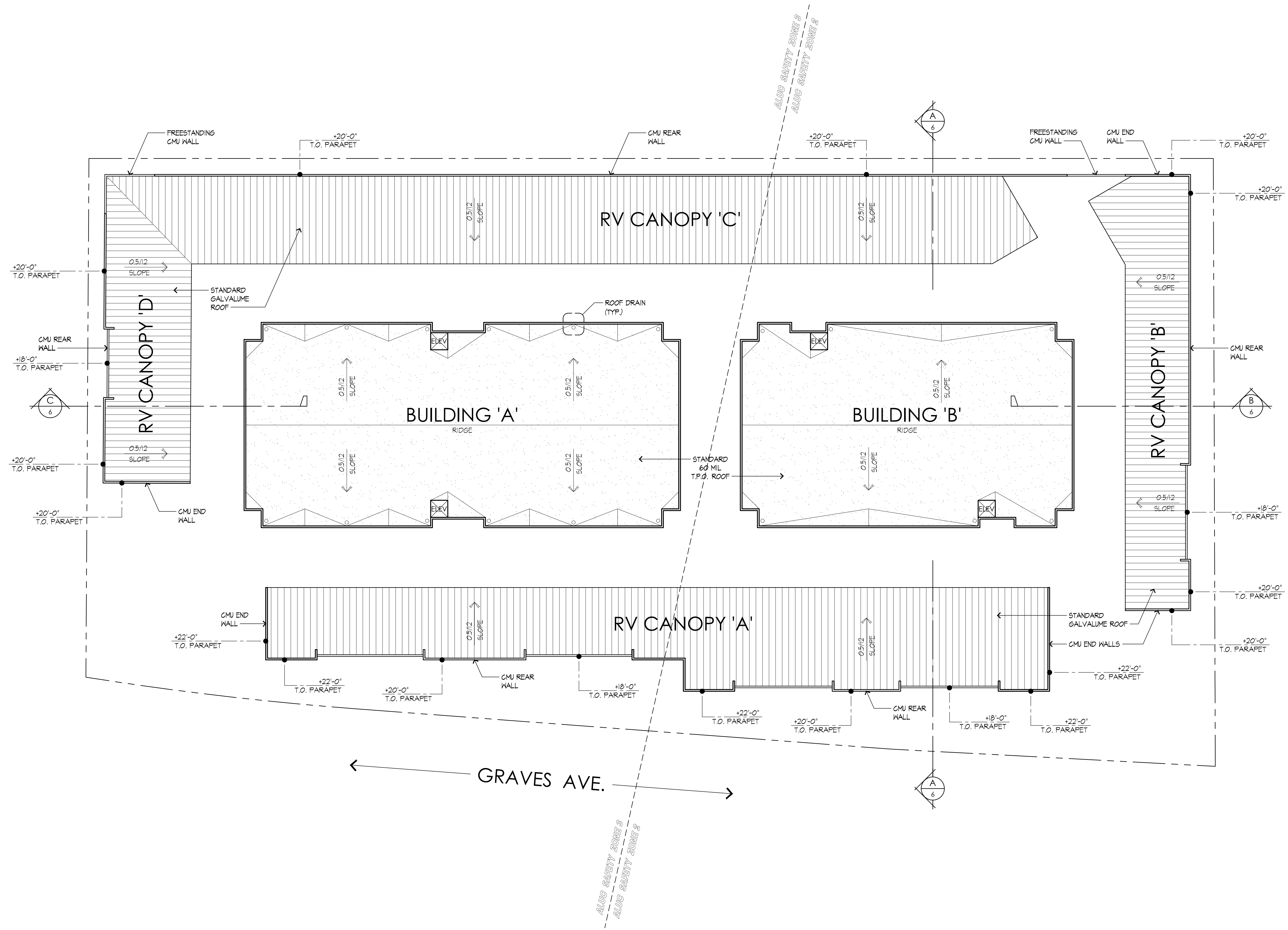
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CC RESOLUTION NO.: _____
ORDINANCE NO.: _____

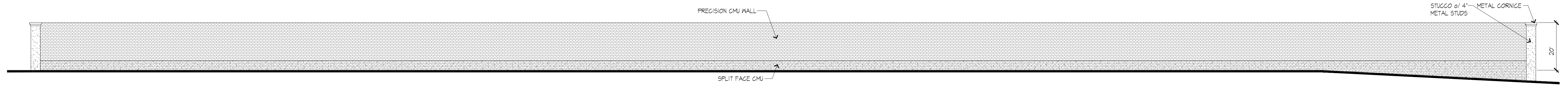
SEAN M. SAVAGE
PROFESSIONAL ENGINEER
No. 75677
CIVIL
STATE OF CALIFORNIA
9/13/2024
DATE

C-9

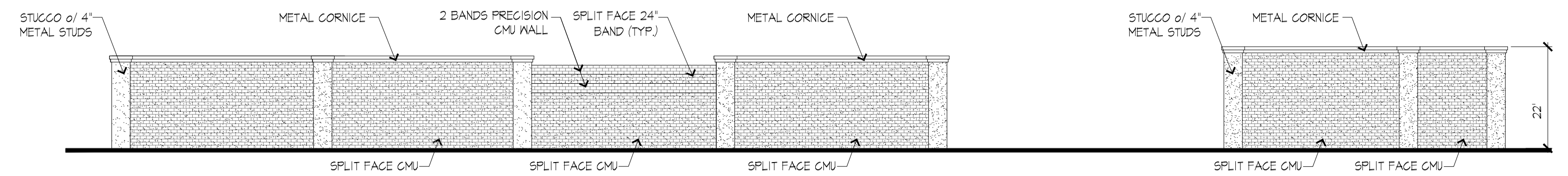
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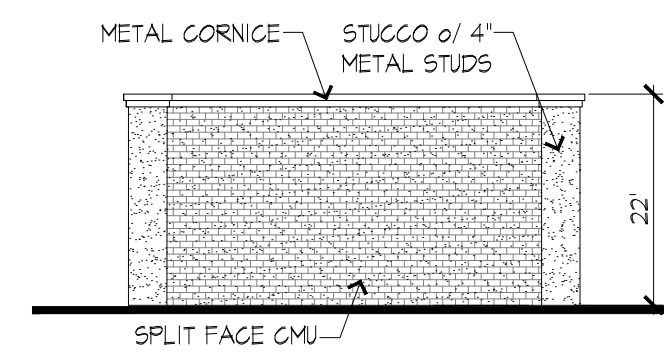




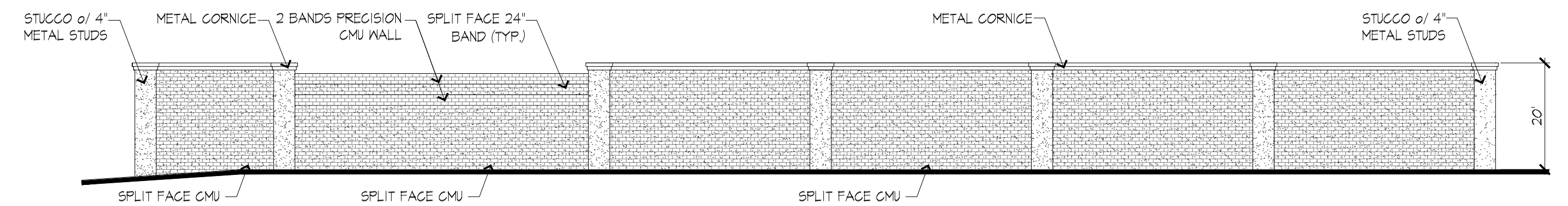
R.V. CANOPY 'B', 'C' & 'D' EAST ELEVATION



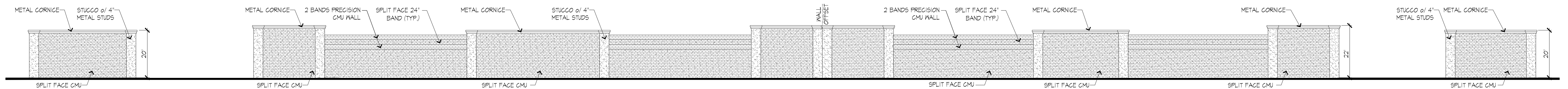
R.V. CANOPY 'D' & 'A' NORTH ELEVATION



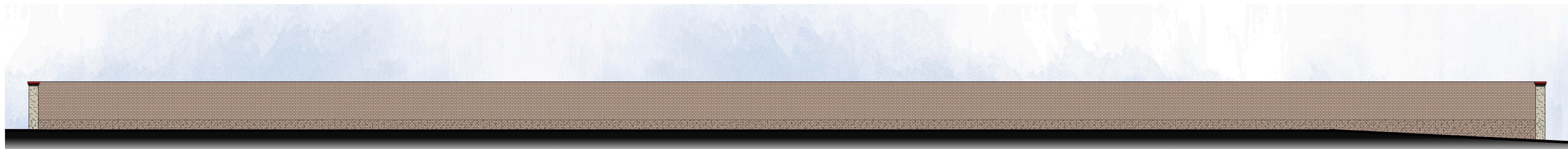
R.V. CANOPY 'A' SOUTH ELEVATION



R.V. CANOPY 'B' SOUTH ELEVATION



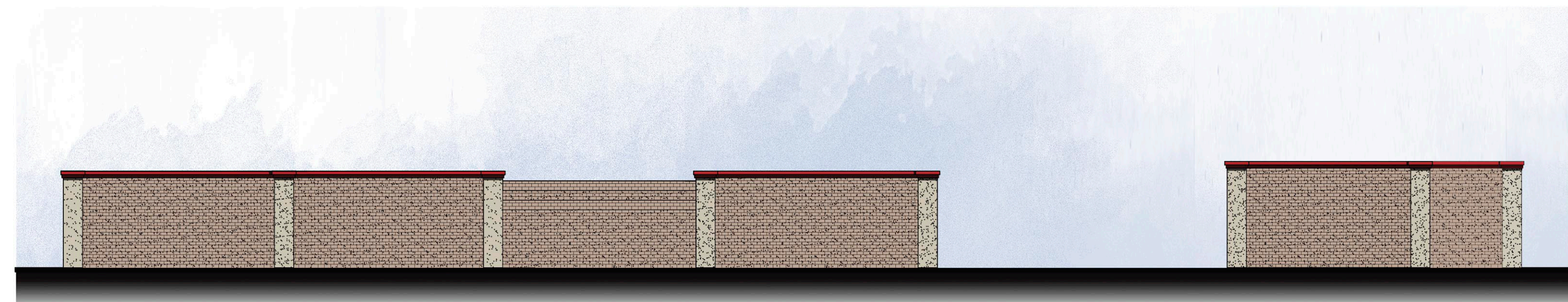
R.V. CANOPY 'D', 'A' & 'B' WEST ELEVATION



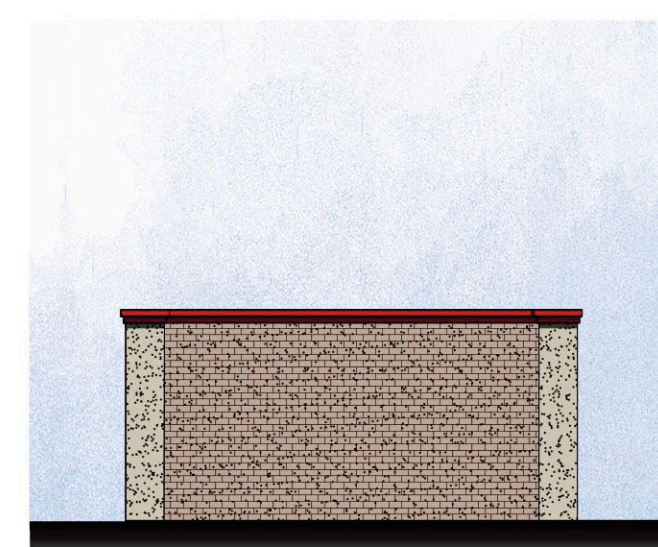
R.V. CANOPY 'B', 'C' & 'D' EAST ELEVATION

COLORS & MATERIALS

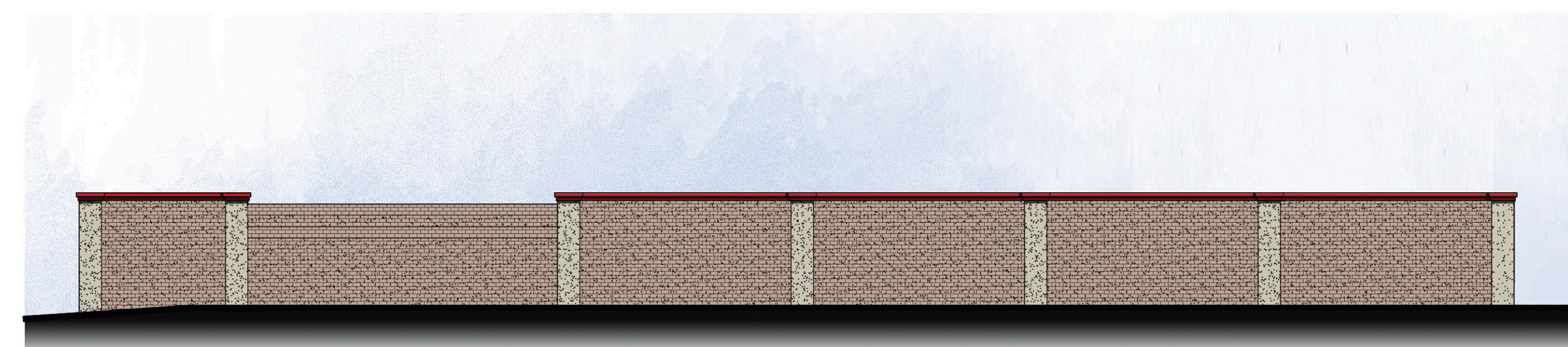
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PAINT SW#6101 "SANDS OF TIME"
- PRECISION CMU WALL WITH ELASTOMERIC PAINT FINISH:
PAINT SW# 6162 "PORTABELLO"
- METAL CORNICE WITH ELASTOMERIC PAINT FINISH:
PAINT SW#6871 "POSITIVE RED"



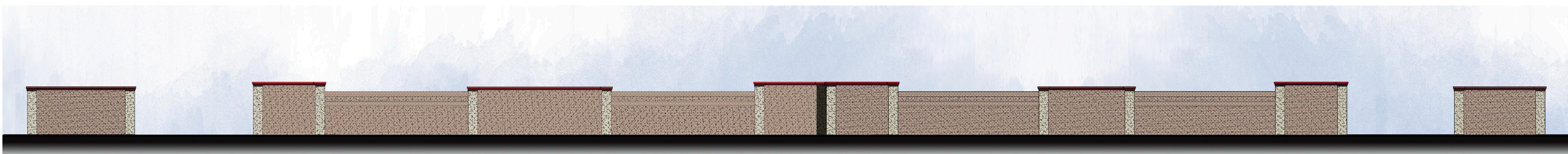
R.V. CANOPY 'D' & 'A' NORTH ELEVATION



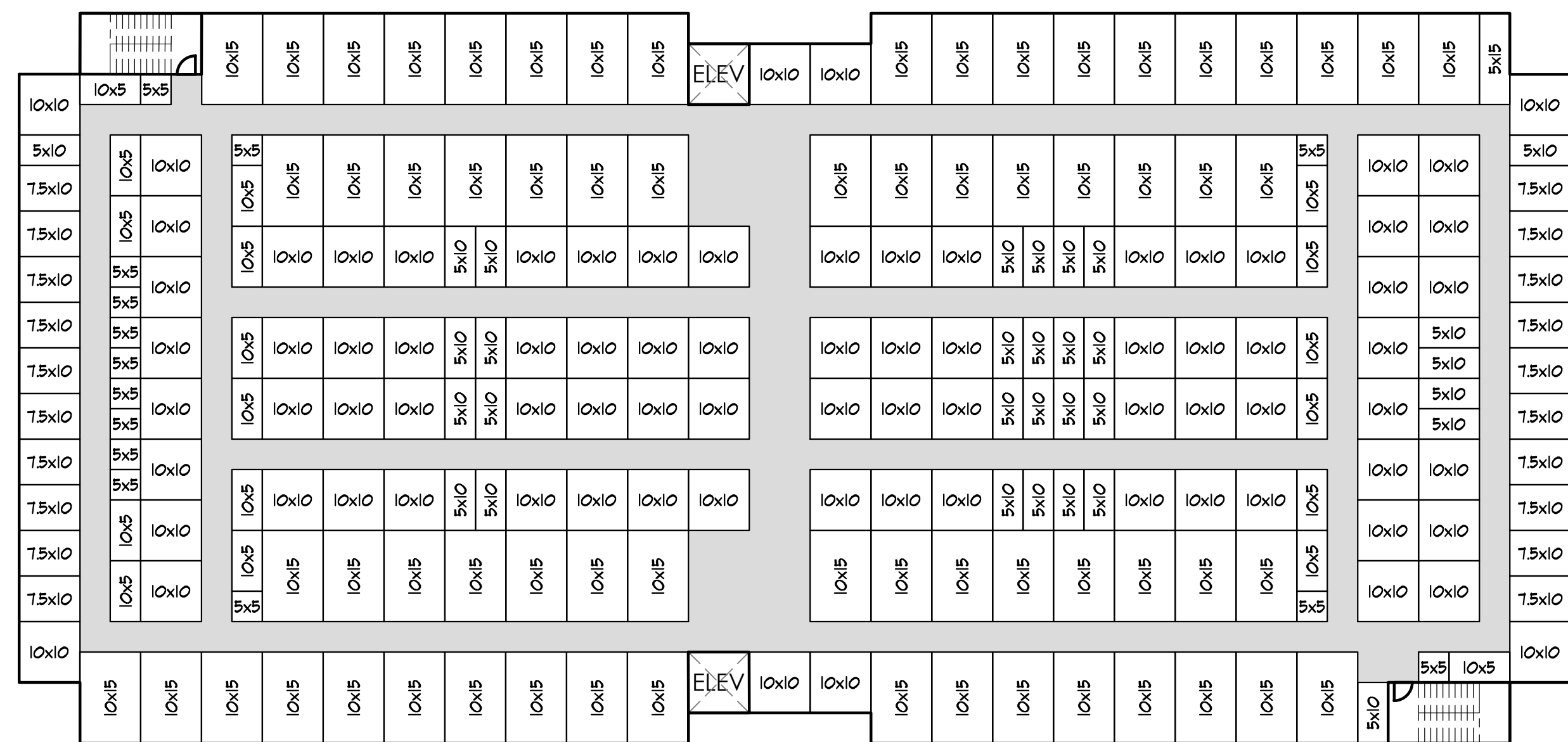
R.V. CANOPY 'A' SOUTH ELEVATION



R.V. CANOPY 'B' SOUTH ELEVATION

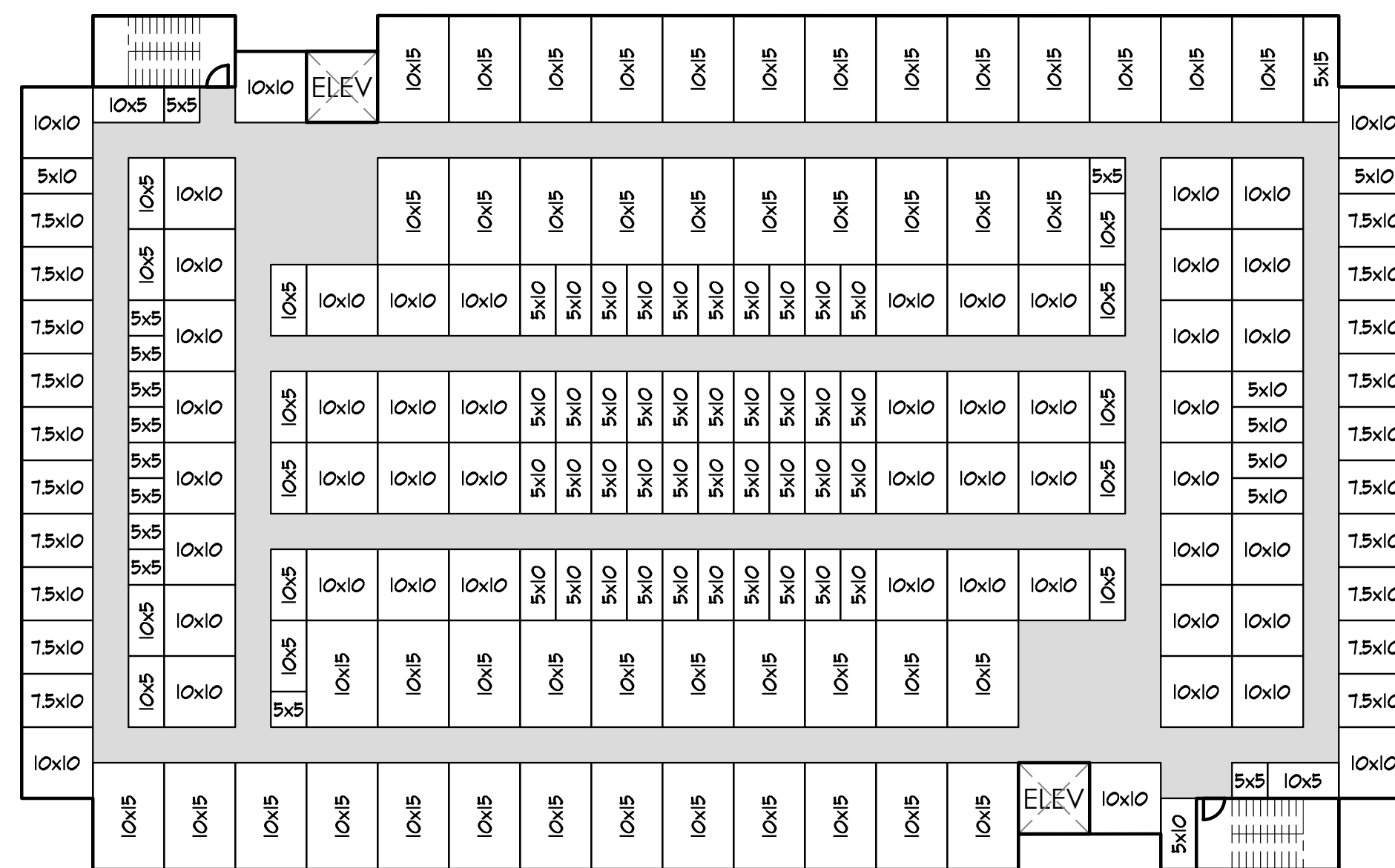


R.V. CANOPY 'D', 'A' & 'B' WEST ELEVATION



BUILDING 'A'

2nd & 3rd FLOORS



BUILDING 'B'

2nd FLOOR

TOTAL UNIT MIX TABULATION			
SIZE OF UNIT	SQ. FT. UNIT	NO. OF UNITS	TOTAL SQ. FT.
5 x 5	25	48	1,200
5 x 10	50	112	5,600
10 x 5	50	82	4,100
5 x 15	75	3	225
7.5 x 10	75	60	4,500
10 x 10	100	283	28,300
10 x 15	150	233	34,950
10 x 20	200	73	14,600
10 x 25	250	20	5,000
10 x 30	300	26	7,800
TOTALS		940	106,275
AVERAGE UNIT SIZE			113.05
GROSS BUILDING AREA			135,000
EFFICIENCY			78.72

BLDG. 'A' - 1st FLOOR			
SIZE OF UNIT	SQ. FT. UNIT	NO. OF UNITS	TOTAL SQ. FT.
5 x 5	25	4	100
5 x 10	50	1	50
10 x 5	50	17	850
10 x 10	100	39	3,900
10 x 15	150	32	4,800
10 x 20	200	41	8,200
10 x 25	250	10	2,500
10 x 30	300	15	4,500
TOTALS		159	24,900
AVERAGE UNIT SIZE			156.60
GROSS BUILDING AREA			29,700
EFFICIENCY			83.83

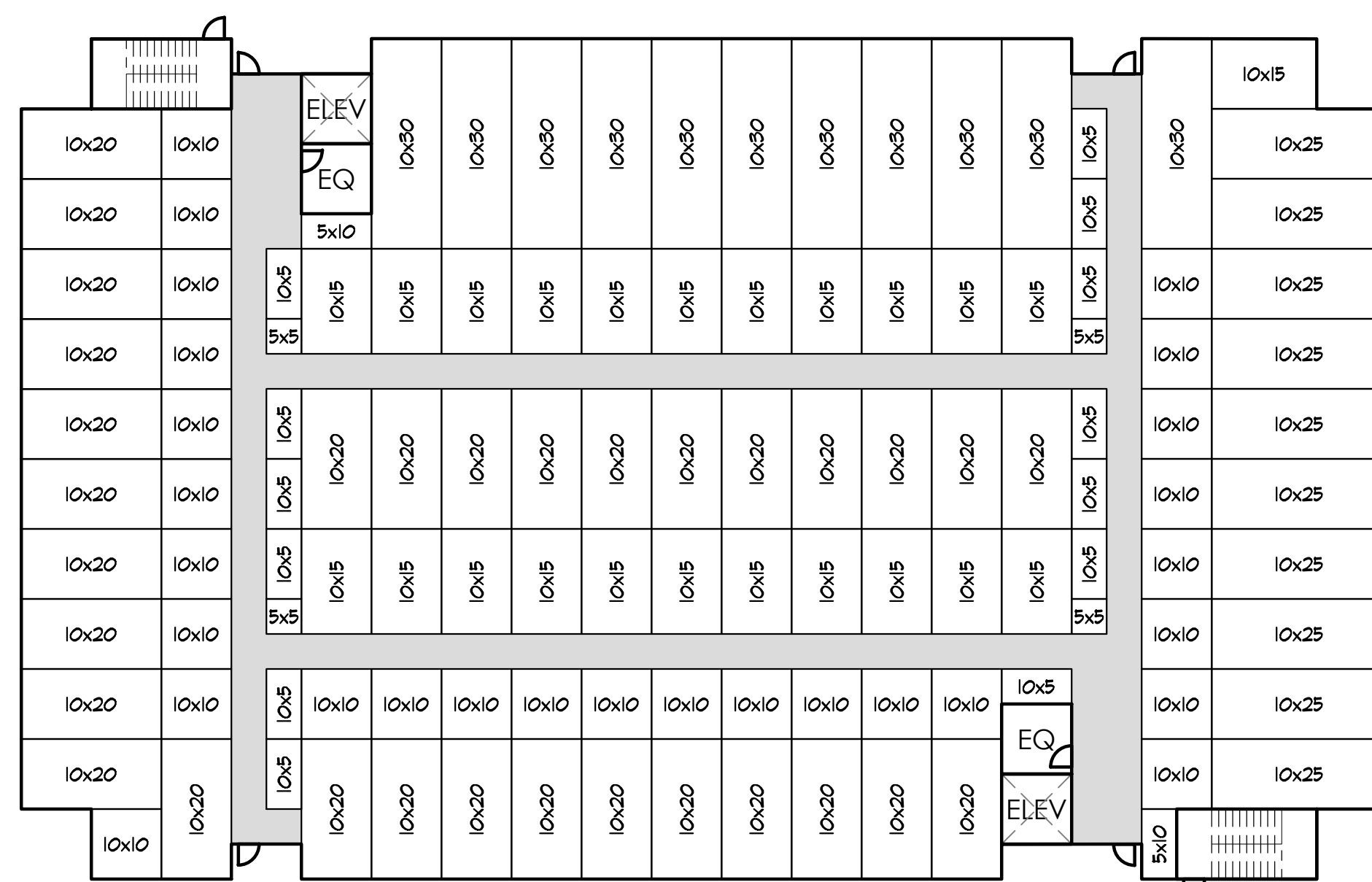
BLDG. 'A' - 2nd FLOOR			
SIZE OF UNIT	SQ. FT. UNIT	NO. OF UNITS	TOTAL SQ. FT.
5 x 5	25	14	350
5 x 10	50	31	1,550
10 x 5	50	18	900
5 x 15	75	1	75
7.5 x 10	75	20	1,500
10 x 10	100	82	8,200
10 x 15	150	66	9,900
TOTALS		232	22,475
AVERAGE UNIT SIZE			96.87
GROSS BUILDING AREA			29,900
EFFICIENCY			75.16

BLDG. 'A' - 3rd FLOOR			
SIZE OF UNIT	SQ. FT. UNIT	NO. OF UNITS	TOTAL SQ. FT.
5 x 5	25	14	350
5 x 10	50	31	1,550
10 x 5	50	18	900
5 x 15	75	1	75
7.5 x 10	75	20	1,500
10 x 10	100	82	8,200
10 x 15	150	66	9,900
TOTALS		232	22,475
AVERAGE UNIT SIZE			96.87
GROSS BUILDING AREA			29,900
EFFICIENCY			75.16



BUILDING 'A'

1st FLOOR

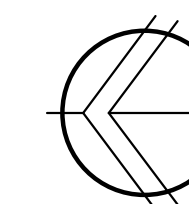


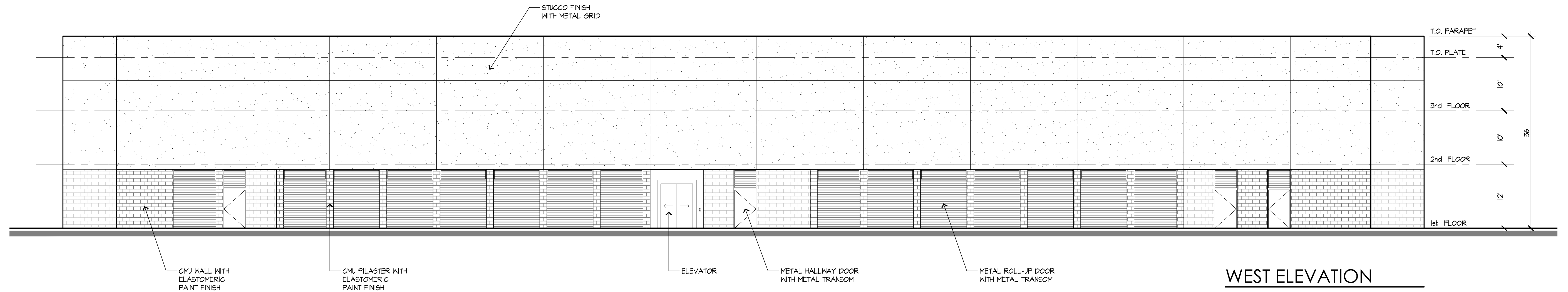
BUILDING 'B'

1st FLOOR

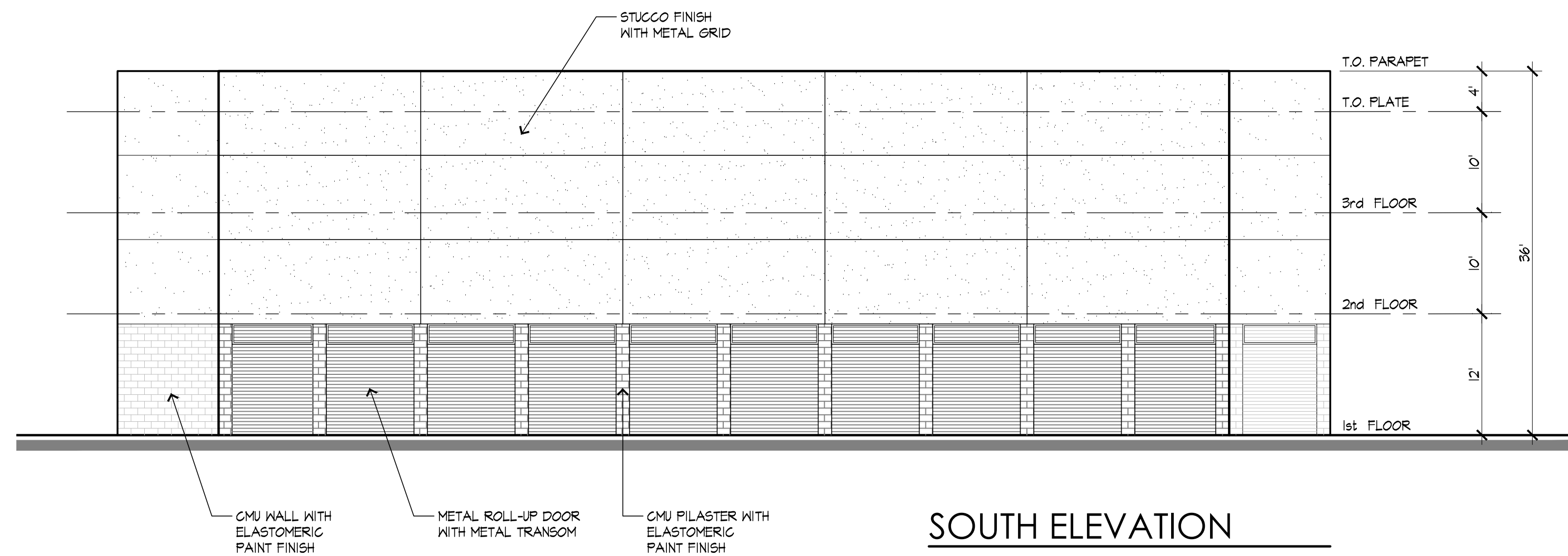
BLDG. 'B' - 1st FLOOR			
SIZE OF UNIT	SQ. FT. UNIT	NO. OF UNITS	TOTAL SQ. FT.
5 x 5	25	4	100
5 x 10	50	2	100
10 x 5	50	13	650
10 x 10	100	28	2,800
10 x 15	150	23	3,450
10 x 20	200	32	6,400
10 x 25	250	10	2,500
10 x 30	300	11	3,300
TOTALS		123	19,300
AVERAGE UNIT SIZE			156.91
GROSS BUILDING AREA			22,700
EFFICIENCY			85.02

BLDG. 'B' - 2nd FLOOR			
SIZE OF UNIT	SQ. FT. UNIT	NO. OF UNITS	TOTAL SQ. FT.
5 x 5	25	12	300
5 x 10	50	47	2,350
10 x 5	50	16	800
5 x 15	75	1	75
7.5 x 10	75	20	1,500
10 x 10	100	52	5,200
10 x 15	150	46	6,900
TOTALS		194	17,125
AVERAGE UNIT SIZE			88.27
GROSS BUILDING AREA			22,800
EFFICIENCY			75.10

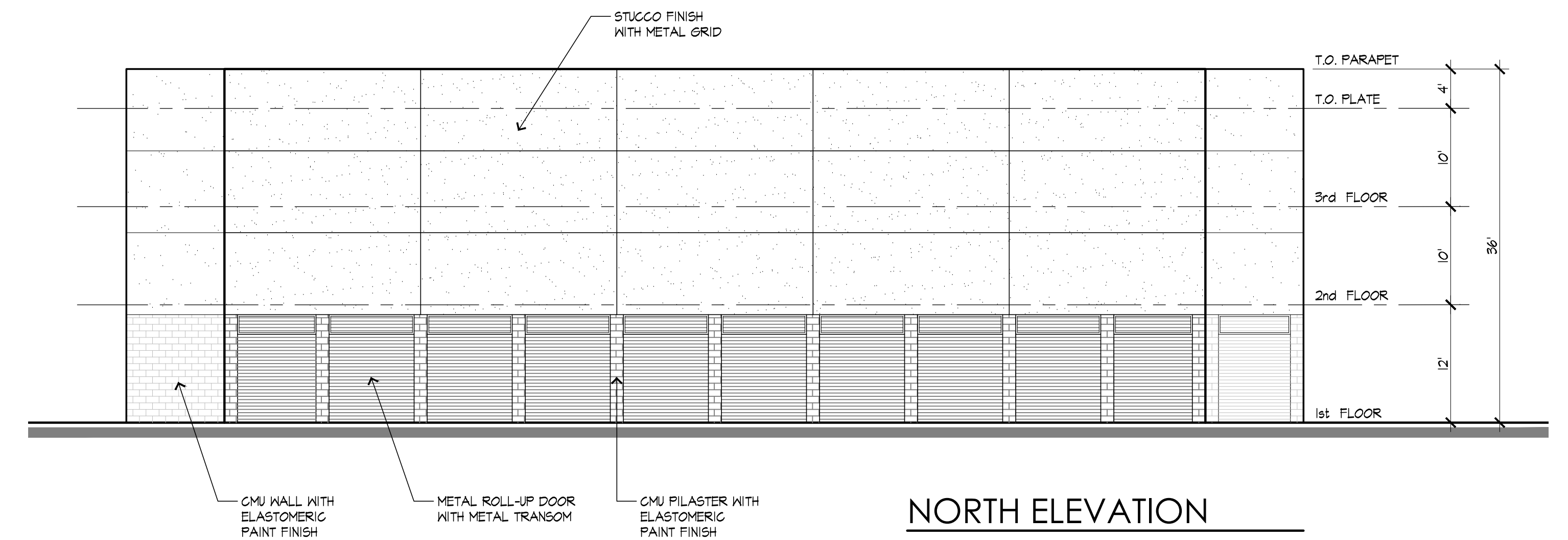




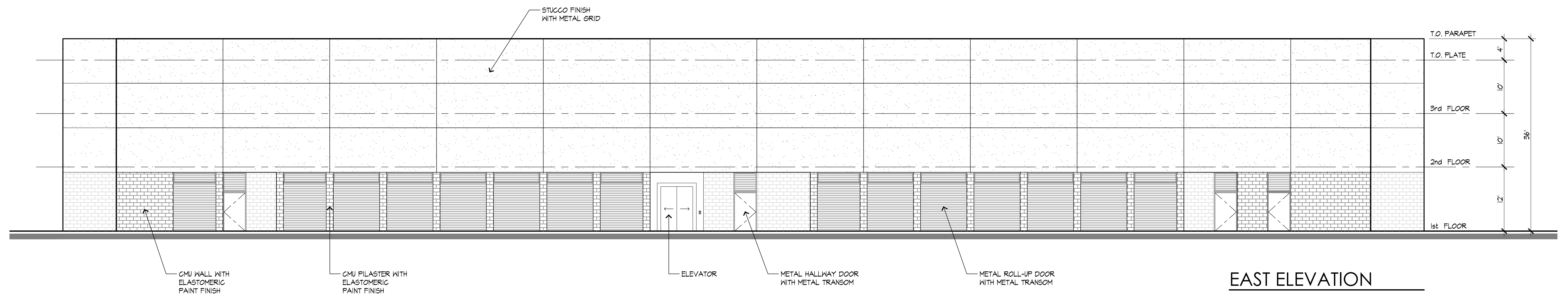
WEST ELEVATION



SOUTH ELEVATION



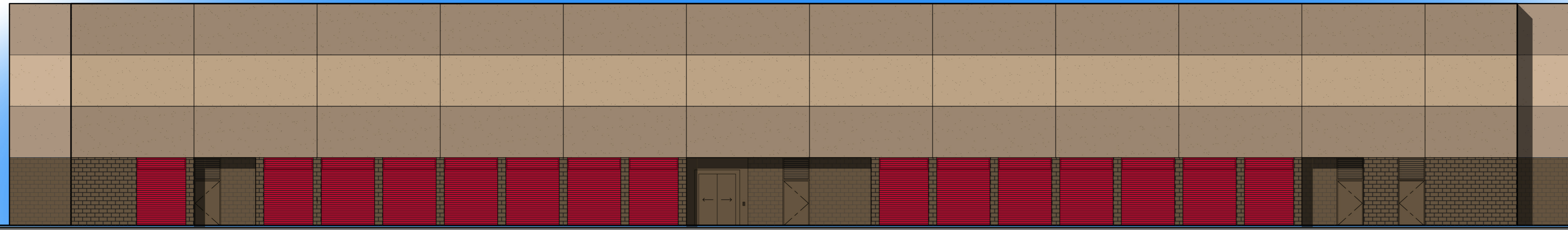
NORTH ELEVATION



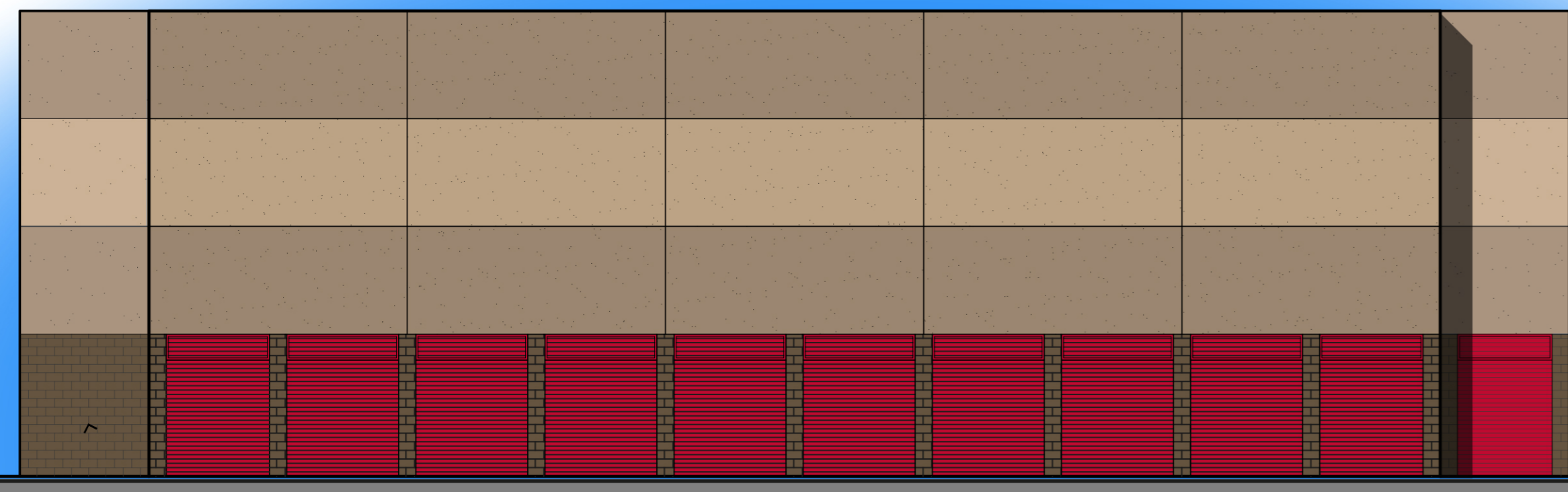
EAST ELEVATION

COLORS & MATERIALS

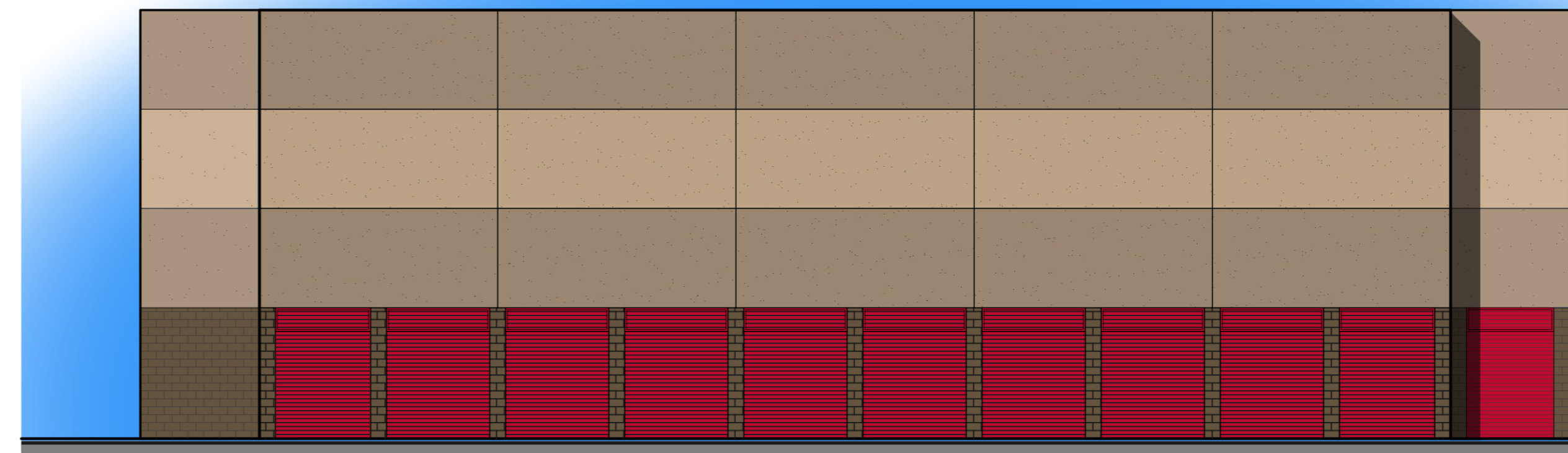
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PAINT SW# 6101 "SANDS OF TIME"
- PRIMARY SMOOTH STUCCO FINISH W/METAL GRID:
PAINT SW# 6162 "PORTABELLO"
- CMU WITH ELASTOMERIC PAINT FINISH:
PAINT SW#6095 "TOASTY"
- ROLL-UP METAL DOORS / DOOR TRANSOMS:
JANUS INTERNATIONAL "PATRIOT RED"



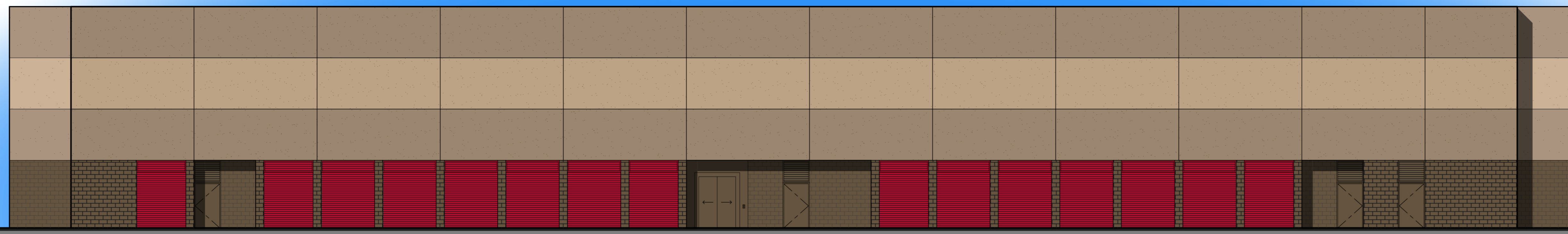
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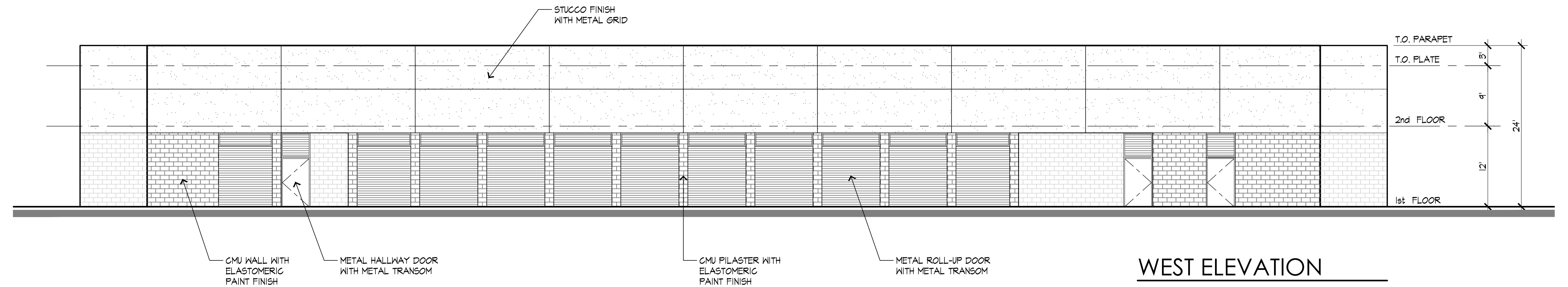
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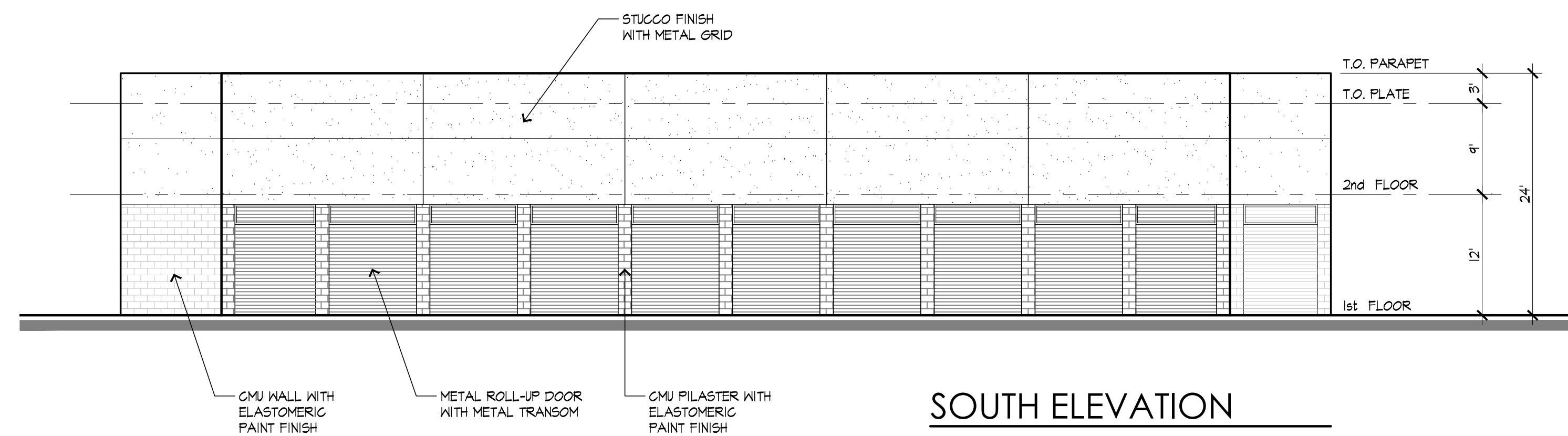
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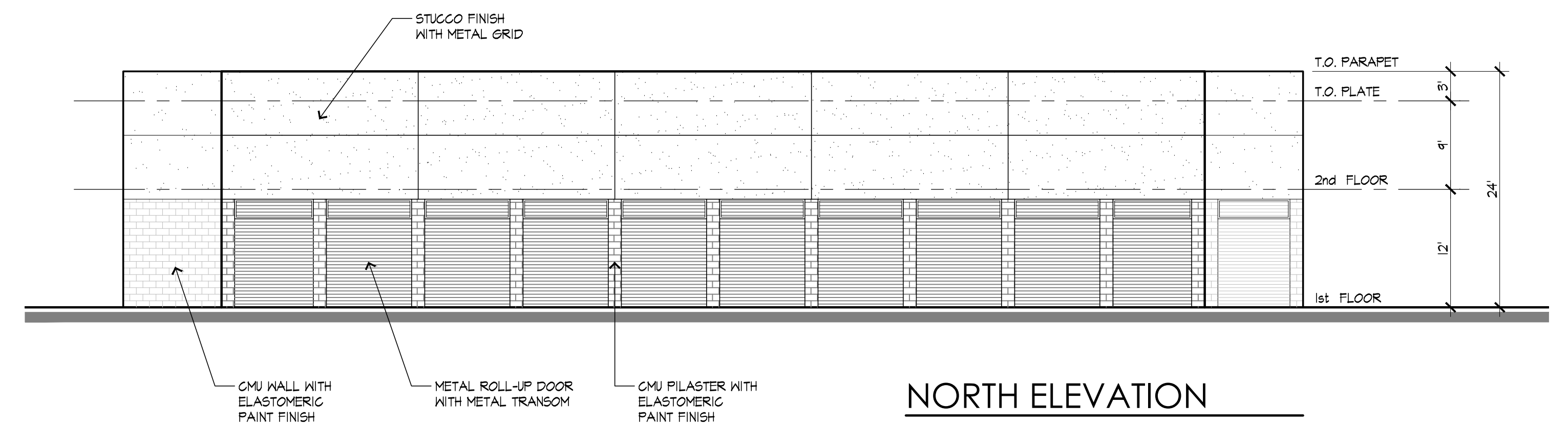
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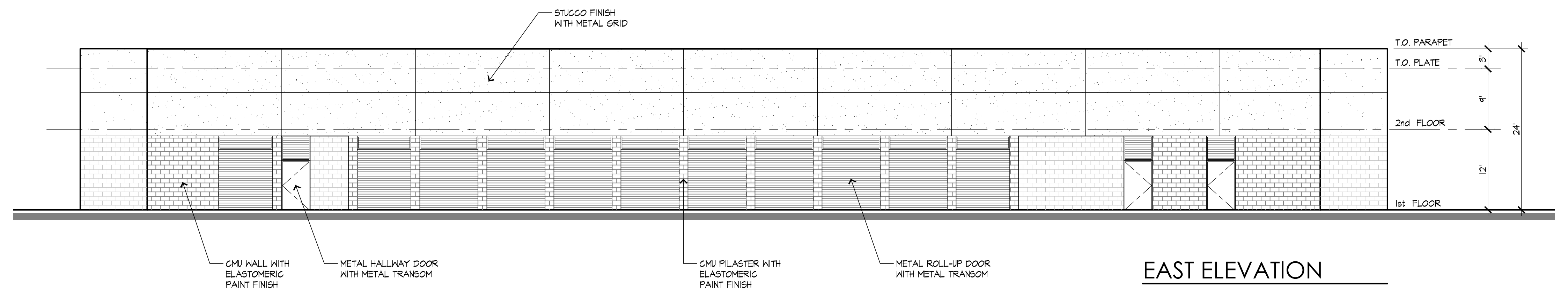
WEST ELEVATION



SOUTH ELEVATION



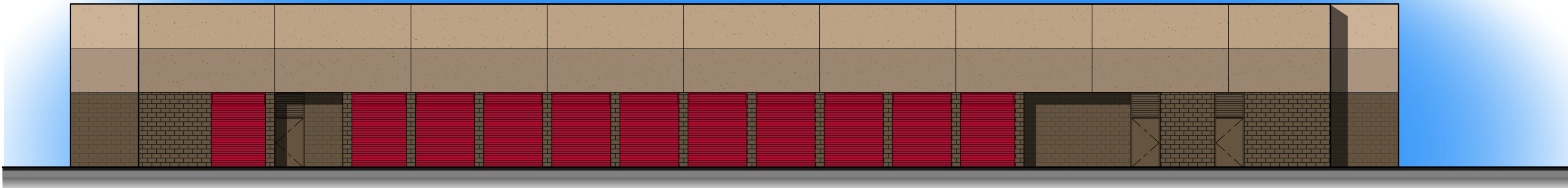
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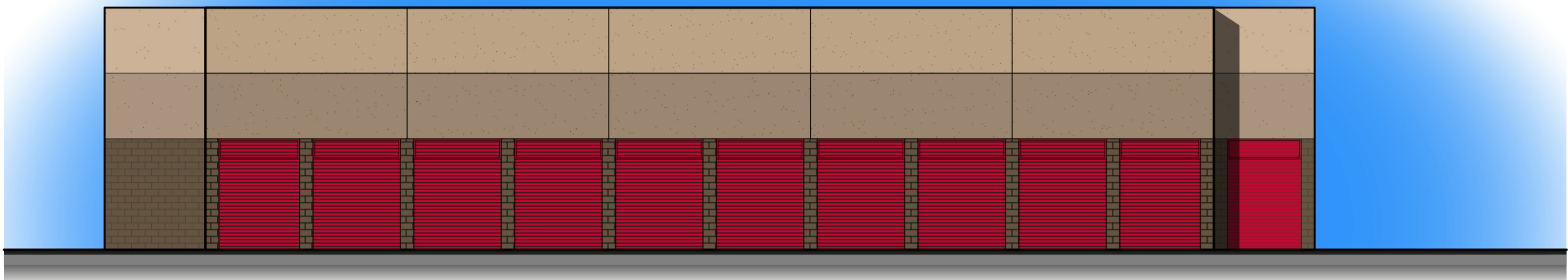
EAST ELEVATION

COLORS & MATERIALS

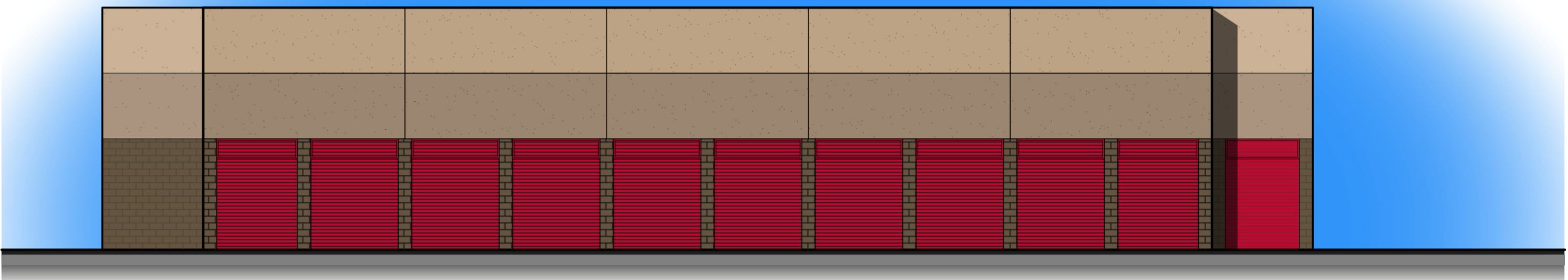
- SECONDARY SMOOTH STUCCO FINISH W/METAL GRID:
PAINT SW# 6101 "SANDS OF TIME"
- PRIMARY SMOOTH STUCCO FINISH W/METAL GRID:
PAINT SW# 6162 "PORTABELLO"
- CMU WITH ELASTOMERIC PAINT FINISH:
PAINT SW#6095 "TOASTY"
- ROLL-UP METAL DOORS / DOOR TRANSOMS:
JANUS INTERNATIONAL "PATRIOT RED"



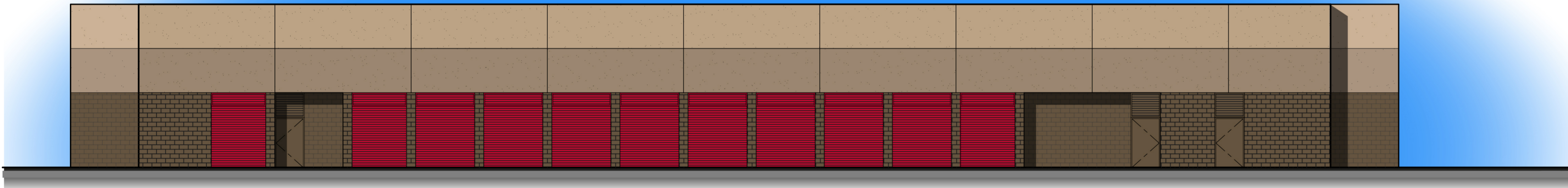
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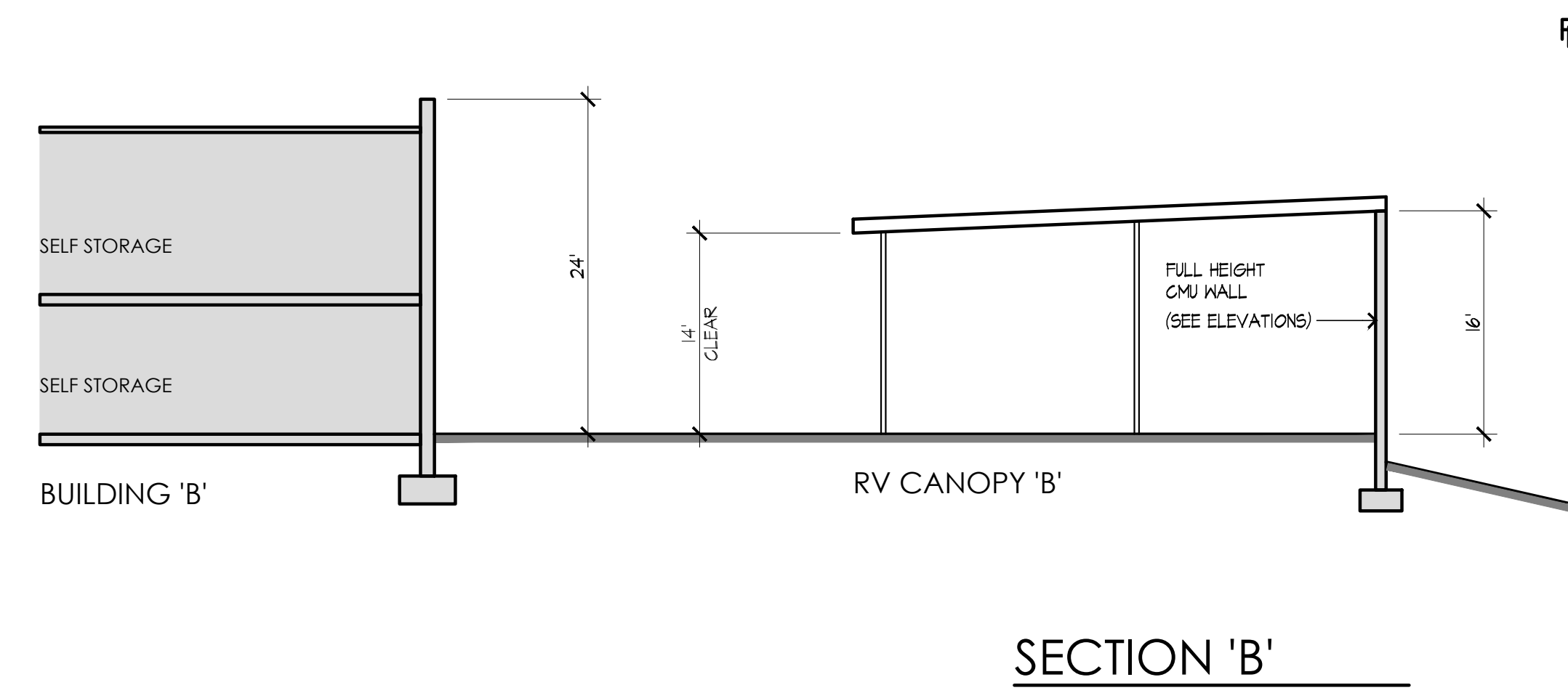
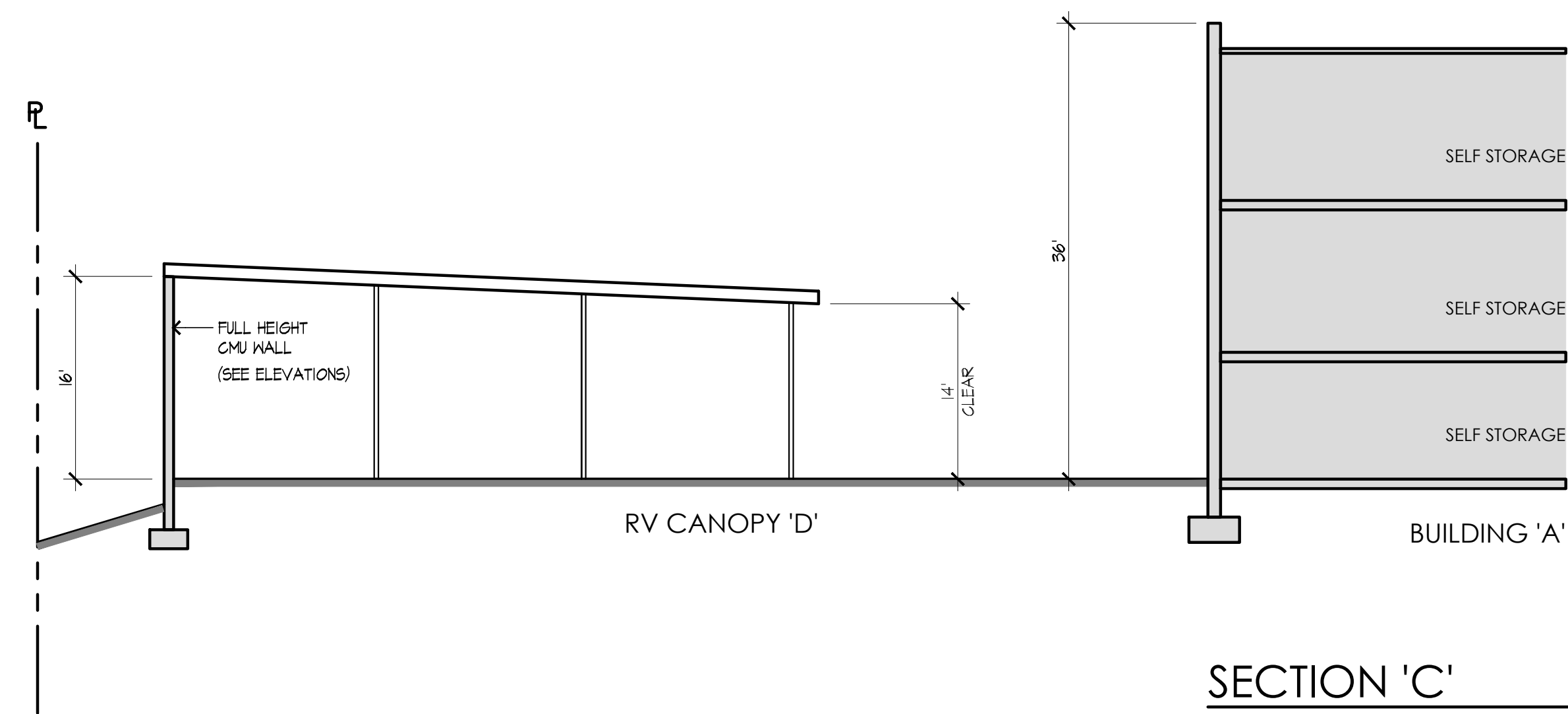
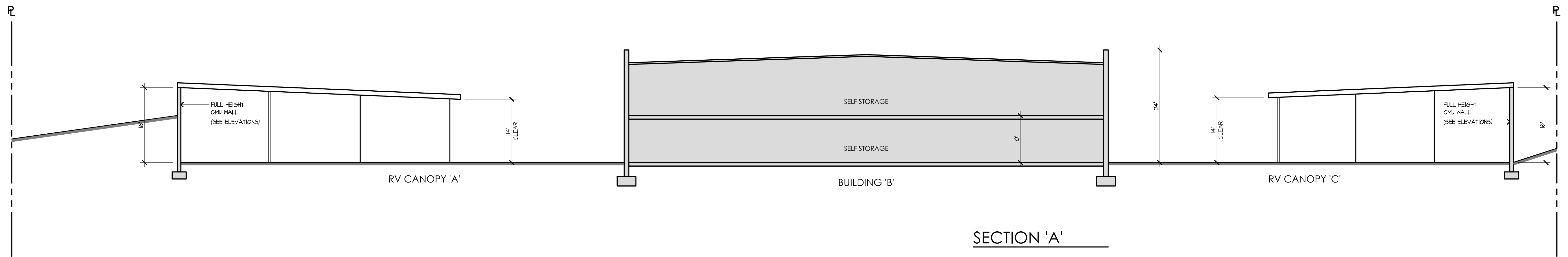
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION







Landscape Plan for:
GRAVES AVE. RV STORAGE
 SANTEE, CALIFORNIA

AHLES
 LANDSCAPE
 ARCHITECTURE INC.

P.O. Box 1503
 Rancho Santa Fe, CA 92067
 858.756.8963

email: ala@ahlesland.com
 CA# 2538

PROJECT NO.: 2306

ISSUE
 INITIAL MAR 23
 13 JUL 23
 22 SEP 23
 23 FEB 24

DRAWING INDEX

SHEET	CONTENTS
L-1	TITLE SHEET, NOTES
L-1J	OVERALL SITE LANDSCAPE PLAN
L-2	PLANTING PLAN
L-3	PLANTING PLAN
L-4	WATER USE CALCULATIONS

NOTES

DESIGN STATEMENT

LANDSCAPE FOR THIS BUILDING FEATURES A DROUGHT TOLERANT PLANTING WITH STREET SIDE CANOPY TREES, PARKING LOT TREE PLANTING, ACCENT PLANTING ZONES, AND GRADED SLOPE PLANTING. STORM WATER TREATMENT IS ACCOMMODATED WITH BIO RETENTION BASINS AND OTHER IMPROVEMENTS COORDINATED WITH THE PROJECT'S CIVIL ENGINEER.

LANDSCAPE REGULATION CONFORMANCE

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY OF SANTEE LANDSCAPE REGULATIONS AND OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

R-O-W PERMIT REQUIRED

A PUBLIC RIGHT-OF-WAY PERMIT IS REQUIRED FOR ANY PLANTING GREATER THAN 30 INCHES IN HEIGHT IN THE PUBLIC RIGHT-OF-WAY.

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE:	
TRAFFIC SIGNALS (STOP SIGN)-	20 FEET
UNDERGROUND UTILITY LINES-	5 FEET
UNDERGROUND SEWER LATERALS-	10 FEET
ABOVE GROUND UTILITY STRUCTURES-	10 FEET
DRIVEWAY (ENTRIES)-	10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)-	25 FEET

VERIFY MINIMUM SEPARATION DISTANCE IN FIELD PRIOR TO PLANTING. UPON IDENTIFICATION OF CONFLICT, CONTACT LANDSCAPE ARCHITECT AND ADJUST TREE LOCATION AS DIRECTED.

EXISTING LANDSCAPE NOTE

NO NEW LANDSCAPING IS PROPOSED FOR SITE AREAS NOT OTHERWISE DEVELOPED, INDICATED ON THE PLANS AS "EXISTING TO REMAIN".

EXISTING TREES TO REMAIN ON SITE WITHIN 10 FT. OF THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:

- 1- A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
- 2- STOCKPILING, TOPSOIL, DISTURBANCES, VEHICLE USE AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
- 3- A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
- 4- ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE CITY WITHIN 30 DAYS OF DAMAGE.

CITY INSPECTION

OBTAIN A FINAL INSPECTION OF THE COMPLETED LANDSCAPE PLANTING AND IRRIGATION INSTALLATION BY CITY LANDSCAPE INSPECTOR. SCHEDULE INSPECTOR AND LANDSCAPE ARCHITECT AT LEAST ONE WEEK IN ADVANCE OF INSPECTION. CITY FEES PROVIDE FOR ONLY ONE INSPECTION, ADDITIONAL INSPECTIONS WILL REQUIRE ADDITIONAL FEES.

CURB NOTE:

ALL LANDSCAPE AREAS ARE SEPARATED FROM VEHICULAR DRIVES AND PARKING BY 6 IN. CONCRETE CURBS- CONSTRUCTED PER SITE IMPROVEMENT PLANS ALL PARKING SPACES FACING LANDSCAPE AREAS 5 FT. OR LESS IN WIDTH SHALL HAVE WHEEL STOPS PROVIDED AT LEAST TWO FEET FROM THE LANDSCAPE AREA

ROOT ZONE

MINIMUM ROOT ZONE OF 40 S.F. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET.

ROOT BARRIER

TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER SHALL NOT WRAP AROUND THE ROOT BALL.

MULCH

MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION.

IRRIGATION

IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED."

A COMBINATION OF IRRIGATION TYPES- DRIP IRRIGATION (FOR SMALL PLANTERS AND ACCENT PLANTING AREAS), INDIVIDUAL TREE BUBBLERS (FOR TREES LOCATED WITHIN DRIP ZONES), ROTATOR TYPE OVERHEAD IRRIGATION (FOR BIO-RETENTION BASINS AND LARGE MANUFACTURED SLOPES)- IS ANTICIPATED. SOME AREAS OF EXISTING VEGETATION WILL REMAIN UN-IRRIGATED.

THE APPLICANT AGREES TO COMPLY WITH THE REQUIREMENTS OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) IN ACCORDANCE WITH STATE LAW AND THE LOCAL CODE AND WILL PROVIDE THE RECORD OWNER AT THE TIME OF FINAL INSPECTION WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE, AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

MAINTENANCE NOTE

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN HEALTHY CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY.

DRAINAGE BEST MANAGEMENT PRACTICES

NO IRRIGATION RUN OFF SHALL DRAIN OFF SITE INTO THE PUBLIC RIGHT OF WAY, STREETS, DRIVES OR ALLEYS. NO CONNECTION SHALL BE MADE TO ANY STORM WATER SEWER SYSTEM WITHOUT PROPER PUMPS. ALL ROOF DISCHARGE TO BE TO SURFACE DRAINAGE. REFER TO STORM WATER PLANS.

SITE ADDRESS

GRAVES AVE
 SANTEE, CALIFORNIA

LANDSCAPE AREA NOTES

TOTAL OFF STREET PARKING AREA	1148 S.F.
PARKING AREA LANDSCAPE AREA	144 S.F.
PERCENTAGE LANDSCAPE	12.5 %

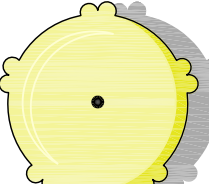
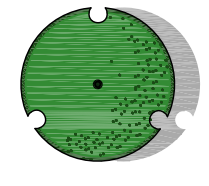
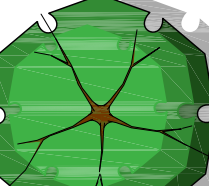
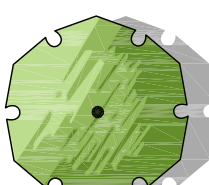
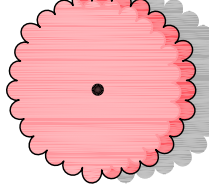













TOTAL SITE AREA (POST DEDICATION)	211,072 S.F.
TOTAL SITE LANDSCAPE AREA	29,063 S.F.
PERCENTAGE LANDSCAPE	13.77 %

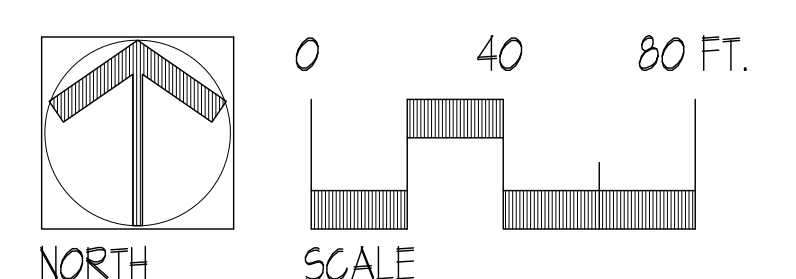
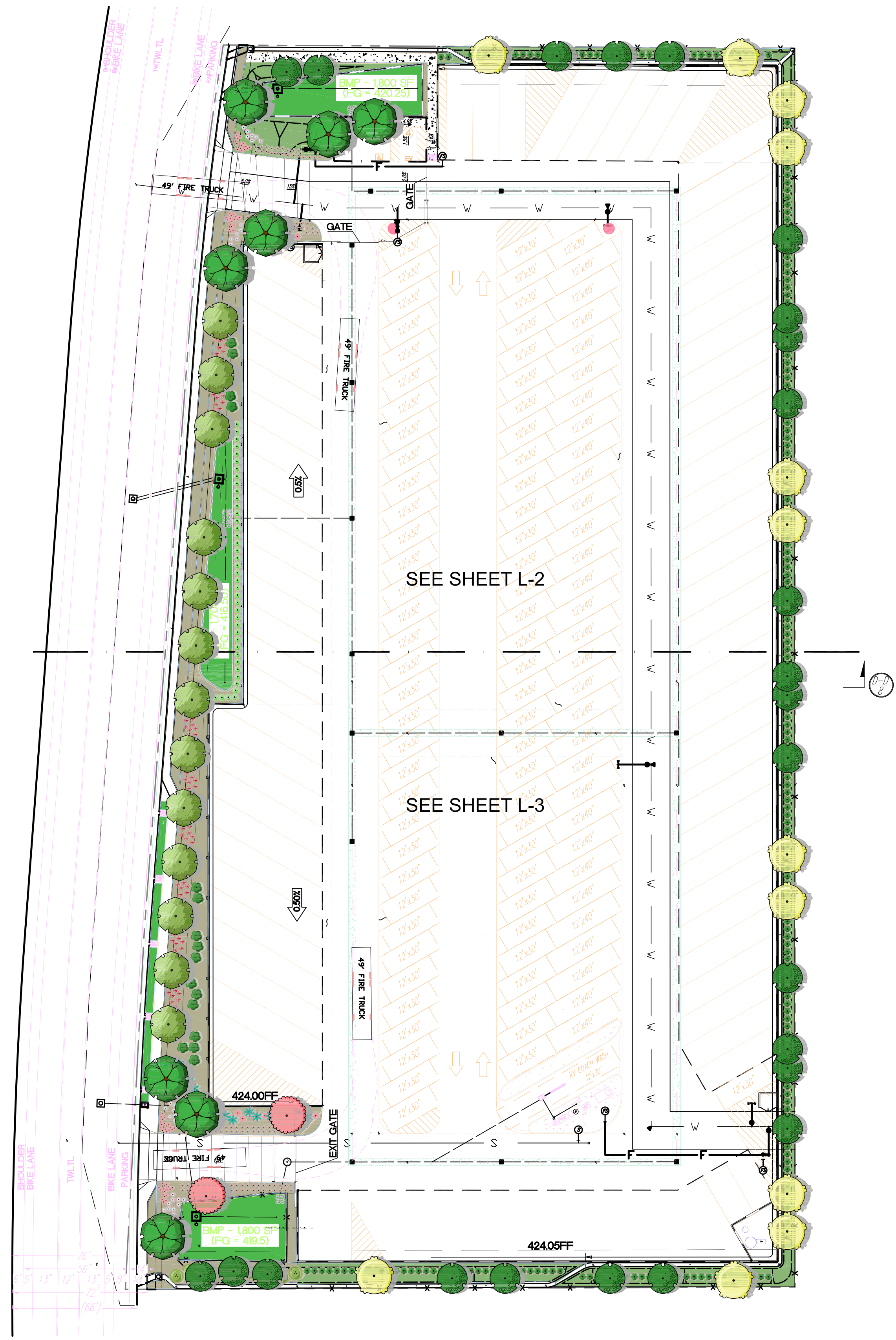
CURB SEPARATION/ ADDITIONAL ROOT BARRIER NOTE

IN ADDITION TO ROOT BARRIERS OTHERWISE SPECIFIED ON THESE PLANS, ROOT BARRIERS SHALL BE INSTALLED WHEREVER A MINIMUM TEN (10) FOOT SEPARATION AS MEASURED BETWEEN BARRIER CURBS IS NOT PRESENT.

GRAVES AVENUE RV STORAGE
 Santee, California

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	WATER (KC)	QTY	
TREES					
	GINKGO BILOBA 'AUTUMN GOLD' AUTUMN GOLD MAIDENHAIR TREE	24 IN. BOX	MOD. 5	12	
	PRUNUS CAROLINIANA CAROLINA LAUREL CHERRY STANDARD TRUNK	24" BOX	MOD. 5	24	
	QUERCUS ILEX HOLLY OAK	24 IN. BOX	LOW. 2	8	
	TRISTANIA CONFERTA BRISBANE BOX OR OTHER STREET TREE SPECIES	24 IN. BOX	MOD. 5	13	
	X CHITALPA TASHKENTENSIS 'PINK DAWN' PINK DAWN CHITALPA	48" BOX	MOD. 5	2	
SHRUBS					
	AGAVE ATTENUATA AGAVE	5 GAL	LOW. 2	27	
	AGAVE X 'BLUE FLAME' BLUE FLAME AGAVE	5 GAL	LOW. 2	55	
	ALOE SAPONARIA SOAP ALOE	4" POT	LOW. 2	60	
	CISTUS X PURPUREUS ORCHID ROCKROSE	5 GAL	LOW. 2	10	
	DIANELLA REVOLUTA 'DTNOS' BABY BLISS® FLAX LILY	5 GAL	LOW. 2	137	
	EUPHORBIA TIRUCALLI 'STICKS ON FIRE' PENCIL TREE	5 GALLON	LOW. 2	6	
	HESPERALOE PARVIFLORA RED YUCCA	5 GALLON	LOW. 2	80	
	MELALEUCA NESOPHILA PINK MELALEUCA MULTI-TRUNK	5 GALLON	LOW. 2	6	
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY	5 GALLON	LOW. 2	201	
	WESTRINGIA FRUTICOSA 'MORNING LIGHT' MORNING LIGHT COAST ROSEMARY	5 GALLON	LOW. 2	42	
SYMBOL	BOTANICAL / COMMON NAME	CONT	WATER (KC)	SPACING	QTY
GROUND COVERS					
	CAREX PRAEGRACILIS/JUNCUS PATENS SLENDER SEDGE/GREY RUSH	1 GAL	MOD. 5	18" o.c.	5,896 SF
	ROSMARINUS OFFICINALIS 'PROSTRATUS' DWARF ROSEMARY	1 GAL	LOW. 2	24" o.c.	10,531 SF
NON LIVING GROUND COVER					
	BARK MULCH BARK MULCH	3 IN DEPTH			13,694 SF



LANDSCAPE PLAN

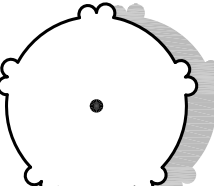

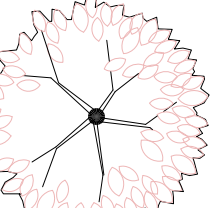
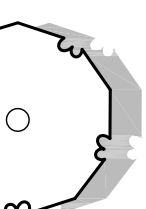
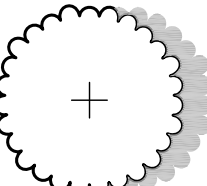











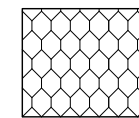
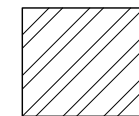
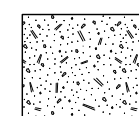
AHLES
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ARCHITECTURE INC.
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email: ala@ahlesland.com
CA# 2538

PROJECT NO.: 2306
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INITIAL MAR 23
13 JUL 23
22 SEP 23
23 FEB 24

GRAVES AVENUE RV STORAGE
Santee, California

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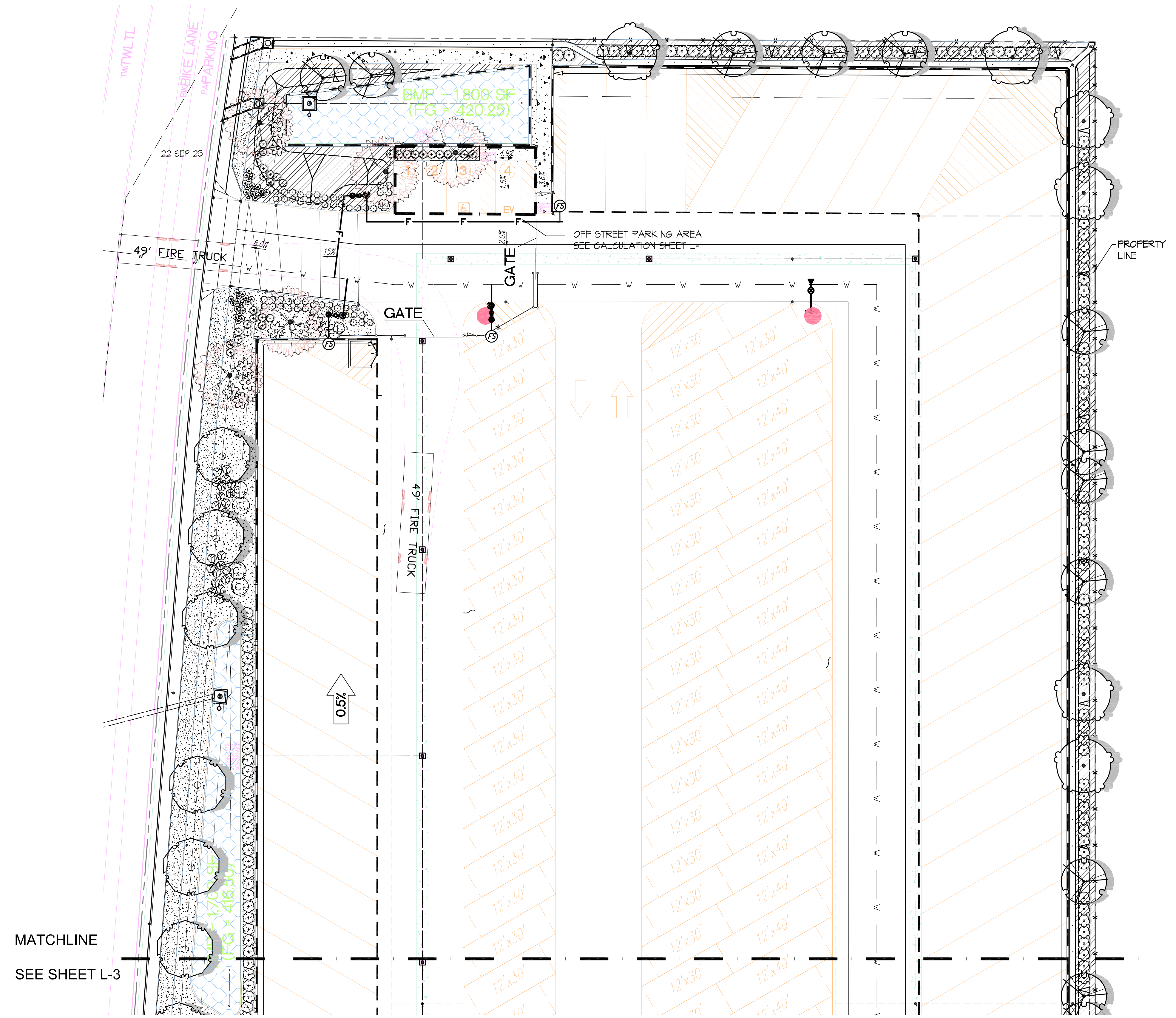
PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	WATER (KG)	QTY	
	GINKGO BILOBA 'AUTUMN GOLD' AUTUMN GOLD MAIDENHAIR TREE	24 IN. BOX	MOD. 5	12	
	PRUNUS CAROLINIANA CAROLINA LAUREL CHERRY STANDARD TRUNK	24" BOX	MOD. 5	24	
	QUERCUS ILEX HOLLY OAK	24 IN. BOX	LOW. 2	6	
	TRISTANIA CONFERTA BRISBANE BOX OR OTHER STREET TREE SPECIES	24 IN. BOX	MOD. 5	13	
	X CHITALPA TASHKENTENSIS 'PINK DAWN' PINK DAWN CHITALPA	48" BOX	MOD. 5	2	
SHRUBS	BOTANICAL / COMMON NAME	CONT	WATER (KG)	QTY	
	AGAVE ATTENUATA AGAVE	5 GAL	LOW. 2	21	
	AGAVE X 'BLUE FLAME' BLUE FLAME AGAVE	5 GAL	LOW. 2	55	
	ALOE SAPONARIA SOAP ALOE	4" POT	LOW. 2	60	
	CISTUS X PURPUREUS ORCHID ROCKROSE	5 GAL	LOW. 2	10	
	DIANELLA REVOLUTA 'DTN03' BABY BLISS: FLAX LILY	5 GAL	LOW. 2	130	
	DIANELLA REVOLUTA 'DTN03' BABY BLISS: FLAX LILY	5 GAL	LOW. 2	130	
	EUPHORBIA TIRUCALLI 'STICKS ON FIRE' PENCIL TREE	5 GALLON	LOW. 2	6	
	HESPERALOE PARVIFLORA RED YUCCA	5 GALLON	LOW. 2	80	
	MELALEUCA NESOPHILA PINK MELALEUCA MULTI-TRUNK	5 GALLON	LOW. 2	6	
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' TUSCAN BLUE ROSEMARY	5 GALLON	LOW. 2	201	
	WESTRINGIA FRUTICOSA 'MORNING LIGHT' MORNING LIGHT COAST ROSEMARY	5 GALLON	LOW. 2	42	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	WATER (KG)	SPACING	QTY
	CAREX PRAEGRACILIS/JUNCUS PATENS SLENDER SEDGE/GREY RUSH	1 GAL	MOD. 5	18" o.c.	5,097 SF
	ROSMARINUS OFFICINALIS 'PROSTRATUS' DWARF ROSEMARY	1 GAL	LOW. 2	24" o.c.	10,591 SF
NON-LIVING GROUND COVER	BOTANICAL / COMMON NAME	CONT	WATER (KG)	SPACING	QTY
	BARK MULCH BARK MULCH	3 IN DEPTH			13,643 SF

Landscape Plan for:
GRAVES AVE. RV STORAGE
SANTEE, CALIFORNIA

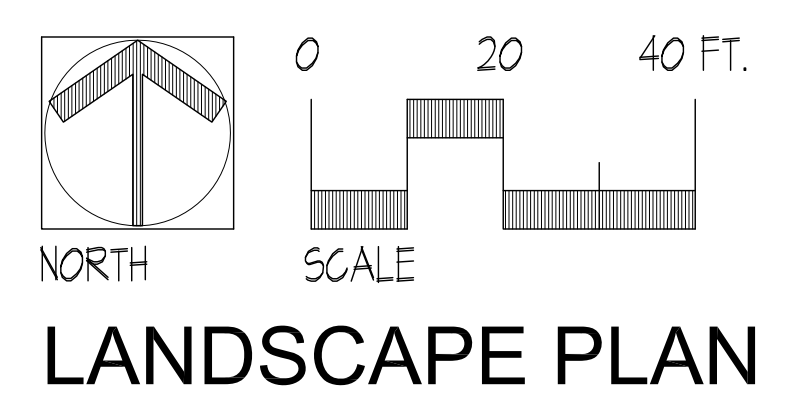
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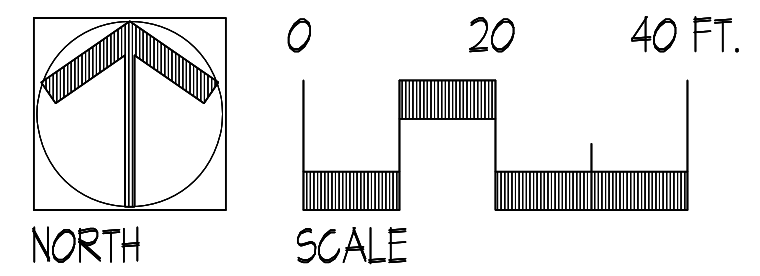
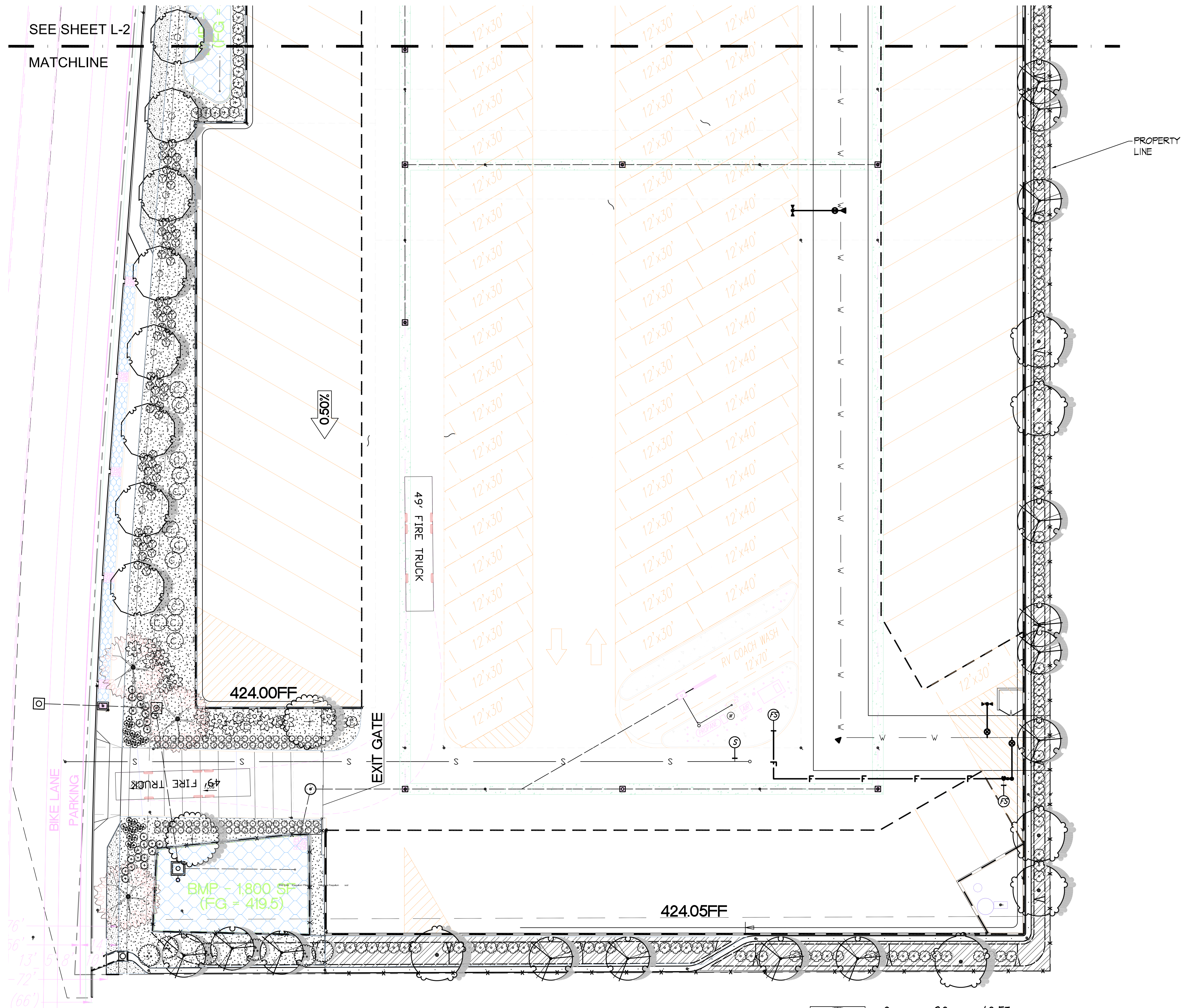
PROJECT NO.: 2306
ISSUE
INITIAL MAR 23
13 JUL 23
22 SEP 23
23 FEB 24



GRAVES AVENUE RV STORAGE
Santee, California

L-2





LANDSCAPE PLAN

GRAVES AVENUE RV STORAGE
Santee, California

Appendix B – WATER EFFICIENT LANDSCAPE WORKSHEET



WATER EFFICIENT LANDSCAPE WORKSHEET

DEPARTMENT OF DEVELOPMENT SERVICES
10601 Magnolia Avenue, Santee, CA 92071-1266, (619) 258-4100 ext. 168

This worksheet is filled out by the project applicant for each Point of Connection/Water Meter. Please complete all sections of the worksheet and use additional worksheets if necessary.

1. Project Information

Applicant: CAMERON BROS COMPANY LLC Phone: _____
Address: 10580 PROSPECT AVE, STE 200 Fax: _____
LA JOLLA, CA 92071 Email: _____

Property Owner: CAMERON BROS COMPANY LLC Phone: _____
Address: 10580 PROSPECT AVE, STE 200 Fax: _____
LA JOLLA, CA 92071 Email: _____

Project Address: _____ Project Type: _____
Assessor's Parcel Number: _____ Water Supply Type
(Potable, recycled, well) _____
Total Landscape Area: 27,344 SF Water Purveyor: _____

2. Applicant's/Property Owner's Certification

The design of this project complies with the requirements of the City of Santee Water Efficient Landscape Ordinance.

Applicant's/Property Owner's Signature _____ Date: _____

3. Landscape Documentation Package Checklist:

- Water Efficient Landscape Worksheet
- Soil Management Report
- Landscape Design Plan
- Irrigation Design Plan
- Grading Design Plan

4. Maximum Applied Water Allowance (MAWA) Reference Evapotranspiration (ETo)

Hydrozone #/Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF*IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d	
Regular Landscape Areas								
TREES	0.5	B	.8	0.625	2320	1450.0	45,939	
LANDSCAPE	0.3	D	.8	0.250	19,325	4,831.3	153,064	
BASINS	0.5	D	.8	0.625	5,749	3,593.1	113,031	
				Totals	(A)	(B)		
Special Landscape Areas								
					1			
					1			
					1			
				Totals	(C)	(D)		
							ETWU Total	312,840
							Maximum Allowed Water Allowance (MAWA)^e	390,554

^a Hydrozone #/Planting Description
E.g.
1) front lawn
2) low water use plantings
3) medium water use planting

^b Irrigation Method
Overhead spray or drip

^c Irrigation Efficiency
0.75 for spray head
0.81 for drip

^d ETWU (Annual Gallons Required) =
Eto x 0.62 x ETAF x Area
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per acre per year to gallons per acre per square foot per year

^e MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + (1 - ETAF) x SLA]
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per acre per square foot per year; LA is the total landscape area in square feet; SLA is the total special landscape area in square feet; and ETAF is 0.55 for residential areas and 0.45 for non-residential areas

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	(B)
Total Area	(A)
Average ETAF	B ÷ A

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas

All Landscape Areas

Total ETAF x Area	(B + D)
Total Area	(A + C)
Sitewide ETAF	(B + D) ÷ (A + C)

IES
DSCAPE
HITECTURE INC.
Box 1503
no Santa Fe, CA 92061
756.8963
ala@ahlesland.com

ECT NO.: 2306

MAR 23
13 JUL 23
22 SEP 23
23 FEB 24

GRAVES AVENUE RV STORAGE
Santee, California