

**CITY OF SANTEE
ENGINEERING DEPARTMENT**

**"HOW TO" GUIDE FOR APPLICATION OF
ENCROACHMENT PERMITS***

I. WHEN IS AN ENCROACHMENT PERMIT REQUIRED?

A. An **encroachment permit** is required for laying, constructing, reconstructing or repairing one of the following within the public right-of-way**:

1. Curb
2. Gutter
3. Sidewalk
4. Driveways
5. Highway surfaces
6. Storm drains
7. Culverts
8. Conduits
9. Other appurtenant highway structures

The applicant for shall be a contractor licensed by the State of California to perform the work described in the application. The applicant must perform the work or the work must be performed under his immediate supervision. Some concrete work may be done by a homeowner under an encroachment permit at the discretion of the City Engineer.

B. An **encroachment permit** is required for any excavation, fill, or obstruction (e.g. pipe, conduit, tank, exploratory borings, and monitoring wells) in, over, along, across or through the public right-of-way.

The applicant shall be a contractor licensed by the State of California to perform the work described in the application. The applicant must perform the work or the work must be performed under his immediate supervision.

C. An **encroachment permit** is required for any person or structure other than listed above (e.g. parade, fence, retaining wall, dumpster, tree) encroaching within the public right-of-way.

The applicant shall be the owner of the property adjacent to the right-of-way or any other person authorized by the owner.

* Specific questions regarding permit applications should be directed to the Department of Development Services Engineering Division at (619) 258-4100 ext. 167.

** Public Right-of-Way means public easement or dedications for streets, alleys, drainage ways, and/or other public uses. Check with the Department of Development Services Engineering Division for the right-of-way setback at the subject address.

II. WHEN DO I NEED TO APPLY?

- A. Application for permit shall be made no less than four (4) weeks prior to start of work. Block parties or Parades require 30 days prior to start.

III. WHAT DO I NEED TO SUBMIT FOR APPLICATION?

- A. For **CONSTRUCTION and EXCAVATION PROJECTS** provide the following:

1. Apply through the Santee Online Portal
2. Project plans as required by the Development Services Engineer.
3. One copy of traffic control plans for work requiring detour of traffic (Contact the Traffic Division at 258-4100, ext. 190 for details)
4. Certificate of insurance for \$2 million per occurrence / \$4 million aggregate with the City of Santee named as additionally insured, and an endorsement from the insurance company (See sample on ATTACHMENT 2).
5. Proof of City business license (Contact the Finance Department at 258-4100, ext. 146 for details).
6. Cost estimate by contractor or engineer of work.
7. Permit issuance fee plus inspection fees estimated by the Development Services Engineer per the current Fee Schedule.

- B. For **TEMPORARY WASTE MANAGEMENT DUMPSTERS** provide the following:

1. Applying for a Temporary Encroachment Permit through the Santee Online Portal
2. A site plan indicating where the dumpster will be placed.
3. Provide the size of the dumpster (LxWxH) and how long will the dumpster be placed in the right-of-way.
4. Permit issuance fee per the current Fee Schedule.

IV. WHAT IS NEEDED PRIOR TO ISSUANCE OF THE PERMIT?

- A. All comments and requirements by the Development Services Engineer have been met by the applicant.
- B. Traffic control plans have been accepted by the City Traffic Engineer.

- C. Phone Underground Service Alert if applicable.
- D. Pay all fees and/or set up a deposit account with the amount estimated by the Development Services Engineer.
- E. For Construction and excavation projects, a security deposit in the amount to cover the cleanup and damage of public facilities may be required by the Development Services Engineer.

V. HOW DO I COMPLETE THE ENCROACHMENT PERMIT APPLICATION

- A. Apply through the Santee Online Portal
- B. For **CONSTRUCTION OR EXCAVATION PROJECT** provide applicant, permittee, and contractor contact information.

For **other ENCROACHMENT PROJECTS** provide applicant, permittee, and contractor contact information.
- C. Indicate whether the reference plan is an applicant plot plan or improvement plan
- D. Indicate City business license number
- E. Indicate California state contractor's license number (CSLB).
- F. Contractors must provide a Certificate of Insurance meeting the minimum policy limits and the required endorsement(s) specifically naming the City of Santee as Additionally Insured (see sample on ATTACHMENT 2).
- G. Indicate estimated start and completion date
- H. Indicate description of structure to be installed
- I. Indicate location of work and Assessor's Parcel Number
- J. State the justification for encroachment
- K. Indicate the duration of permit requested
- L. Indicate the dimensions, regional standard drawing used, type of material and instruction for installation
- M. If work is done for a homeowner, the owner must sign. For private work, principle or agent of corporation or firm must sign.

VI. HOW DO I PREPARE A PLOT PLAN? (See sample on ATTACHMENT 3)

- A. Obtain the City title block template from the City's website.
- B. Draw to engineer's scale (e.g. 1 inch = 10 feet or an appropriate scale) (DO NOT

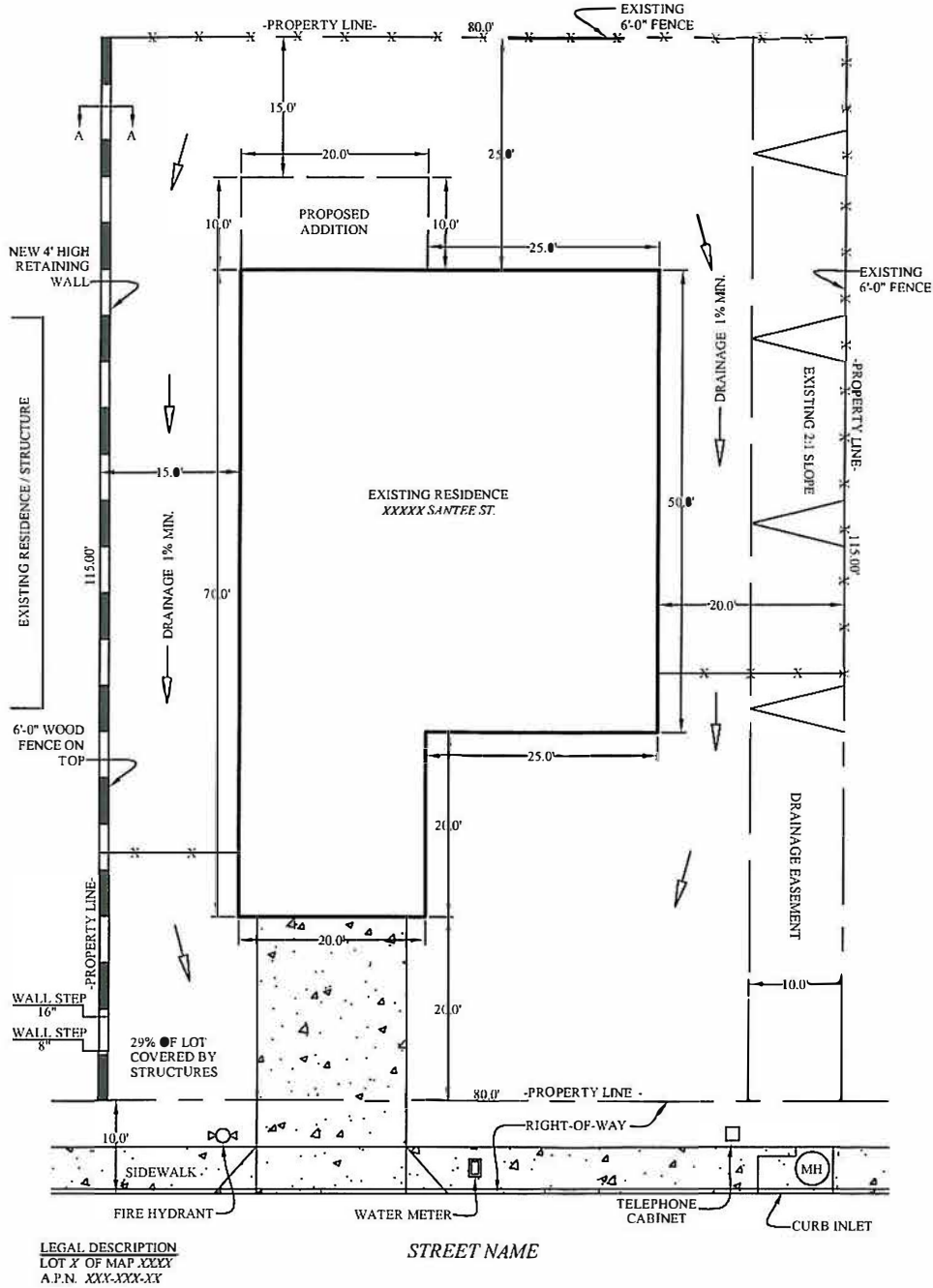
use Architect's scale, e.g. 1/16 inch = 1 foot)

- C. Draw in CAD or a pencil using a straight edge. All drawings must be neat and details must adhere to city guidelines.
 - D. Draw property lines with dimensions
 - E. Show all easements which encumber the property
 - F. Indicate right-of-way distance from curb line
 - G. Draw and label all existing buildings, improvements (e.g. curb, gutter, sidewalk), drainage structures, and utilities on-site and off-site
 - H. Indicate distance from buildings to property line
 - I. Show location of proposed work or encroachment with dimensions; indicate standard drawing used for construction if applicable
 - J. Provide section view to clarify the proposed work
 - K. Show north arrow with scale used
 - L. Indicate legal description with lot number, map number
 - M. Indicate Assessor Parcel Number and address
 - N. Complete title block with purpose of permit, owners name and telephone number
 - O. Padre Dam Municipal Water District's approval (Contact PDMWD at 448-3111)
 - P. **Check Prints** and **Revised Plans** shall be submitted on all subsequent plan checks.
- VII. ATTACHMENTS
- ATTACHMENT 1 – Sample plot plan
 - ATTACHMENT 2 – Reference details

PLOT PLAN

SAMPLE COPY FOR INFORMATION ONLY

SCALE 1" = 20'



LEGAL DESCRIPTION
LOT X OF MAP XXXY
A.P.N. XXX-XXX-XY

STREET NAME

ACCEPTED: _____

BY: _____
ENGINEERING DIVISION

CITY OF SANTEE

DEPARTMENT OF DEVELOPMENT SERVICES

PLANS FOR: A KEYSTONE RETAINING WALL, (SITE ADDRESS)

OWNER: JOE SANTEE

PHONE NO.: (619) XXX-XXXX

PERMIT NO. _____

SHEET X OF X

PLOT PLAN LEGEND

NORTH ARROW WITH SCALE



FIRE HYDRANT



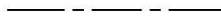
MANHOLE



FENCE



PROPERTY LINE - P_L -



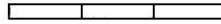
DIRECTION OF DRAINAGE



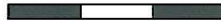
DESCRIPTIVE ARROW



EXISTING RETAINING WALL



NEW RETAINING WALL



UTILITY CABINET



WATER METER



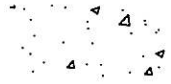
POWER POLE



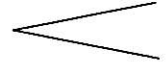
STREET LIGHT



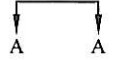
CONCRETE



EXISTING SLOPE



RETAINING WALL SECTION

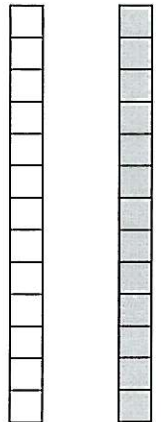


GENERAL INFORMATION

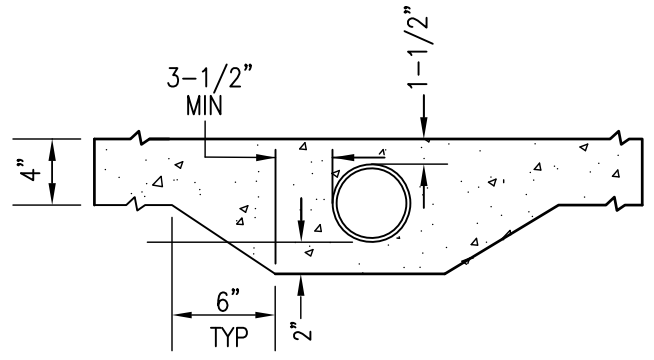
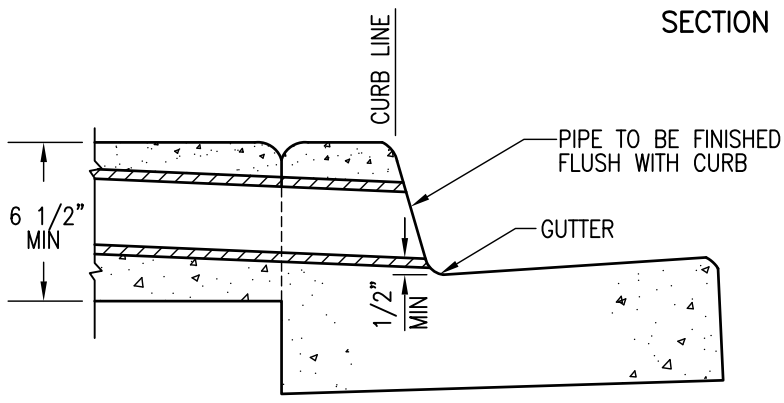
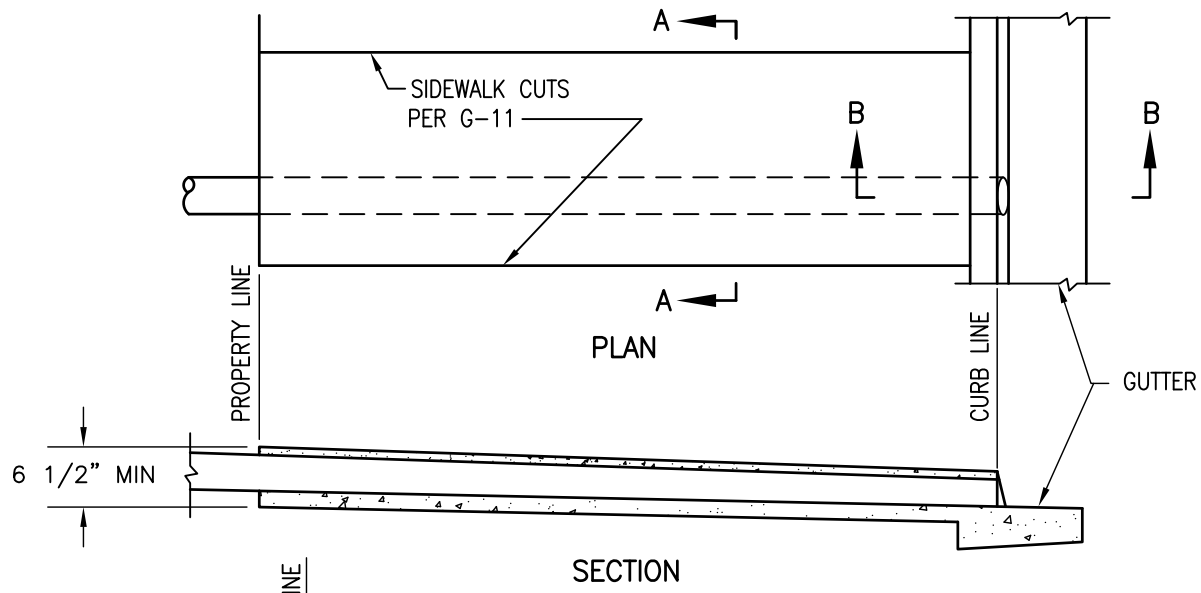
- A. CERTAIN APPLICATIONS NEED ADDITIONAL INFORMATION AND SIDE VIEWS OF STRUCTURES (ELEVATIONS) ARE ALSO REQUIRED IN SOME CASES. PLEASE CONSULT THE APPLICANT'S GUIDE, IF AVAILABLE FOR YOUR APPLICATION, OR CONTACT THE PLANNING DIVISION FOR ZONING INFORMATION.
- B. FOR ZONING INFORMATION OR SET BACK INFORMATION PLEASE CONTACT THE PLANNING DIVISION OR CALL CALL (619) 258-4100 EXT. 152 .
- C. FOR EASEMENTS OR PROPERTY LINE INFORMATION PLEASE CONTACT THE ENGINEERING DIVISION OR CALL (619) 258-4100 EXT 156.

CHECK LIST

1. ENGINEERS SCALE NOTED THAT PLOT PLAN WAS DRAWN TO A SPECIFIC SCALE
2. NORTH ARROW SHOWN.
3. DRIVEWAY LOCATIONS AND CURB CORE LOCATIONS SHOWN.
4. LABEL ALL STRUCTURES, PROPOSED AND EXISTING.
5. NOTE THE PERCENTAGE OF LOT COVERED BY STRUCTURES.
6. ALL PROPERTY LINES ARE DIMENSIONED AND LABELED ON ALL SIDES.
7. STREET NAME SHOWN WITH ALL EASEMENTS IDENTIFIED.
8. INDICATE ALL SETBACKS FROM STRUCTURES TO PROPERTY LINES.
9. INDICATE ALL EXISTING SLOPES AND THE DRAINAGE OF THE LOT.
10. INDICATE MAP NUMBER, LOT NUMBER, AND ASSESSOR'S PARCEL NUMBER.
11. OWNERS NAME, ADDRESS, AND PHONE NUMBER INDICATED ON TITLE BLOCK.
12. DESCRIPTION OF PROPOSED PROJECT INDICATED ON TITLE BLOCK.
13. DIMENSION PROPOSED PROJECT ON ALL SIDES.



(CITY USE ONLY)



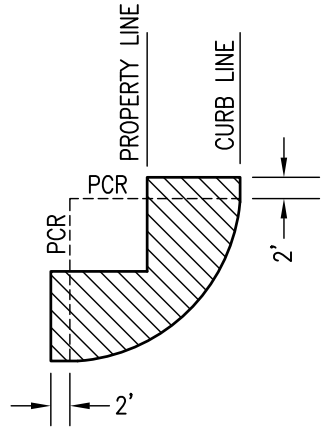
SECTION B-B

SECTION A-A

APPROVED DRAIN PIPE SIZES	
PIPE SIZE	CURB HEIGHT AT CURB FACE
3"	6" TO 8"
4"	8"
6"	10"

NOTES

1. PIPE SHALL BE ONE CONTINUOUS LENGTH FROM PROPERTY LINE TO CURB LINE.
2. MULTIPLE PIPES TO BE SET A MINIMUM DISTANCE OF D/2 APART (3 MAX).
3. CONCRETE SHALL BE 520-C-2500.
4. PIPE SHALL BE CIRCULAR RIGID PLASTIC OR APPROVED EQUAL.
5. CORING OF EXISTING CURB MAY BE USED AS AN ALTERNATIVE.
6. PROVIDE 1/4" TOOLED GROOVE IN TOP SLAB IN LINE WITH BACK OF ADJACENT CURB.



DRAIN SHALL NOT BE CONSTRUCTED WITHIN THE HATCHED AREA
BLOCK CORNER

Revision	By	Approved	Date
ORIGINAL		Kercheval	12/75
Edited	T.R.	T. Regello	10/15
Edited	M.W.	M. Widelski	10/18
Reviewed	RP	S. Engeda	03/22

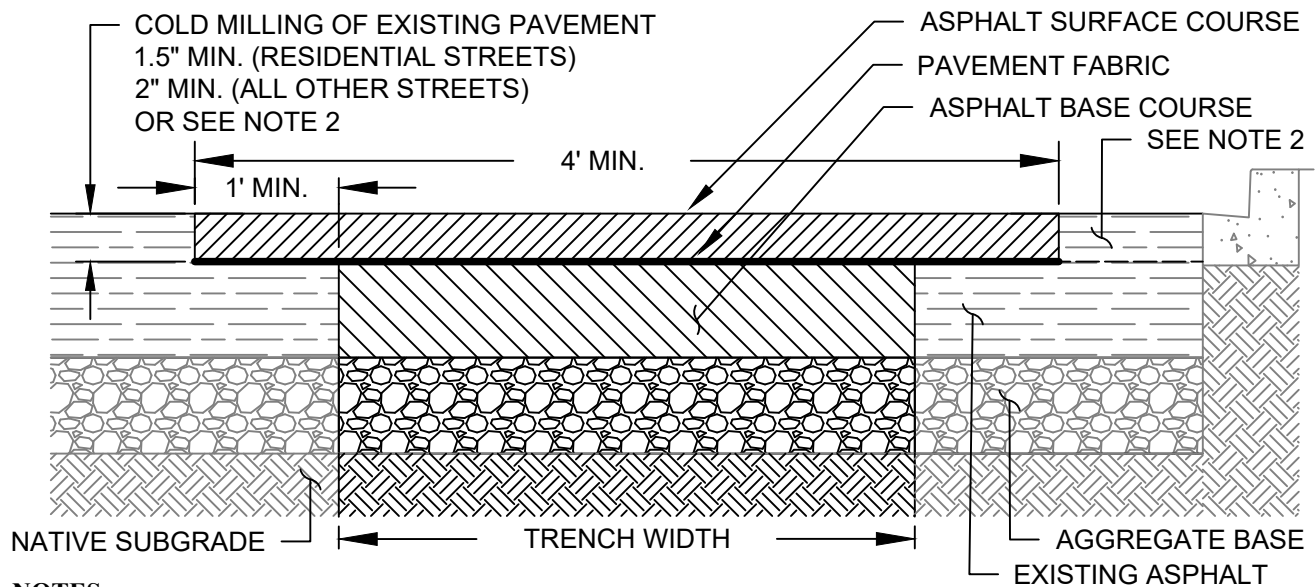
SAN DIEGO REGIONAL STANDARD DRAWING

SIDEWALK UNDERDRAIN PIPE

RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARDS COMMITTEE

Samantha Engeda 03/24/2022
Chairperson R.C.E. 52241 Date

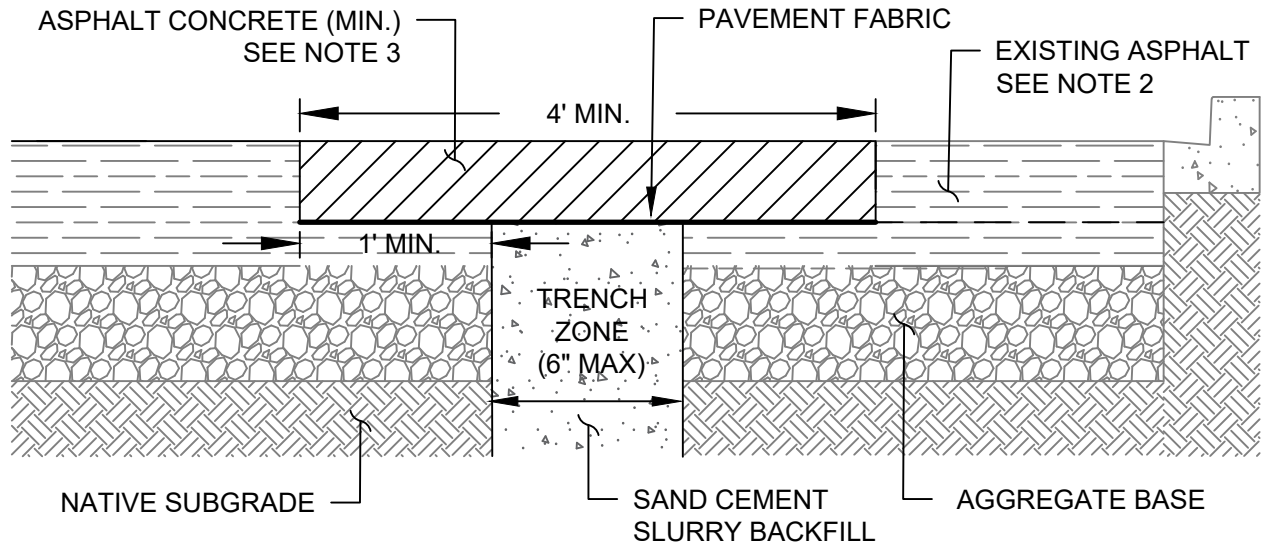
DRAWING NUMBER **D-27**



NOTES:

1. Specifications reference the Standard Specifications for Public Works Construction "Green Book" Latest Edition.
2. Existing asphalt shall be saw-cut or cold milled in a clean manner without chipping or breaking the adjacent pavement. All edges shall be clean and vertical. All cuts shall be parallel or perpendicular to the street centerline, with 90 degree corners whenever practical. If existing asphalt concrete is less than 3-inches thick, a "T-cap" is not required and the entire trench asphalt section shall be Class C2 asphalt concrete mix.
3. The minimum trench restoration structural thickness shall be 3-inches of asphalt concrete over 6-inches of aggregate base or shall match the existing structural section of asphalt concrete and aggregate base whichever is greater. When the edge of trench lies within 4-feet of any curb, gutter or lane line, the surface course restoration shall be extended to the curb, gutter or lane line. The limits of trench resurfacing shall extend to the lane line on a multi-lane streets or non-residential streets. Surface course shall be placed within 30 days by a paving machine unless otherwise approved by the City. Asphalt concrete shall be placed in accordance to Section 306-13 without the additional 1-inch of asphalt concrete as specified. After completion of the surface course, the perimeter of the trench shall be seam sealed.
4. Asphalt sections less than 4-inches thick shall be asphalt surface course mix only. Asphalt sections 4-inches thick or greater shall be placed in multiple lifts with a base course of asphalt concrete with no lift permitted greater than 4-inches thick. The minimum base course thickness shall be 2.5-inches thick.
5. Aggregate base materials shall be Crushed Aggregate Base, Crushed Miscellaneous Base, Pulverized Miscellaneous Base per Section 200-2 or Caltrans Class II Base. Processed Miscellaneous Base is not permitted.
6. Asphalt concrete materials shall conform to the following:
 - Asphalt Base Course: Grade and Class: PG 64-10, B (Section 203-6.4.4) or B2, B3 (Section 203-6.5.4)
 - Asphalt Surface Course: Grade and Class: PG 64-10, C2 (Section 203-6.4.4) or C2 (Section 203-6.5.4)
7. Pavement fabric shall be in accordance to the City's approved materials list. Petromat is not permitted. Pavement fabric shall be placed in accordance to Section 302-7 and to the manufacture's requirements. Tack coat for pavement fabric shall be in accordance to the manufacturer's requirements.
8. Additional placement of slurry seal or chip seals shall be applied as required by the City for recently resurfaced streets. Trench restorations which do not meet these requirements are subject to removal and replacement.
9. Third party compaction testing is required for all asphalt concrete pavement. Test results shall be submitted to the City within 7 days from completion of asphalt work.

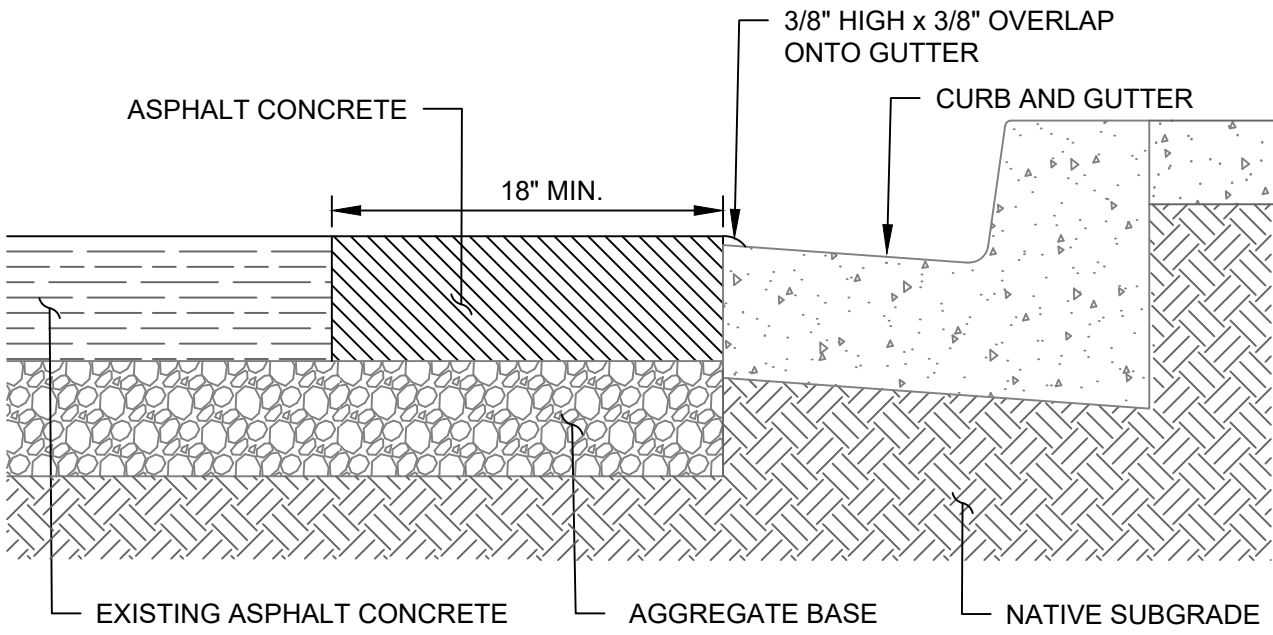
REVISION	APPROVED	DATE	CITY OF SANTEE STANDARD DRAWING	APPROVED:		
ORIGINAL	C. SCHMITZ	3/21/2018		TRENCH RESURFACING		
RUBBERIZED ASPHALT	S. MILLER	8/30/2018				CITY ENGINEER
RUBBERIZED ASPHALT	T. ESPINOLA	4/26/2022				R.C.E. 60112 DATE: 6/8/2023
				DRAWING NUMBER	PW - 01	



NOTES:

1. Specifications reference the Standard Specifications for Public Work Construction "Green Book" Latest Edition.
2. Existing asphalt shall be saw-cut or cold milled in a straight, clean manner without chipping or breaking the adjacent pavement. All edges shall be clean, vertical and made parallel or perpendicular to the street centerline, with 90 degree corners whenever practical. Trench zone area will not require saw-cutting when using a rockwheel for excavation. "T-cap" asphalt area shall be saw-cut or cold milled.
3. The trench restoration structural thickness shall be a minimum of 3-inches of asphalt concrete for residential streets and 4-inches of asphalt concrete for non-residential streets. When the edge of trench lies within 4-feet of any curb, gutter or lane line, the surface course restoration shall be extended to the curb, gutter or lane line. The limits of trench resurfacing shall extend to the lane line on a multi-lane or non residential streets. Asphalt concrete surface course shall be placed with a paving machine unless otherwise approved by the City. Asphalt concrete shall be placed between 7-14 days after placement and curing of slurry backfill. Asphalt concrete shall be placed in accordance to Section 306-13 without the 1-inch of additional asphalt concrete as specified.
4. Sand cement slurry backfill shall be 190-E-400. Cement slurry shall have a minimum slump of 4-inches and shall be thoroughly consolidated by use of tampers or vibrating equipment.
5. Asphalt concrete materials shall conform to the following:
 Asphalt Concrete: Grade and Class: PG 64-10, C2 (Section 203-6.4.4) or C2 (Section 203-6.5.4)
6. Pavement fabric material shall be in accordance to the City's approved materials list. Petromat is not permitted. Pavement fabric shall be placed in accordance to Section 302-7 and to the manufacturer's requirements. Tack coat for pavement fabric shall be in accordance to the manufacturer's requirements.
7. Additional placement of slurry seal or chip seals shall be applied as required by the City for recently resurfaced streets. Trench restorations which do not meet these requirements are subject to removal and replacement.

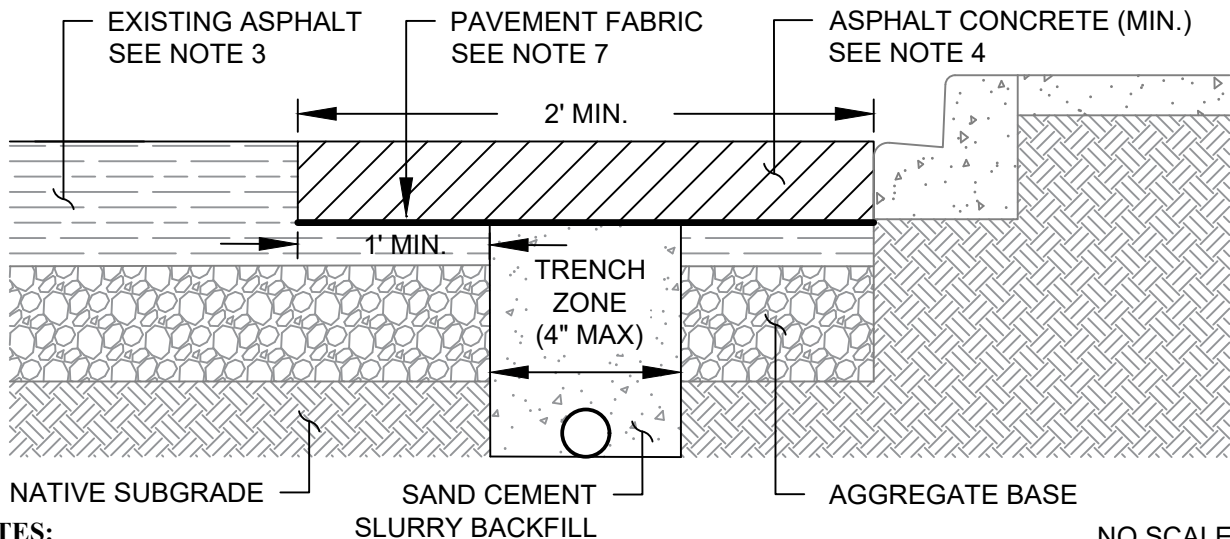
REVISION	APPROVED	DATE	CITY OF SANTEE STANDARD DRAWING	APPROVED:
ORIGINAL	C. SCHMITZ	5/10/2018		NARROW TRENCH RESURFACING
RUBBERIZED ASPHALT	S. MILLER	8/30/2018	CITY ENGINEER	
SAND SLURRY	S. MILLER	6/6/2022	R.C.E. 60112 DATE: 7/17/2023	
ASPHALT SECTIONS	S. MILLER	7/17/2023	DRAWING NUMBER PW - 02	



NOTES:

1. Specifications reference the Standard Specifications for Public Work Construction "Green Book" Latest Edition
2. Existing asphalt shall be saw-cut or cold milled in a straight, clean manner without chipping or breaking the adjacent pavement. All edges shall be clean and vertical. All cuts shall be parallel or perpendicular to the street centerline with 90 degree corners whenever practical.
3. Upon removal of existing asphalt concrete, slot patch area shall be filled in flush to finish grade with temporary asphalt concrete to maintain pedestrian crossing areas, at pedestrians ramps or to maintain vehicular traffic until the final asphalt concrete restoration is completed.
4. Asphalt concrete restoration shall be placed within of 7-days after placement of curbs and gutters. Asphalt concrete restoration shall match the existing structural section of asphalt concrete and shall be a minimum of 3-inches thick on residential streets or 6-inches thick non-residential streets whichever is greater. Asphalt concrete pavement shall be placed in accordance to Section 306-13 without the additional 1-inch of asphalt concrete as specified. After completion of asphalt concrete paving, the perimeter of the trench shall be seam sealed.
5. Asphalt concrete shall be placed in two lifts with no lift permitted greater than 4-inches thick.
6. Asphalt concrete materials shall conform to the following:
Asphalt Concrete: Grade and Class: PG 64-10, C2 (Section 203-6.4.4) or C2 (Section 203-6.5.4)
7. Additional placement of slurry seal or chip seals shall be applied as required by the City for recently resurfaced streets or those streets within a trench cut moratorium area. Asphalt restorations which do not meet these requirements are subject to removal and replacement.

REVISION	APPROVED	DATE	CITY OF SANTEE STANDARD DRAWING	APPROVED:
ORIGINAL	C. SCHMITZ	3/20/2018		SLOT TRENCH RESURFACING
RUBBERIZED ASPHALT	S. MILLER	8/30/2018	CITY ENGINEER	
ASPHALT CONCRETE	S. MILLER	6/6/2022	R.C.E. 60112 DATE: 6/8/2023	
				DRAWING NUMBER PW - 03



NOTES:

SAND CEMENT SLURRY BACKFILL

NO SCALE

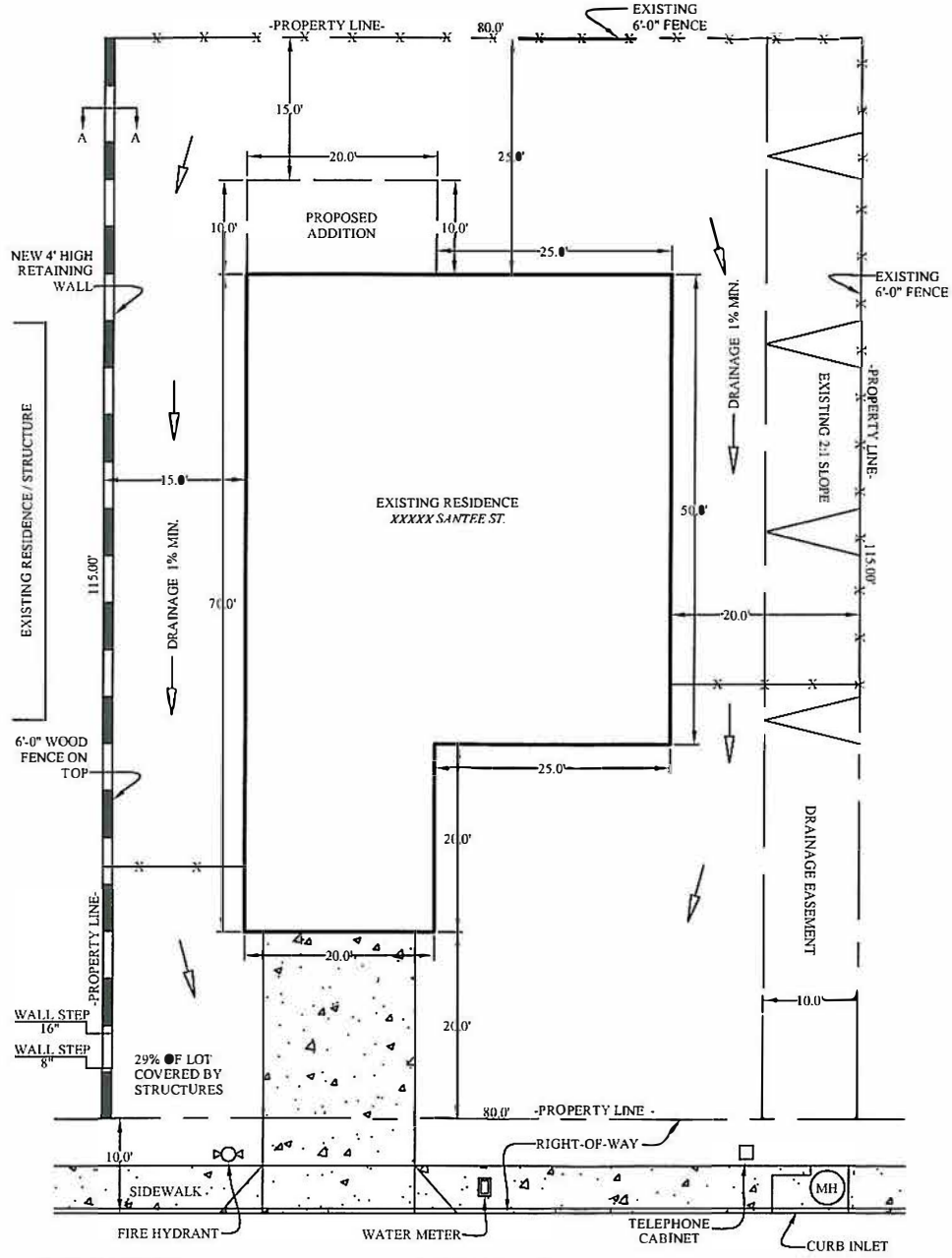
1. Microtrenching shall be used for fiber optic facilities only in compliance with Senate Bill 378 and within 4-feet of curbs and gutters. Where microtrenching crosses streets, intersections or perpendicular to gutters, the trench resurfacing shall be in accordance to the Narrow Trench Resurfacing detail. Direct bury cabling is not permitted. Micro trench conduits shall be placed 24-inches minimum below finish grade of asphalt concrete unless otherwise approved.
2. Specifications reference the Standard Specifications for Public Work Construction "Green Book" Latest Edition.
3. Existing asphalt shall be saw-cut or cold milled in a straight, clean manner without chipping or breaking the adjacent pavement. All edges shall be clean and vertical. All cuts shall be parallel or perpendicular to the street centerline, with 90 degree corners whenever practical. Trench zone area will not require saw-cutting when using a rock wheel for excavation. "T-cap" asphalt area shall be saw-cut or cold milled.
4. The trench restoration structural thickness shall be a minimum of 3-inches of asphalt concrete for residential streets and 4-inches of asphalt concrete for non-residential streets. When the edge of trench lies within 4-feet of any curb, gutter or lane line, the surface course restoration shall be extended to the curb, gutter or lane line. The limits of trench resurfacing shall extend to the lane line on a multi-lane street or non-residential streets. Surface course shall be placed with a paving machine unless otherwise approved by the City. Asphalt shall be placed between 7-14 days after placement and curing of slurry backfill. Asphalt concrete shall be placed in accordance to Section 306-13 without the additional 1-inch of asphalt concrete as specified. After completion of asphalt paving, the perimeter of the trench shall be seam sealed.
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8. Additional placement of slurry seal or chip seals shall be applied as required by the City for recently resurfaced streets. Trench restorations which do not meet these requirements are subject to removal and replacement.
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REVISION	APPROVED	DATE	CITY OF SANTEE STANDARD DRAWING	APPROVED:
ORIGINAL	C. SCHMITZ	5/3/2023		MICRO TRENCH RESURFACING
ASPHALT SECTION	S. MILLER	7/17/2023		
				R.C.E. 60112 DATE: 7/17/2023
				DRAWING NUMBER PW - 41

PLOT PLAN

SAMPLE COPY FOR INFORMATION ONLY

SCALE 1" = 20'



LEGAL DESCRIPTION
LOT X OF MAP XXXY
A.P.N. XXX-XXX-XY

STREET NAME

ACCEPTED: _____

BY: _____
ENGINEERING DIVISION

CITY OF SANTEE

DEPARTMENT OF DEVELOPMENT SERVICES

PLANS FOR: A KEYSTONE RETAINING WALL, (SITE ADDRESS)

OWNER: JOE SANTEE

PHONE NO.: (619) XXX-XXXX

PERMIT NO. _____

SHEET X OF X

PLOT PLAN LEGEND

NORTH ARROW WITH SCALE



FIRE HYDRANT



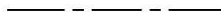
MANHOLE



FENCE



PROPERTY LINE - P_L -



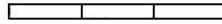
DIRECTION OF DRAINAGE



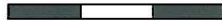
DESCRIPTIVE ARROW



EXISTING RETAINING WALL



NEW RETAINING WALL



UTILITY CABINET



WATER METER



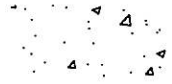
POWER POLE



STREET LIGHT



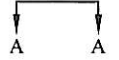
CONCRETE



EXISTING SLOPE



RETAINING WALL SECTION



GENERAL INFORMATION

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- B. FOR ZONING INFORMATION OR SET BACK INFORMATION PLEASE CONTACT THE PLANNING DIVISION OR CALL CALL (619) 258-4100 EXT. 152 .
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CHECK LIST

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9. INDICATE ALL EXISTING SLOPES AND THE DRAINAGE OF THE LOT.
10. INDICATE MAP NUMBER, LOT NUMBER, AND ASSESSOR'S PARCEL NUMBER.
11. OWNERS NAME, ADDRESS, AND PHONE NUMBER INDICATED ON TITLE BLOCK.
12. DESCRIPTION OF PROPOSED PROJECT INDICATED ON TITLE BLOCK.
13. DIMENSION PROPOSED PROJECT ON ALL SIDES.

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(CITY USE ONLY)