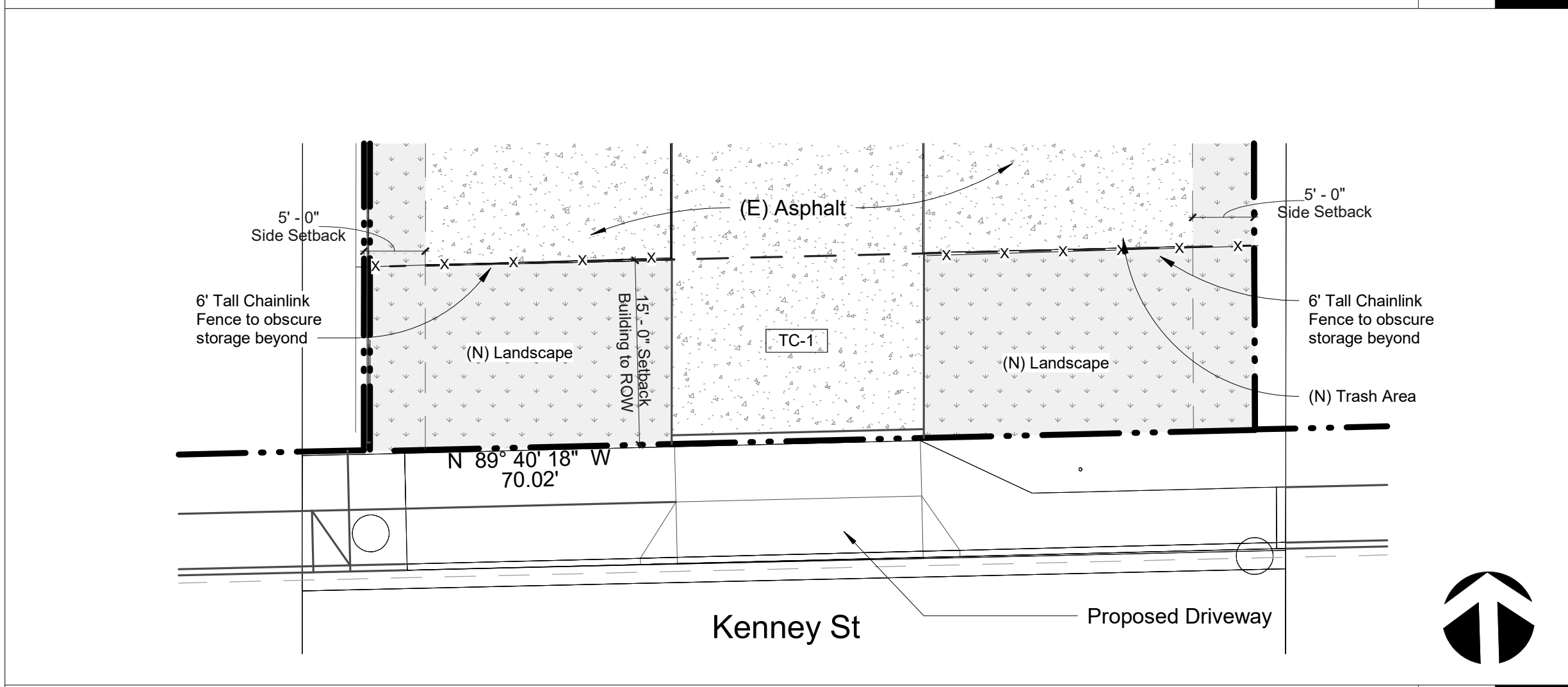
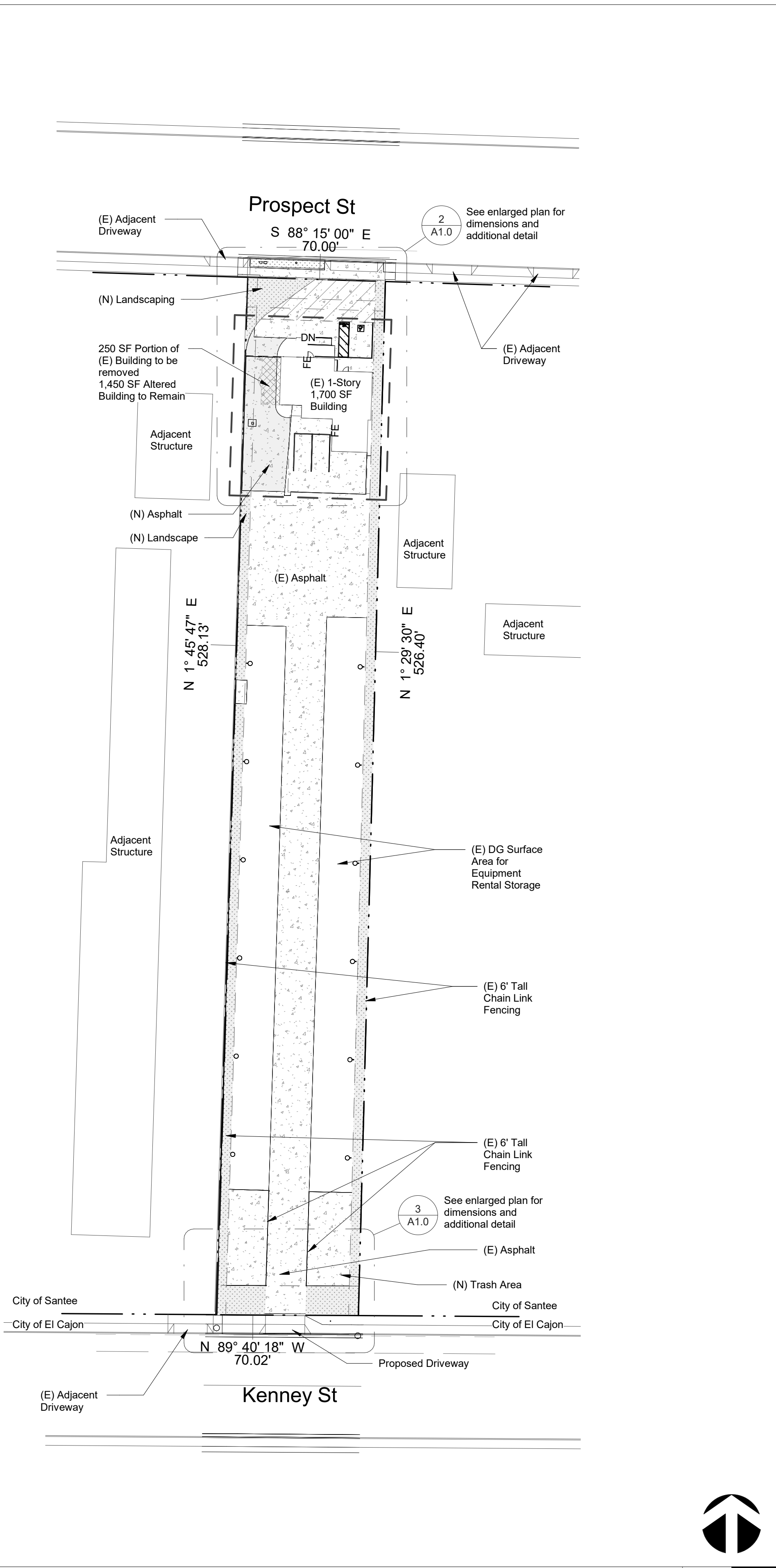


Site Plan- North
1" = 10'-0" 2



Site Plan - South
1" = 10'-0" 3



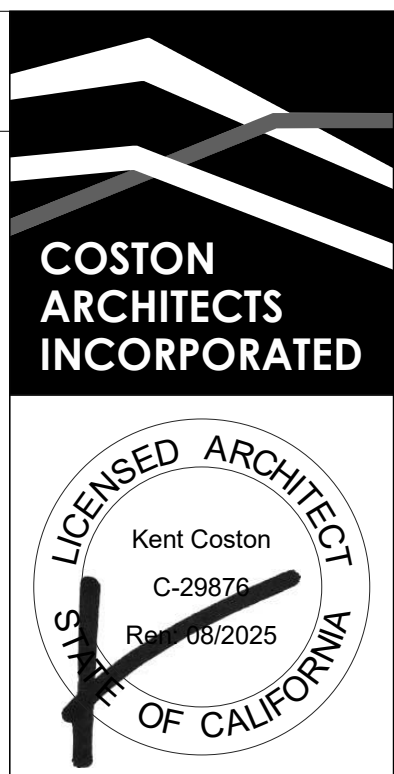
Overall Site Plan
1" = 40'-0" 1

BMP Legend

- Materials and Waste Management BMPs:**
- WM-1 Materials delivery & storage
 - WM-4 Spill prevention & control
 - WM-8 Concrete waste management
 - WM-5 Solid waste management
 - WM-9 Sanitary waste management
 - WM-6 Hazardous waste management
- Temporary Runoff Control BMPs:**
- SS-2 Preservation of existing vegetation
 - SS-3 Bonded or stabilized fiber (winter)
 - SS-4 Hydroseeding (summer)
 - SS-6 SS-8 Straw or wood mulch
 - SS-7 Physical Stabilization (winter)
 - SS-10 Energy Dissipator
 - SC-1 Silt fence
 - SC-2 Sediment/Desilting Basin
 - SC-5 Fiber rolls
 - SC-6 SC-8 Gravel or sand bags
 - SC-10 Storm drain inlet protection
 - NS-2 Dewatering filtration
 - TC-1 Stabilized Construction Entrance
 - TC-2 Construction Road Stabilization
 - TC-3 Entrance/Tire Wash
- Post-Construction Site Design BMPs:**
- 4.3.1 Maintain natural drainage pathways & hydrologic features
 - 4.3.2 Conserve natural areas, soils, & vegetation
 - 4.3.3 Minimize impervious area
 - 4.3.4 Minimize soil compaction
 - 4.3.5 Impervious area dispersion
 - 4.3.6 Runoff collection
 - 4.3.7 Landscape with native or drought tolerant species
 - 4.3.8 Harvesting and using precipitation
- Post Construction Source Control BMPs:**
- 4.2.1 Prevention of illicit discharges into the MS4
 - 4.2.2 Storm drain stenciling & posting of signage
 - 4.2.3 Protected outdoor materials storage areas
 - 4.2.4 Protect materials stored in outdoor work areas
 - 4.2.5 Protect trash storage areas
- Lower Impact Development BMPs:**
- LID 2.2.1 Conservation of natural drainage, well drained soils and significant vegetation
 - LID 2.2.2 Minimize disturbances to natural drainage
 - LID 3.1 Hydrologic Design
 - LID 3.7 Landscape design

Site Plan Legend

- Existing Building
- Existing Hardscape
- New Hardscape
- Existing Grass/Landscape
- New Grass/Landscape
- Existing ROW Easement
- Property Line
- Setback
- Limit of Work
- Existing Pole Mounted Light on 12' Tall Pole



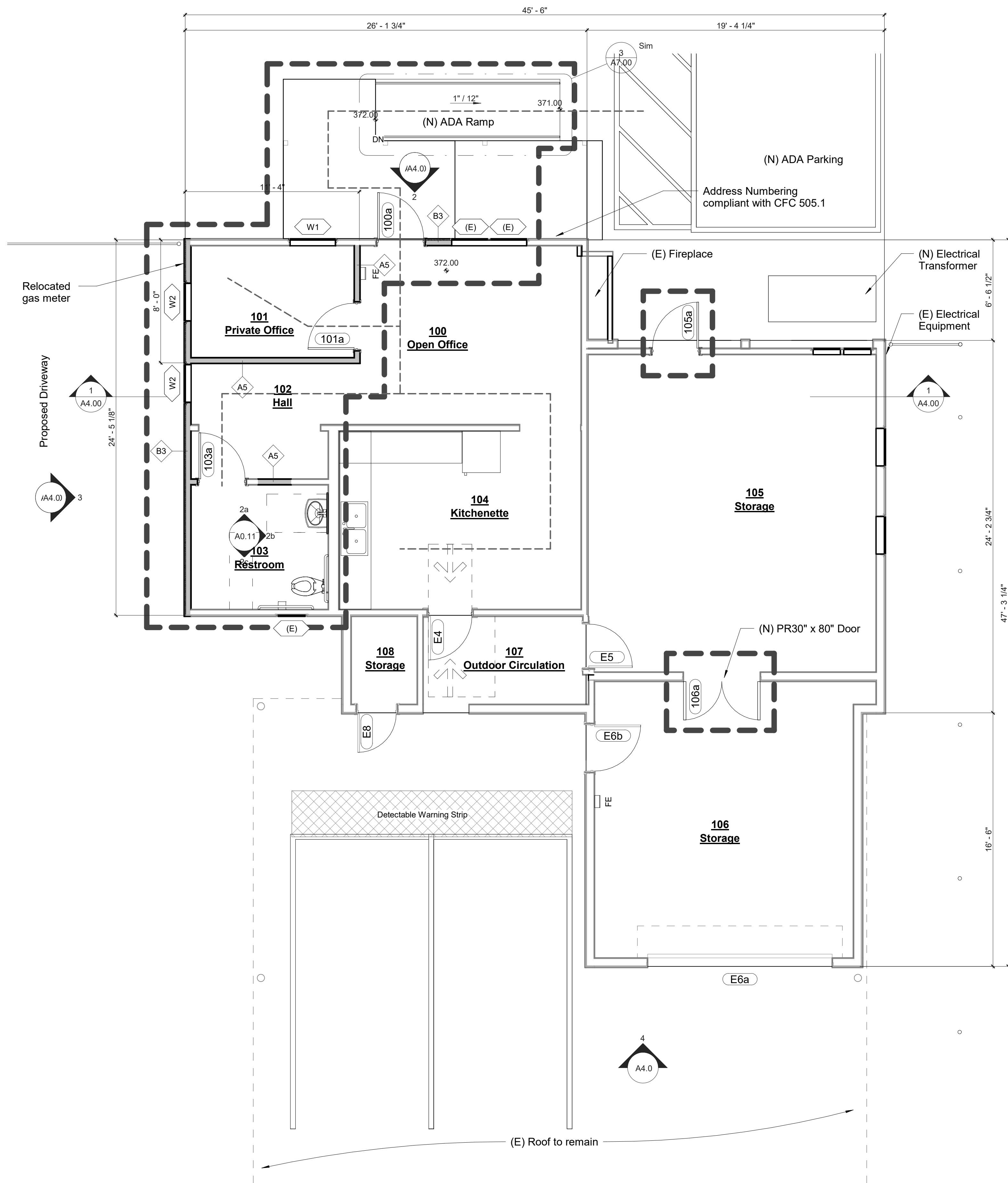
Aero Tenants Improvements
 CUP
 10445 Prospect Ave
 Santee, CA 92071
 Proposed Site Plan

Revision Schedule		
#	Name	Date
A	Resub. 1	7/22/24

DATE	04/25/24
DRAWN	CAI
PROJECT	7901.00

A1.0

OF



Legend

- Existing Wall to Remain
- Existing Wall or Fixture to be Demolished per plan
- New Wall per plan
- Limit of Work
- Accessible/Egress Path of Travel
- Fire Extinguisher

Notes

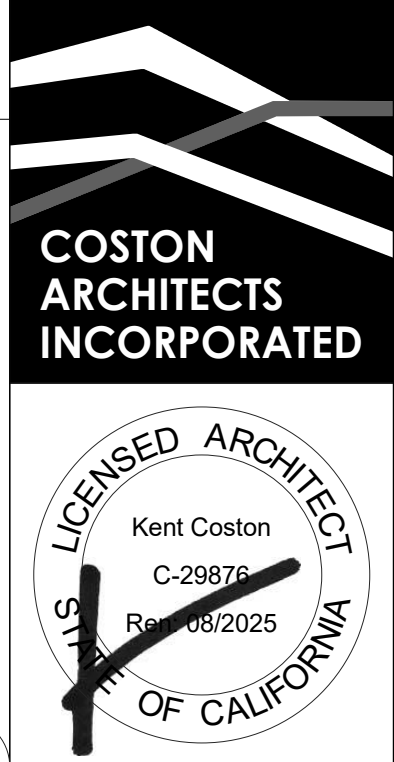
1. "The force required to activate operable parts of all interior hinged doors and gates, sliding or folding doors, and exterior hinged doors shall be five (5) pounds maximum. The force required to activate operable parts of required fire door shall not exceed 15 pounds. (CBC, Sec. 11B-404.2.9)
2. Exit access doors equipped with a key operated locking device shall have a readily visible, durable sign posted on the egress side adjacent to the door stating: THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED. The sign shall have 1 inch high letters on a contrasting background.
3. Egress doors shall be readily operable from the egress side without the use of a key or special knowledge or effort. (CBC 1008.1.9)
4. Any handles, pulls, latches, locks, and other operable parts on doors and gates will comply with the following (CBC 11B-309.4, CBC 11B-404.2.7):
 - a. Minimum 34" and maximum 44" inches above finished floor or ground.
 - b. Maximum 5 pounds of force to open any door or gate.
 - c. Operable with one hand and without tight grasping, tight pinching, or twisting of the wrist.
5. Door and gates surfaces within 10" of finished floor or ground shall have smooth surface on push side extending full width or door or gate. (CBC 11B-404.2.9)
6. Door thresholds shall comply with CBC 11B-404.2.4.1.
7. Doors and gates with closers or spring hinges shall comply with closing speed periods per CBC 11B-404.2.8
 - a. Closers with minimum 5 seconds from 90-degree open position to 12-degree open position
 - b. Spring hinges with a minimum 1.5 seconds from 70-degrees open position to closed position
8. Manually operated flush bolts or surface bolts are not permitted on doors.
9. Ceiling and Wall Finishes to comply with flame spread requirements of 2022 CFC 803.3

Door Hardware

Mark	Width	Height	Hardware Note
100a	3' - 0"	6' - 8"	2
101a	3' - 0"	6' - 8"	2
103a	3' - 0"	6' - 8"	4

- Hardware Notes:**
 T = Tempered Glass
 1 = Panic Hardware
 2 = Lockset, coordinate keying with owner
 3 = Kickplate, 10" high min.
 4 = Privacy lock
 5 = Closer
 6 = Controlled Access

Note: Only doors along the Egress/Accessible Path of Travel shown and need to comply with CBC 1010



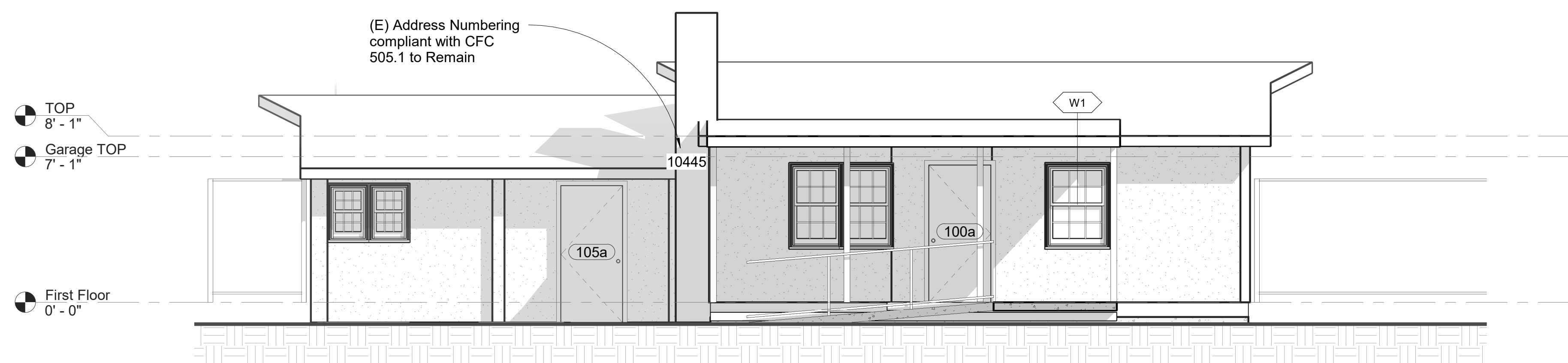
Aero Tenat Improvements
 CUP
 10445 Prospect Ave
 Santee, CA 92071
 New Floor Plan

Revision Schedule		
#	Name	Date
A	Resub. 1	7/22/24

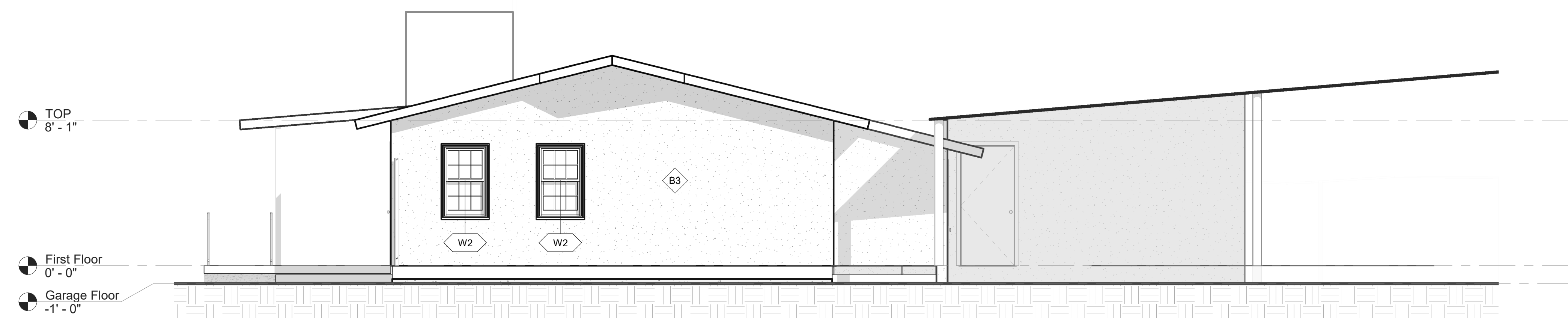
DATE: 04/25/24
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 PROJECT: 7901.00

A2.1

OF



North Elevation
 1/4" = 1'-0" 2



West Elevation
 1/4" = 1'-0" 3



South Elevation
 1/4" = 1'-0" 4

Aerco Tenant Improvements
 CUP
 10445 Prospect Ave
 Santee, CA 92071
 Elevations/Sections

Revision Schedule		
#	Name	Date

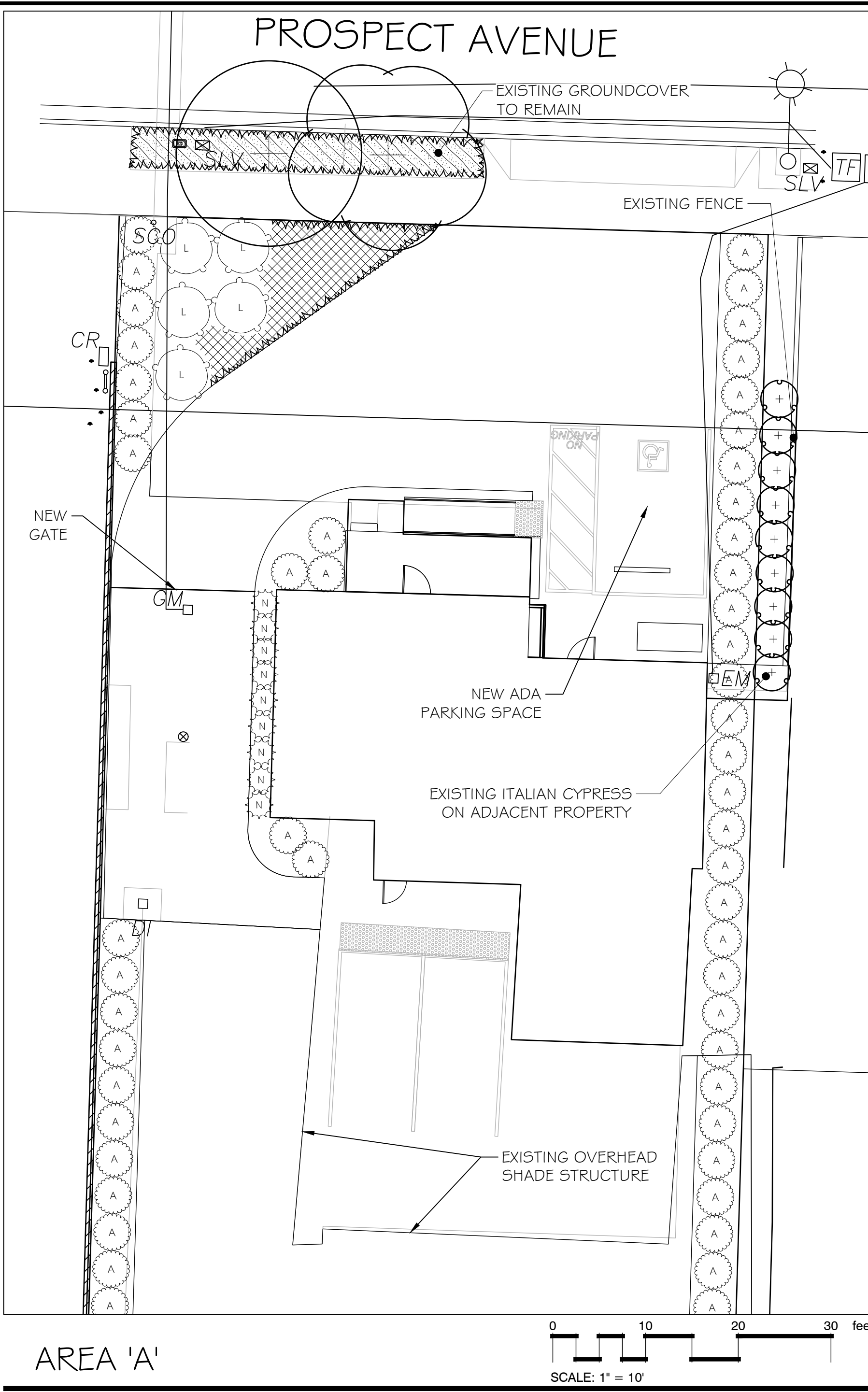
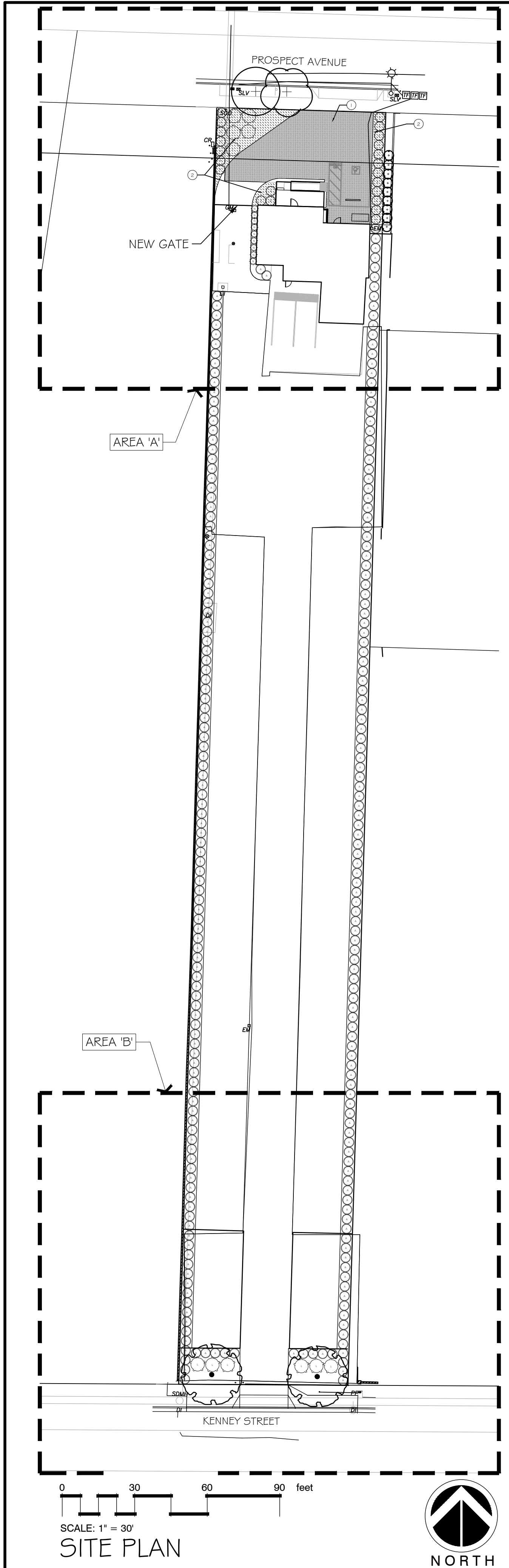
DATE 04/25/24

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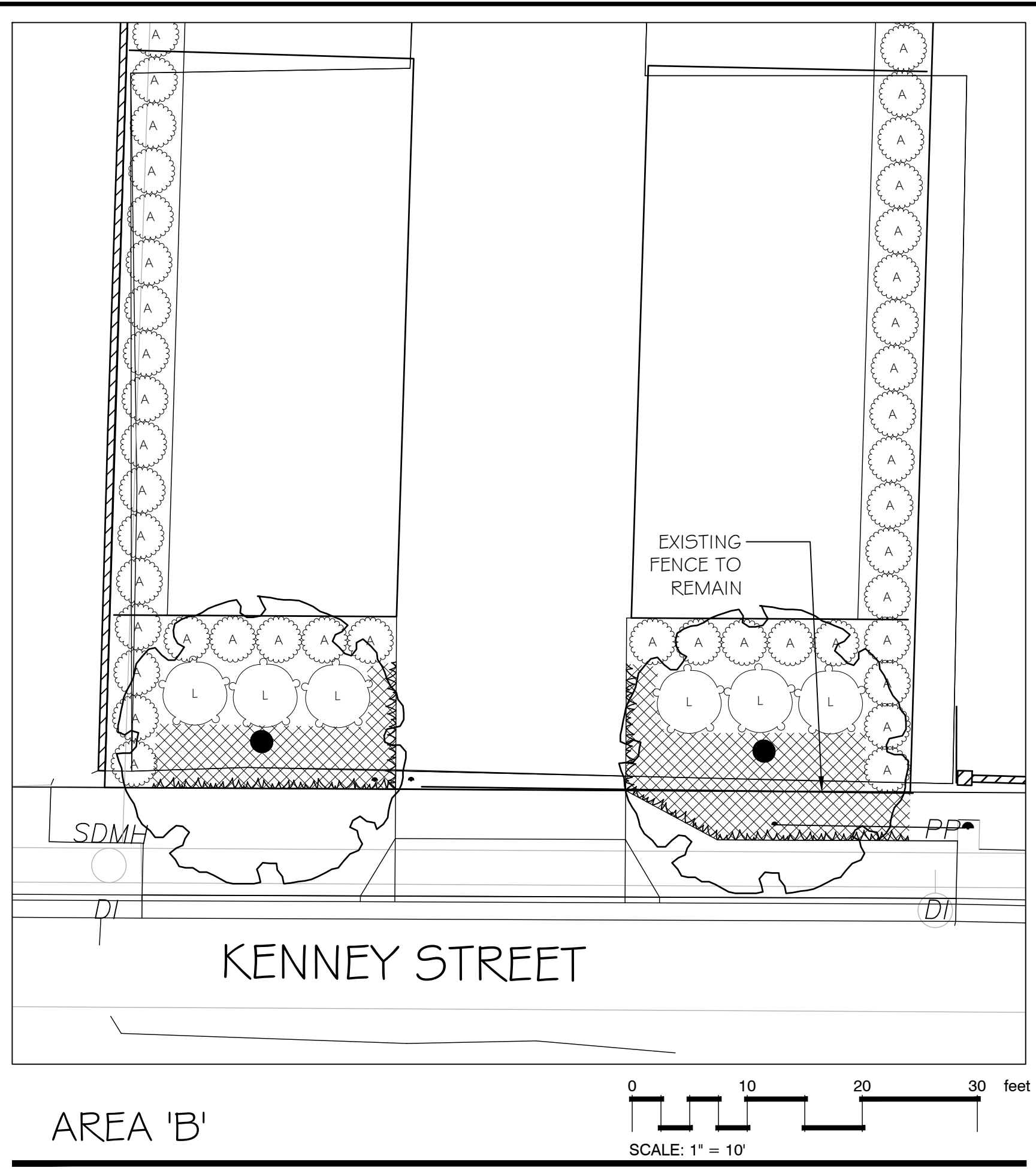
PROJECT 7901.00

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OF



FRONT PHOTO - EXISTING CONDITIONS



WATER CONSERVATION NOTES

- IRRIGATION PLANS WILL REFLECT WATER CONSERVING DESIGN PRACTICES BY USING AN EFFICIENT LOW FLOW IRRIGATION SYSTEM WITH DRIP FOR SHRUBS AND GROUNDCOVERS AND BUBBLERS FOR TREES.
- EXISTING VEGETATION SHOWN TO REMAIN IS WELL ESTABLISHED AND USES LITTLE WATER.
- ALL NEW PROPOSED PLANTING REQUIRES LOW WATER AND SHOULD REQUIRE RELATIVELY LOW MAINTENANCE.

PARKING AREA LEGEND

SYMBOL	DESCRIPTION	QTY
①	PAVED PARKING AREA	1,733 SF
②	PLANTING AREA AROUND PARKING LOT	789 SF

LANDSCAPE AREA REQUIREMENTS FOR PARKING

PARKING AREA	1,733 SF
LANDSCAPE AREA REQ'D. - (10%)	173.3 SF
LANDSCAPE AREA PROVIDED (45%)	789 SF

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	CONT	QTY
TREES				
+	CUPRESSUS SEMPERVIRENS	EXISTING ITALIAN CYPRESS	EXISTING	9
•	RHUS LANCEA	AFRICAN SUMAC	15 GAL	2
TREES - EXISTING TO REMAIN				
+	QUERCUS ENGELMANNII	ENGELMANN OAK	EXISTING	1
+	TRISTANIA CONFERTA	BRISBANE BOX	EXISTING	1
SHRUBS				
A	ABELIA X 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	5 GAL	269
L	LANTANA CAMARA	LANTANA	5 GAL	11
N	NANDINA DOMESTICA	HEAVENLY BAMBOO	5 GAL	9
GROUND COVERS				
▨	EXISTING BACCHARIS 'TWIN PEAKS'	EXISTING COYOTE BRUSH	EXISTING	1,64 SF
▩	MYOPORUM PARVIFOLIUM	TRAILING MYOPORUM	FLAT	4,547

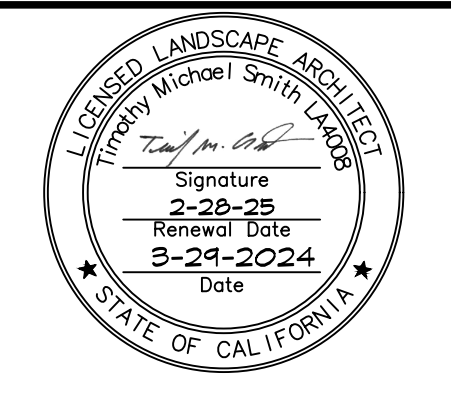
PLANTING NOTES

- THE PLANTING PLAN IS DIAGRAMMATIC AND SHALL BE USED AS A GUIDE FOR SETTING OUT PLANTS. PRIOR TO PLANTING, THE LANDSCAPE ARCHITECT SHALL BE CONTACTED TO APPROVE ALL PLANT LOCATIONS AND DIRECT ADJUSTMENTS.
- PLANT MATERIALS SHALL CONFORM TO NURSERYMAN'S STANDARDS FOR SIZE AND HEALTH. ALL PLANTS ARE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT IF SUBSTANDARD IN SIZE, QUALITY AND HEALTH. PROVIDE WATERPROOF SPECIES IDENTIFICATION TAGS ON ONE PLANT PER SPECIES PER GROUPING.
- PLANT COUNTS ARE FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON THE PLAN.
- IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND ALL PLANTING AREAS THOROUGHLY SOAKED PRIOR TO PLANTING.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN A MINIMUM 2% DRAINAGE AWAY FROM ALL BUILDINGS AND FINISH GRADES SMOOTHED TO ELIMINATE PUDDLING OR STANDING WATER. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AND MAINTAIN DRAINAGE DURING CONSTRUCTION. FINISH GRADE OF PLANTING AREAS SHALL BE 2" BELOW FINISH SURFACE OF PAVING AND A MINIMUM OF 8" BELOW BUILDING STUCCO SCREED.
- LANDSCAPE CONTRACTOR SHALL REMOVE ALL EXISTING VEGETATION, TRASH, CLIPPINGS, ROCK AND OTHER DEBRIS IN PLANTING AREAS. RAKE AND FINE GRADE ALL PLANTING AREAS PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.
- PLANTING PITS SHALL BE PER PLANTING DETAILS.
- PLANTING PITS AND PLANTERS SHALL BE BACKFILLED PER SOIL TEST REPORT FOR PLANTING. CONTRACTOR SHALL PROVIDE RESULTS OF AN AGRONOMIC SOILS TEST TO THE OWNER. CONTRACTOR SHALL ADD AMENDMENTS TO THE PLANTING AREAS PER SOILS TESTING RECOMMENDATIONS.
- STAKE 15 GALLON AND LARGER TREES PER DETAILS. CONTRACTOR SHALL BE RESPONSIBLE FOR TREE STABILITY DURING LENGTH OF THE GUARANTEE PERIOD.
- VERIFY TREE PIT DRAINAGE WITH 24 HOUR WATER FILL TEST PRIOR TO PLANTING. ALL BOXED TREES NOT DRAINING ARE TO HAVE A 4" DIAMETER AUGER HOLE DRILLED THROUGH ANY HARDPAN OR COMPACTED EARTH AS REQUIRED TO PROVIDE DRAINAGE IN 24 HOUR PERIOD.
- POST PLANTING FERTILIZATION SHALL BE PERFORMED BY CONTRACTOR AT 30, 60, & 90 DAYS AFTER PLANTING.
- PLANTS SHALL NOT BE PLACED WITHIN 12" OF SPRINKLER HEADS.
- SHRUBS AND TREES SHALL BE UNDERPLANTED WITH GROUND COVER AS SHOWN BY ADJACENT SYMBOL.
- GROUND COVER SHALL BE PLANTED USING TRIANGULAR SPACING AS NOTED IN DETAIL UNLESS OTHERWISE NOTED.
- PROVIDE 3" LAYER OF 'WALK-ON BARK' FOR ALL NON-TURF PLANTING AREAS WITH SLOPES LESS STEEP THAN 3:1. PROVIDE SAMPLE TO LANDSCAPE ARCHITECT. BARK TO BE SHREDDED BARK MULCH.
- VINES SHALL BE SECURED TO ADJACENT FENCES, POSTS OR WALLS USING VINE TIES, UNLESS SHOWN ON TRELIS.
- LOCATION OF TREES SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL JURISDICTION WITH REGARD TO SETBACKS FROM UTILITIES, STREET SIGNAGE AND RIGHT-OF-WAYS. IF TREES ON PLANS ARE IN VIOLATION OF SUCH CODES, CONTRACTOR SHALL INFORM LANDSCAPE ARCHITECT PRIOR TO INSTALLING TREES.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF NINETY (90) DAYS AFTER FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION. ALL AREAS SHALL BE KEPT CLEAN, WATERED AND WEED-FREE. ALL DEAD OR DYING PLANTS THAT ARE WATERED SHALL BE REPLACED WITHIN TWO (2) WEEKS. CONTRACTOR SHALL NOTIFY OWNER IN WRITING WHEN CONTRACTOR IS BEGINNING THE MAINTENANCE PERIOD AND WHAT DATE WILL TERMINATE THE MAINTENANCE PERIOD.
- CONTRACTOR SHALL GUARANTEE PLANT LONGEVITY AS FOLLOWS: TREES - ONE YEAR; SHRUBS AND GROUND COVER - THREE MONTHS. IF MAINTENANCE PERIOD ENDS DURING PERIOD OF PLANT DORMANCY, CONTRACTOR SHALL REPLACE ANY PLANTS THAT DO NOT GROW BACK DURING THE NEXT PLANTING SEASON.
- WHERE TREE TRUNKS ARE WITHIN 6" OF CURBS, WALLS, SIDEWALKS OR OTHER HARDSCAPE, CONTRACTOR SHALL INSTALL ROOT BARRIER BY 'BIO-BARRIER'. ROOT BARRIERS ARE TO BE LINEAR (24" DEEP MINIMUM) WITH A MINIMUM LENGTH OF 10 FEET PER TREE. LOCATE THE BARRIER AT THE PERIMETER EDGE OF THE PLANTER CENTERED ON THE TREE.
- CONTRACTOR SHALL PROVIDE THE OWNER WITH AS-BUILT PLANS OF IRRIGATION CLEARLY INDICATING LOCATION OF ALL VALVES, MAINLINES AND MODIFICATIONS TO HEAD LAYOUT.
- PROVIDE JUTE NETTING TO ALL SLOPES OF 3:1 OR GREATER.
- PRIOR TO PLANTING, CONTRACTOR SHALL REMOVE ALL WEEDS WITH SYSTEMIC HERBICIDE (ROUND-UP) AND APPLY A PRE-EMERGENT HERBICIDE AFTER PLANTING.



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AERCO TENANT
IMPROVEMENTS
10445 PROSPECT AVENUE
SANTEE, CA 92071

**LANDSCAPE
CONCEPT PLAN**

Revisions	By
4.24.2024	
7.19.2024	

Drawn By: TEAM
Checked By: _____
Date Issued: 3.21.2024
Project No.: 24-011
Scale: _____

Sheet

L-1.0

Of _____ Sheets